

NEW RETAIL BUILDING

2 1 8 1 D O O L I T T L E D R I V E , S A N L E A N D R O , C A 9 4 5 7 7

TEAM

OWNER: MINAL JESHWANI NIKMAT INVESTORS, LLC 1155 BROADWAY STREET, SUITE 101 REDWOOD CITY, CA 94063 650.504.7102	ARCHITECT: RHA 690 WEST FREMONT AVE., STE. 9C SUNNYVALE, CA 94087 CONTACT: RAY HOUSE, AIA 408.738.8618	CIVIL ENGINEER: DEBOLT CIVIL ENGINEERING 811 SAN RAMON VALLEY BLVD. DANVILLE, CA 94526	STRUCTURAL ENGINEER: C. R. E. S. ENGINEERING 2420 SAND CREEK RD. SUITE C-1252 BRENTWOOD, CA 94513	MPE ENGINEER: ENCON 801 EAST CHARLESTON ROAD SUITE A PALO ALTO, CA 94303
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PROJECT NOTES

- PROJECT MUST COMPLY WITH ALL CITY AND STATE CONSTRUCTION AND DEMOLITION DEBRIS RECYCLING REQUIREMENTS. PERMIT APPLICATIONS MUST DEMONSTRATE COMPLIANCE BY COMPLETING AND SUBMITTING AN ONLINE WASTE MANAGEMENT PLAN USING GREEN HALO SYSTEMS (WWW.GREENHALOSYSTEMS.COM) PRIOR TO PERMIT ISSUANCE. APPLICANTS MUST SUBMIT RECYCLING AND DISPOSAL RECEIPTS ONLINE AND SUBMIT THE WASTE MANAGEMENT REPORT BEFORE SCHEDULING THE FINAL INSPECTION. NOTE: PROJECT WILL NOT BE FINALED UNTIL ALL RECYCLING AND DISPOSAL TAGS HAVE BEEN REGISTERED INTO GREEN HALO SYSTEMS.
 - SOLID WASTE + RECYCLING SERVICE PROVIDER: ALAMEDA COUNTY INDUSTRIES. APPLICANT SHOULD NOTE THE CITY OF SAN LEANDRO HOLDS AN EXCLUSIVE FRANCHISE AGREEMENT FOR SOLID WASTE AND RECYCLING SERVICES WITH ACI.
 - MAINTENANCE – THE PROPERTY OWNER, OCCUPANT AND TENANTS SHALL MAINTAIN ENCLOSURE FREE OF LITTER AND OTHER DEBRI IN ACCORDANCE WITH SAN LEANDRO MUNICIPAL CODE 3-13-215
 - PER SAN LEANDRO MUNICIPAL CODE 3-1-200, STORAGE OF SOLID WASTE, RECYCLING, AND OTHER MATERIALS OUTSIDE OF THE ENCLOSURE IS PROHIBITED AT ALL TIMES.
 - RECYCLING REQUIREMENTS – APPLICANT IS SUBJECT OT ALAMEDA COUNTY MANDATROY RECYCLING ORDINANCE 2012-01. FOR MORE INFORMATION, VISIT WWW.RECYCLINGRULESAC.ORG
 - BINS NEED TO BE PLACED IN THE DRIVEWAY FOR SERVICE BY ACIS FRONT END LOADER TRUCKS. A ROLLED CURB, OR RAMP, IS NEEDED IN FRONT OF THE TRASH ENCLOSURE TO ENSURE EASY ACCESS TO , AND ACCOMMODATE SERVICES OF, GARBAGE AND RECYCLING BINS BY THE HAULER.
- DUMPSTER SIZING CALCULATION
 BUSINESS TYPE: GENERAL MERCHANDISING / SIC #53
 NO OF EMPLOYEES: 9 (NEW TENANTS ONLY)
 WEIGHT PER WEEK= 14 LBS. X 9 = 126 LBS.
 CONTAINER SIZE: 126 / 150 – .84 CU/YD
 PROPOSED CONTAINERS: (2) 2 CU/YD DUMPSTERS
- PROPOSED DRIVEWAY SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA), AND ALL CITY AND STATE ACCESSIBILITY REQUIREMENTS
- ALL ABANDONED DRIVEWAYS SHALL BE REMOVED AND REPLACED WITH CITY STANDARD SIDEWALK, CURB AND GUTTER.
- DRIVEWAY, SIDEWALK, AND CURB SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE CITY OF SAN LEANDRO STANDARD PLANS, DWG NO 100, CASE 3101, DWG. NO. 102, CASE 3101, AND DWG. NO 104, CASE 3101
- ALL NEW PARKING SHALL MEET CITY OF SAN LEANDRO STANDARD PLAN 'PARKING STANDARD' DWG NO 600, CASE 3101
- ALL NEW ELECTRICITY, GAS, WATER AND TELEPHONE UTILITY LINES SHALL BE INSTALLED UNDERGROUND.
- THE APPLICANT SHALL SUBMIT A GEOTECHNICAL REPORT FOR CITY REVIEW. THE CITY RESERVESE THE RIGHT TO OFFER COMMENTS ONCE THE REPORT IS SUBMITTED.
- THE APPLICANT SHALL REDUCE STORMWATER POLLUTION BY IMPLEMENTING THE FOLLOWING POLLUTION SOURCE CONTROL MEASURES:
 - STRUCTURES SHALL BE DESIGNED TO DISCOURAGE THE OCCURENCE AND ENTRY OF PESTS INTO BUILDINGS, THUS MINIMIZING THE NEED FOR PESTICIDES. THE TRASH AREA SHALL BE SEPARATED FROM THE REST OF THE BUILDING BY CONCRETE OR MASONRY WALLS SO THAT PESTS THAT GAIN ACCESS TO THE AREA ARE LESS LIKELY TO ACCESS THE REST OF THE BUILDING.
 - ALL STORM DRAINS SHALL BE MARKED "NO DUMPING, DRAINS TO BAY".
 - ALL ON-SITE STORM DRAINS SHALL BE INSPECTED AND, IF NECESSARY, CLEANED AT LEAST TWICE A YEAR IMMEDIATELY PRIOR TOTHERAINY SEASON.
 - SIDEWALKS AND PARKING LOTS SHALL BE SWEEP REGULARLY TO MINIMIZE THE ACCUMULATION OF LITTER AND DEBRIS. STEAM CLEANING AND RECOVERY IN STAINED AREAS AND REMOVAL OF ALL MOBILE POLLUTANTS. DEBRIS RESULTING FROM PRESSURE WASHING SHALL BE TRAPPED AND COLLECTED TO PREVENT ENTRY INTO THE STORM DRAIN SYSTEM. WASH WATER CONTAINING ANY SOAP, CLEANING AGENT OR DEGREASER SHALL NOT BE DISCHARGED TO THE STORM DRAIN.
 - INTERIOR FLOOR DRAINS (IF ANY) SHALL NOT BE CONNECTED TO THE STORM DRAIN SYSTEM.
 - AIR CONDITIONING CONDENSATE SHALL BE DIRECTED TO LANDSCAPED AREAS. ANY AIR CONDITIONING CONDENSATE THAT DISCHARGES TO LAND WITHOUT FLOWING TO A STORM DRAIN MAY BE SUBJECT TO THE REQUIREMENTS OF THE STATE WATER RESOURCES CONTROL BOARD'S (SWRCB) STATEWIDE GENERAL WASTE DISCHARGE REQUIREMENTS (WDRs) FOR DISCHARGES TO LAND WITH A LOW THREAT TO WATER QUALITY.
 - LANDSCAPING SHALL BE DESIGNED TO MINIMIZE IRRIGATION AND RUNOFF, PROMOTE SURFACE INFILTRATION WHERE APPROPRIATE, AND MINIMIZE THE USE OF FERTILIZERS AND PESTICIDES THAT CAN CONTRIBUTE TO STORM WATER POLLUTION.
 - WHERE FEASIBLE, LANDSCAPING SHALL BE DESIGNED AND OPERATED TO TREAT STORM WATER RUNOFF BY INCORPORATING ELEMENTS THAT COLLECT, DETAIN, AND INFILTRATE RUNOFF, in AREAS THAT PROVIDE DETENTION OF WATER PLANS THAT ARE TOLERANT OF STURATED SOIL CONDITIONS AND PROLONGED EXPOSURE TO WATER SHALL BE SPECIFIED.
 - PLANT MATERIALS SELECTED SHALL BE APPROPRIATE TO THE SITE SPECIFIC CHARACTERISTICS SUCH AS SOILT TYPE, TOPOGRAPHY, CLIMATE, AMOUNT AND TIMING OF SUNLIGHT, PREVAILTING WINDS, RAINFALL, AIR MOVEMENT, PATTERNS OF LAND USE, ECOLOGICAL CONSISTENCY AND PLANT INTERACTIONS TO ENSURE SUCCESSFUL ESTABLISHMENT.
 - SELECTION OF THE PLANTS THAT WILL REQUIRED MINIMAL PESTICIDE USE.
 - IRRIGATION SHALL BE APPROPRIATE TO THE WATER REQUIREMENTS OF THE SELECTED PLANTS
 - THE APPLICANT SHALL PLAN A DIVERSITY OF SPECIES TO PREVENT A POTENTIAL PEST INFESTATION FROM AFFECTING THE ENTIRE LANDSCAPING PLAN.
 - THE APPLICANT SHALL PLAN INSECTARY PLANTS IN THE LANDSCAPING TO ATTRACT AND KEEP BENEFICIAL INSECTS.
- THE APPLICANT SHALL COMPLY WITH THE FOLLOWING HIGH STANDARDS OF SANITATION DURING CONSTRUCTION OF IMPROVEMENTS: GARBAGE CANS, CONSTRU TION DUMPSTERS, AND DEBRIS PILES SHALL BE REMOVED ON A MINIMUM WEEKLY BASIS. ALL FOOD RELATED TRASH ITEMS SUCH AS WRAPPERS, CANS, BOTTLES, AND FOOD SCRAPS SHALL BE DISPOSED OF IN CLOSED CONTAINERS ONLY AND SHALL BE REGULARLY REMOVED FROM THE SITE. INSPECTIONS, CONDUCTED AS PART OF THE REGULAR CONSTRUCTION COMPLIANCE, WILL BE CONDUCTED TO ENSURE COMPLIANCE OF THE APPLICANT AND CONTRACTORS WITH THIS REQUIREMENT.
- FIRE DEPARTMENT NOTES:
 - THE BUILDING WILL BE REQUIRED TO INSTALL A NFPA 13 FIRE PROTECTION SYSTEM.
 - THE BUILDING WILL BE REQUIRED TO INSTALL A NFPA 72 CENTRAL MONITORING FIRE ALARM SYSTEM.
 - EMERGENCY LIGHTING WILL NEED TO BE INSTALLED WITH AN AVERAGE OF 1 FOOTCANDLE AT THE FLOOR.
 - APPROPRIATE HARDWARE WILL NEED TO BE INSTALLED ON THE DOORS
 - 2A 10B-C FIRE EXTINGUISHERS WITH SIGNS ABOVE IT SHALL BE PROVIDED IN EACH SUITE.
 - A KNOX BOX SHALL BE PROVIDED FOR EACH SUITE.
 - ADDRESSES SHALL BE PROVIDED THAT ARE VISUAL FROM THE STREET AND HAVE CONTRASTING BACKGROUND.

BUILDING DATA

APPLICABLE CODES: 2016 CALIFORNIA CODE OF REGULATIONS – TITLE 24, PARTS 1 THRU 12	APN: 77A-697-1-11 ZONE: CN(S) CONSTRUCTION TYPE: VB OCCUPANCY: M FULLY SPINKLERED: YES SINGLE STORY SEISMIC ZONE: D	AREA OF LOT (UNCHANGED): 29,886 SF FAR CALCULATIONS: 29,886 SF * .3 = 8965.8 SF MAXIMUM AREA OF EXISTING RETAIL BUILDING: 5,426 SF AREA OF NEW RETAIL BUILDING 105 SF: 3,539 SF TOTAL: 8,965 SF. PERVIOUS / IMPERVIOUS AREAS: IMPERVIOUS-- BUILDING/ROOF: 8,965 SF TRASH ENCL.: 290 SF SIDEWALKS: 3,237 SF PAVED SURFACES (VEHICLE): 12,520 SF TOTAL: 25,012 SF PERVIOUS-- PERVIOUS PAVING: 685 SF LANDSCAPING: 4,189 SF	PARKING: 31 PARKING SPACES (INCLUDES 2 ACCESSIBLE SPACES, ONE OF WHICH IS VAN ACCESSIBLE) NOTE: REFER TO ATTACHED TRAFFIC STUDY TOILET CALCULATIONS: THE MINIMUM OCCUPANT LOAD FOR OCCUPANCY M, PER 2016 CPC, TABLE A = 200 UNIT 1 – 1,073 SF/200 = 6 OCC. UNIT 2 – 1,021 SF/200 = 6 OCC. UNIT 3 – 1,085 SF/200 = 6 OCC. ONE TOILET FACILITY IS PROVIDED FOR EACH UNIT, PER 2016 CPC, 422.2, EXCEPTION 3, WHERE A SINGLE TOILET FACILITY SHALL BE PERMITTED (FOR USE BY BOTH SEXES) IN A BUSINESS OR MERCANTILE USE WITH LESS THAN 50 OCCUPANTS.
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PROJECT DESCRIPTION

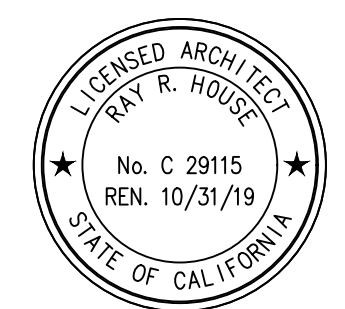
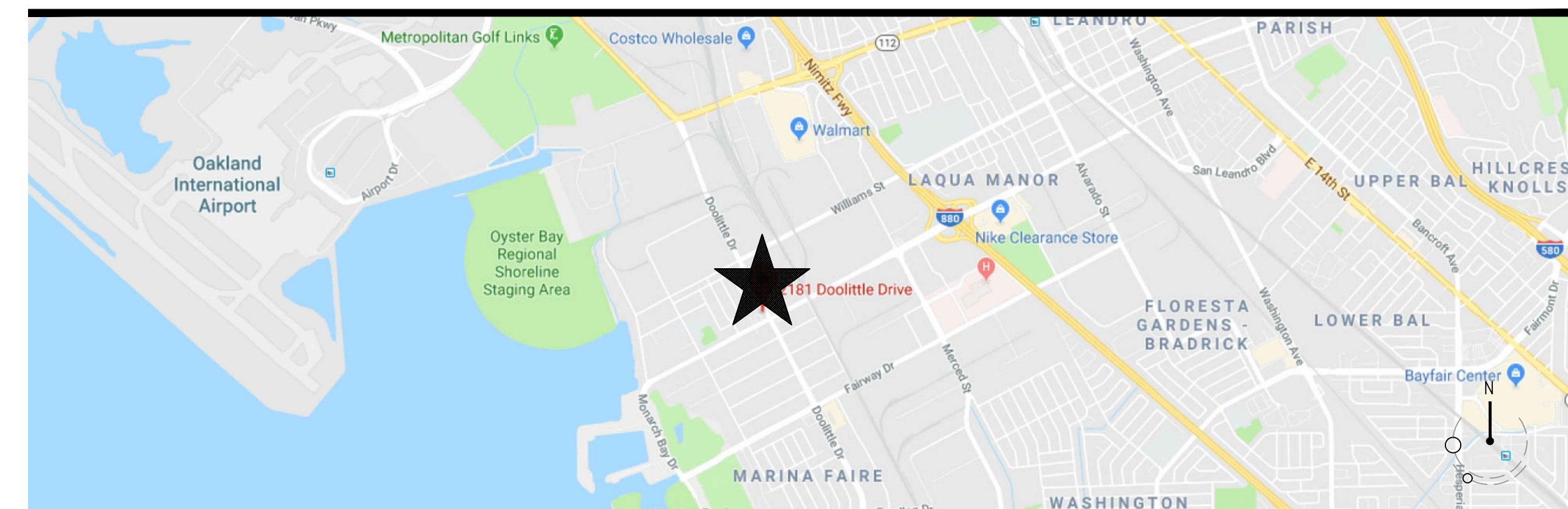
- CONSTRUCT A 'WARM SHELL' 3,539 SF RETAIL BUILDING TO REPLACE A PRIOR BUILDING DESTROYED BY FIRE, INCLUDING A NEW 290 SF COVERED REFUSE AREA.
- SITE IMPROVEMENTS INCLUDING LANDSCAPE / HAROSCAPE, VEHICLE PAVING, AND CURB CUTS TO DOOLITTLE DRIVE AND BARROW STREET
 - REPLACE SIDEWALKS AT WATER METERS, UTILITY BOXES, EXISTING DRIVEWAY AND OTHER AREAS ALONG WALKING PATH TO REMOVE TRIPPING HAZARDS
 - REPLACE EXISTING DRIVEWAY WITH CITY STANDARD CURB, SIDEWALK AND GUTTER DETAILS.

NOTE:
 SPRINKLER WORK WILL BE A DEFERRED PERMIT ITEM
 FIRE ALARM WORK WILL BE A DEFERRED PERMIT ITEM

DRAWING INDEX

ARCHITECTURAL	
A0.0	COVER SHEET
-	CLEAN BAY BLUE PRINT
C-1	PRELIMINARY GRADING AND DRAINAGE PLAN
A1.0	SITE PLAN
A1.1	LANDSCAPE PLAN
A2.0	CONSTRUCTION PLAN
A3.0	ELEVATIONS
A4.0	BUILDING SECTION
A5.0	BUILDING + MONUMENT SIGNAGE

VICINITY PLAN



RETAIL MALL PROJECT

2181 DOOLITTLE DRIVE
 SAN LEANDRO, CA

REV	DATE	DESCRIPTION
-	10.24.18	PLANNING SBMTL
-	12.17.18	PLANNING COMMENTS

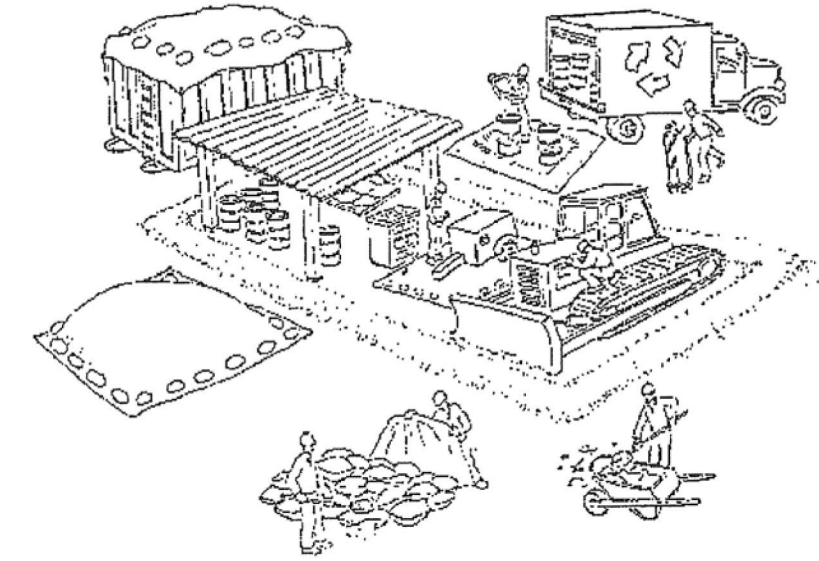
COVER SHEET

DRAWN BY: RHA SCALE: NOTED

CHECKED: RHA PROJECT: 18-016

NTP: SEPT 2018 **A0.0**

Clean Bay Blue Print



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Fremont requirements.

Materials storage & spill cleanup

Non-hazardous materials management

- Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control as needed.
- Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
- Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with City of Fremont Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
- Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
- Cover all dumpsters with a tarp at the end of every work day or during wet weather.

Hazardous materials management

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- Dispose of all containment and cleanup materials properly.
- Report any hazardous materials spills immediately! Dial 911

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

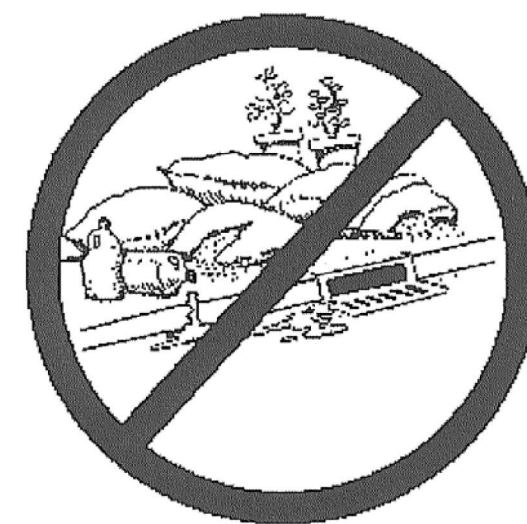
Vehicle and equipment maintenance & cleaning

- Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

- Keep excavated soil on the site where it will not collect in the street.
- Transfer to dump trucks should take place on the site, not in the street.
- Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.



- Earth moving activities are only allowed during dry weather by permit and as approved by the City Inspector in the Field.
- Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.

- If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.

Dewatering operations

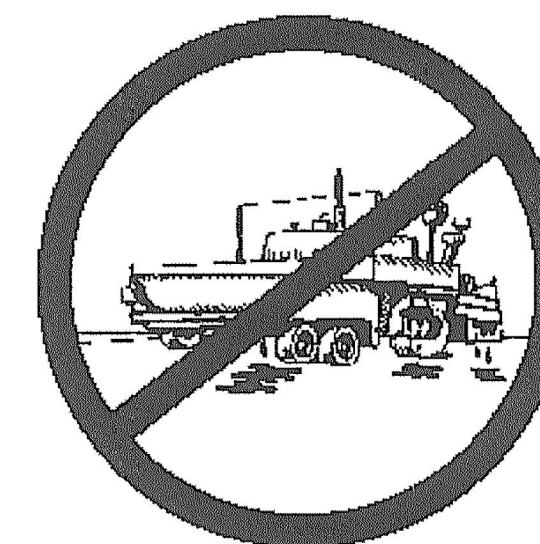
- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.
- Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work



- Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- Do not use water to wash down fresh asphalt concrete pavement.

Concrete, grout, and mortar storage & waste disposal

- Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.



- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.

Painting

- Never rinse paint brushes or materials in a gutter or street!
- Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- Paint out excess oil-based paint before cleaning brushes in thinner.
- Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Landscape Materials

- Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.

REVISIONS

NO.	DESCRIPTION	BY	DATE	APPROV'D

APPROVED

DATE	ADV. DATE

CLEAN BAY
BLUE PRINT

WORK ORDER NO.

SPECIFICATION NO.

SHEET NO.


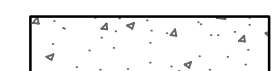
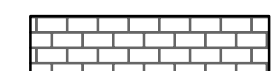

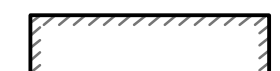
FILE NO.

Storm drain polluters may be liable for fines of \$10,000 or more per day!

For references and more detailed information:
www.cleanwaterprogram.org
www.cabmphandbooks.com

EXHIBIT C

LEGEND

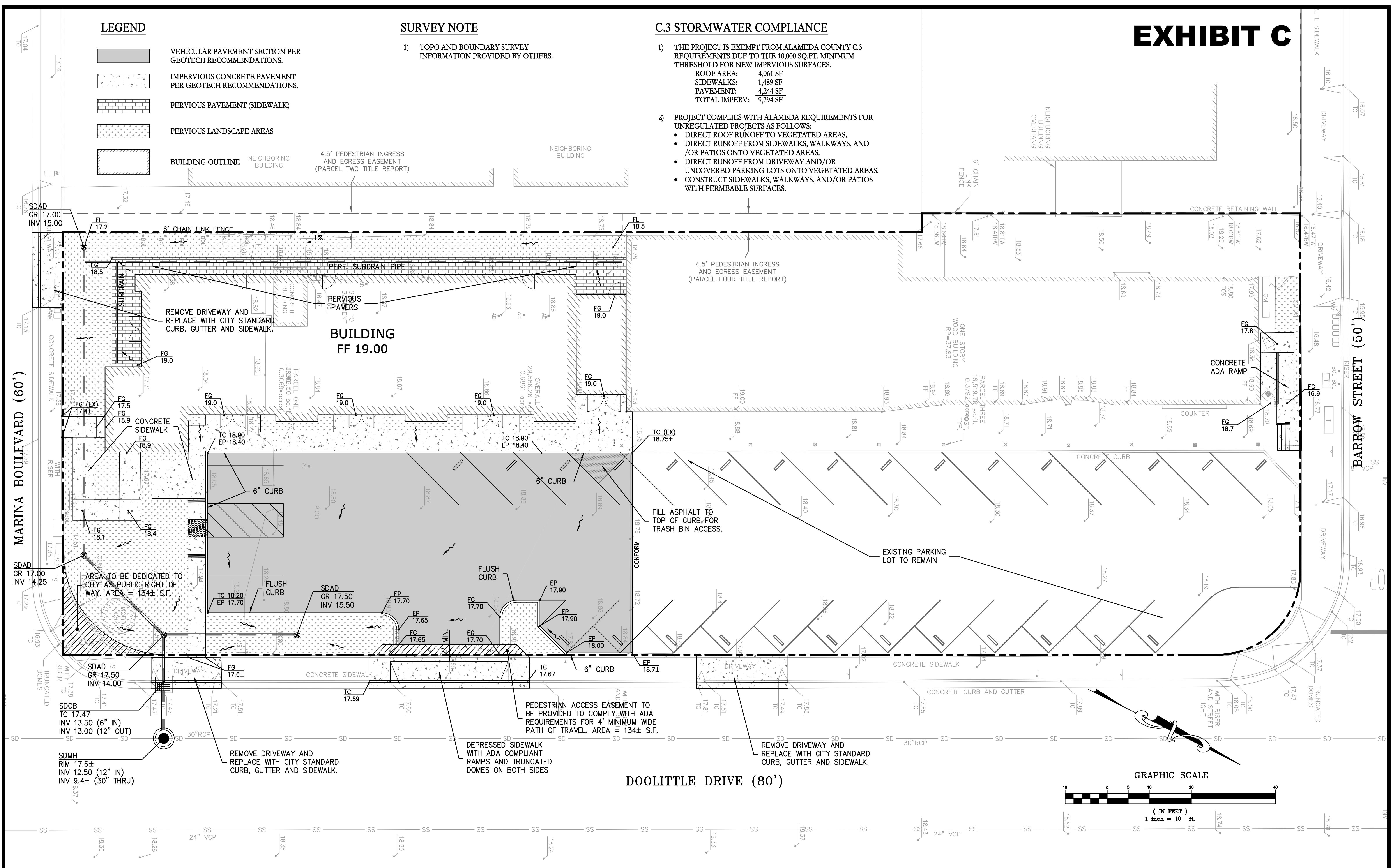
-  VEHICULAR PAVEMENT SECTION PER GEOTECH RECOMMENDATIONS.
-  IMPERVIOUS CONCRETE PAVEMENT PER GEOTECH RECOMMENDATIONS.
-  PERVIOUS PAVEMENT (SIDEWALK)
-  PERVIOUS LANDSCAPE AREAS
-  BUILDING OUTLINE

SURVEY NOTE

- 1) TOPO AND BOUNDARY SURVEY INFORMATION PROVIDED BY OTHERS.

C.3 STORMWATER COMPLIANCE

- 1) THE PROJECT IS EXEMPT FROM ALAMEDA COUNTY C.3 REQUIREMENTS DUE TO THE 10,000 SQ.FT. MINIMUM THRESHOLD FOR NEW IMPRVIOUS SURFACES.
 - ROOF AREA: 4,061 SF
 - SIDEWALKS: 1,489 SF
 - PAVEMENT: 4,244 SF
 - TOTAL IMPERV: 9,794 SF
- 2) PROJECT COMPLIES WITH ALAMEDA REQUIREMENTS FOR UNREGULATED PROJECTS AS FOLLOWS:
 - DIRECT ROOF RUNOFF TO VEGETATED AREAS.
 - DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND /OR PATIOS ONTO VEGETATED AREAS.
 - DIRECT RUNOFF FROM DRIVEWAY AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
 - CONSTRUCT SIDEWALKS, WALKWAYS, AND/OR PATIOS WITH PERMEABLE SURFACES.



PRELIMINARY GRADING and DRAINAGE PLAN

2161 DOOLITTLE DRIVE

CITY OF SAN LEANDRO

CONTRA COSTA COUNTY

CALIFORNIA

Ela McAllister
 EASTON C McALLISTER - R.C.E. 61148
 RENEWAL DATE: 12/31/20

#	REVISIONS	DATE



DeBolt Civil Engineering
 811 San Ramon Valley Boulevard
 Danville, California 94526
 Tel: 925/837-3780
 deboltcivil@earthlink.net

Date: 12/17/18
 Scale: 1" = 10'
 By: TM
 Job No.: 18202

EXHIBIT D

GENERAL NOTES:

- SEE ALSO BUILDING DATA ON COVER SHEET, A0.0
- PROVIDE STENCIL AT EACH STORM DRAIN TO MATCH CITY STANDARDS STATING: 'NO DUMPING, DRAINS TO BAY'
- TREES ARE NOT TO BE WITHIN 5'-0" OF ANY UNDERGROUND ELECTRICAL. GC WILL POT HOLE TO VERIFY LOCATION(S) BEFORE PLANTING ANY TREES.
- THERE SHALL BE NO DROP-OFFS FROM EL CAMINO REAL STRIPED CURBS AND SIGNAGE TO THIS EFFECT WILL BE INSTALLED PER CITY STANDARDS.

KEYED NOTES

- DEMOLISH EXISTING STRUCTURE
- DEMOLISH EXISTING KIOSK/MONUMENT SIGN
- NEW BICYCLE PARKING INSTALLED OVER CRUSHED GRANITE PAVING:
(1) CLASS 1 BIKE LOCKER
(3) CLASS 2 INDIVIDUAL LOCKABLE BIKE RACKS
- NEW MONUMENT SIGN. SEE 4/A5.0
- EXISTING PARKING AREA TO REMAIN
- REPLACE VEHICLE CURB CUT WITH STANDARD SIDEWALK TO MATCH EXISTING, ADJACENT SIDEWALK.
- DEPRESSED SIDEWALK. SEE SHEET C-1
- NEW 48" WIDE ACCESSIBLE RAMP, STEPS + LANDSCAPING
- NEW METAL FENCE/GATE
- PAVED AREA IS TO BE SLOPED UP TO BE FLUSH WITH THE SIDEWALK - FOR THE FULL WIDTH OF THE TRASH ENCLOSURE. SEE CIVIL DRAWINGS.
- SIGNAGE THAT INDICATES 'NO PARKING' AT DESIGNATED DUMPSETER SERVICE TIMES - TO BE COORDINATED WITH ACI.
- (2) 2 CU. YD. DUMPSTERS, PER PROJECT NOTES ON COVER SHEET, AND A 3RD SPACE FOR ORGANCS.
- NEW CATCH BASIN. SEE SHEET C-1
- LANDSCAPE AREA DRAIN / PIPING. SEE ALSO SHEET C-1

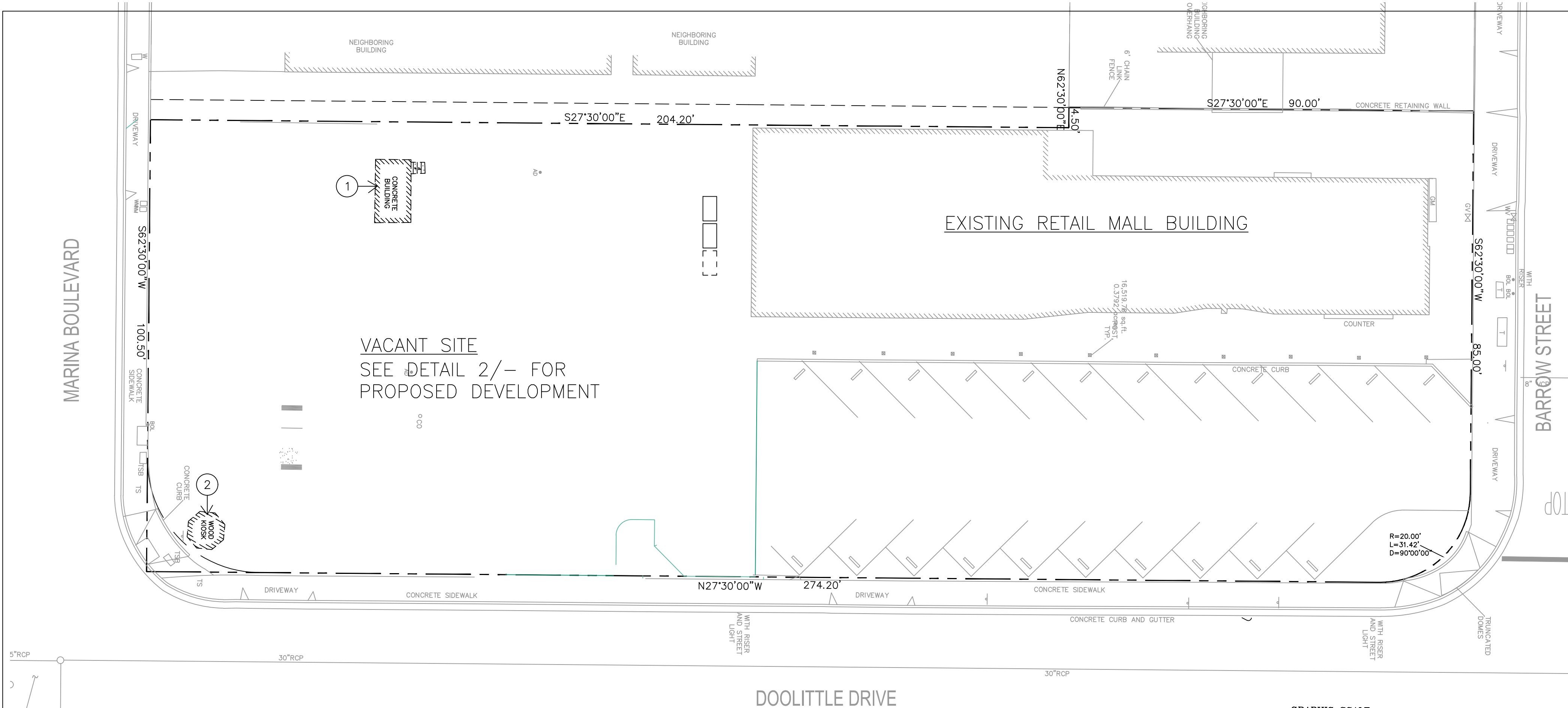
LEGEND

- LANDSCAPED AREA. SEE ALSO LANDSCAPE PLAN - SHEET A1.1
- NEW CONCRETE WALKING SURFACE
- NEW PERVIOUS PAVING OVER DRAIN ROCK, WITH PERFORATED PIPE - PER ACCWP C3, SECTION 6.6 SEE ALSO SHEET C-1
- NEW PAVED PARKING AREA
- LIGHT POLE. SEE 3/-



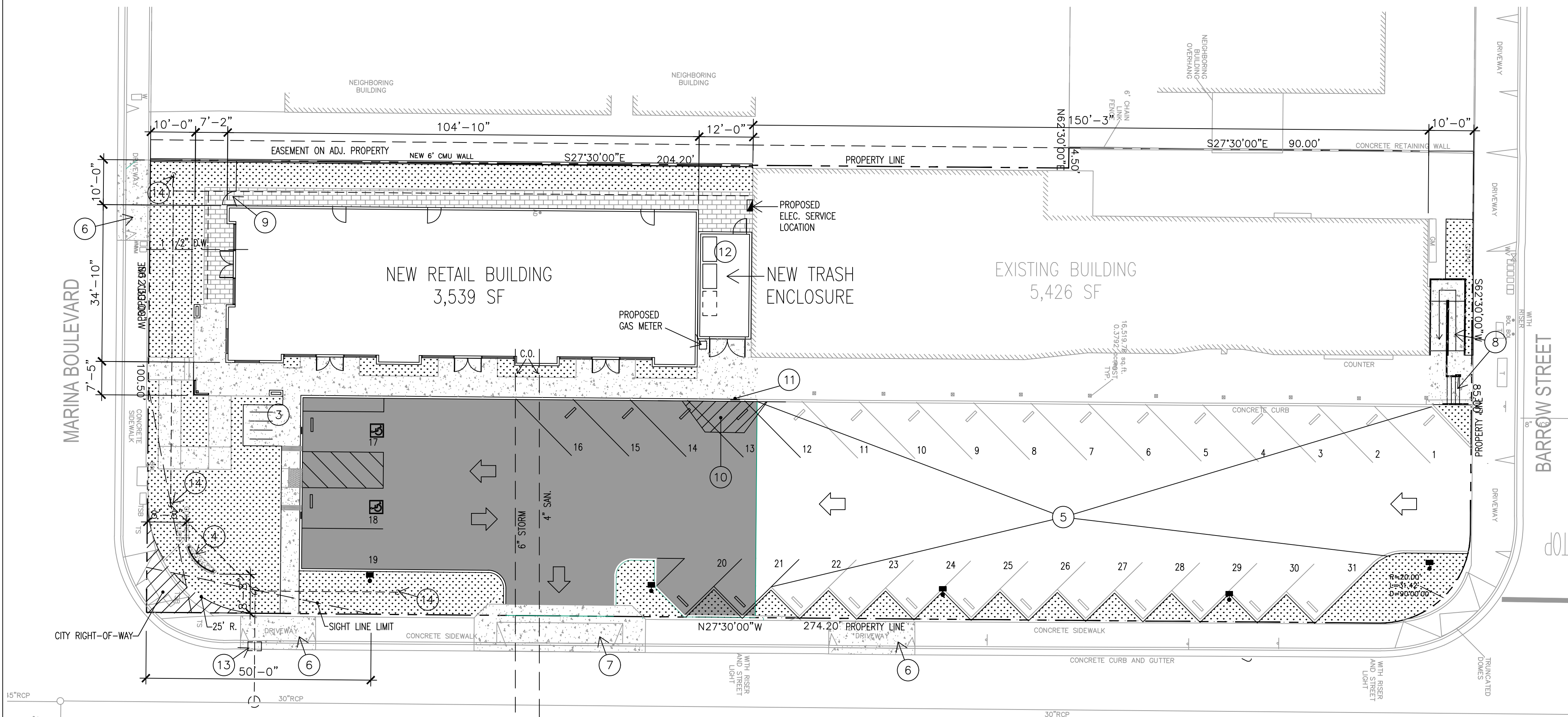
3 POLE LIGHT

SCALE: NTS



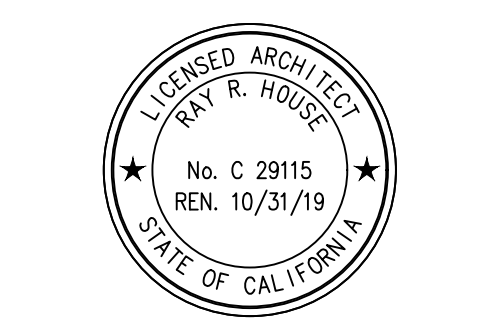
1 EXISTING SITE PLAN

SCALE: 1" = 16'-0"



2 PROPOSED SITE PLAN

SCALE: 1" = 16'-0"



RETAIL MALL PROJECT

2181 DOOLITTLE DRIVE
SAN LEANDRO, CA

REV	DATE	DESCRIPTION
-	10.24.18	PLANNING SBMTL
-	12.17.18	PLANNING COMMENTS

SITE PLAN

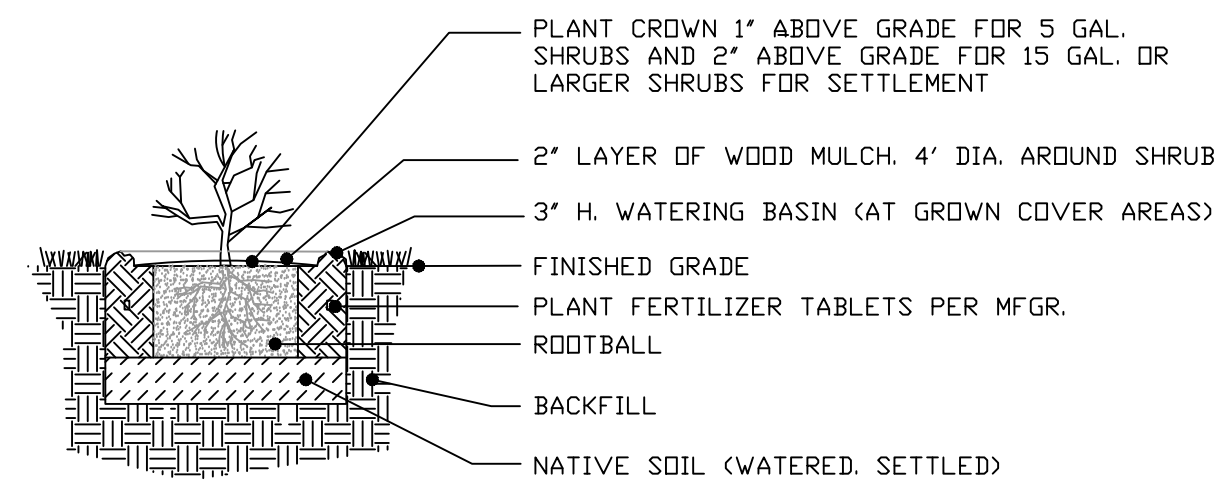
DRAWN BY: RHA SCALE: NOTED
CHECKED: RHA PROJECT: 18-016

NTP: SEPT 2018 **A1.0**

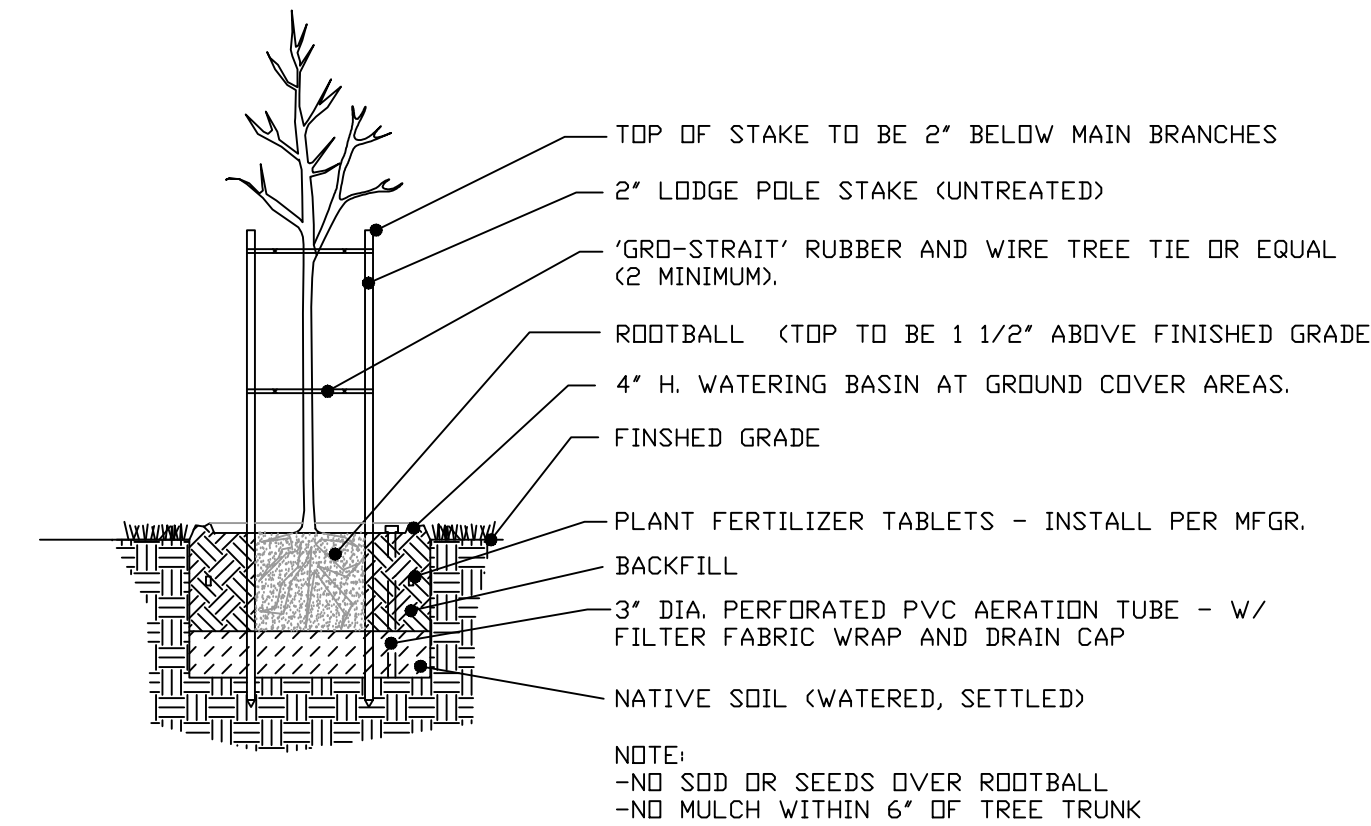
EXHIBIT E

LEGEND

SYMBOL	TYPE / NUMBER	NAME	SIZE
	TREE 1	LONDON PLANE SYCAMORE 'PLATANUS OCCIDENTALIS'	24" BOX
	TREE 2	FRUITLESS PLUM 'PRUNUS CERASITERA NEWPORT'	24" BOX
	SHRUB 1	NEW ZEALAND FLAX 'PHORMIUM'	5 GAL.
	SHRUB 2	HEDGE LAVENDER 'LAVANDULA AJUSTIFOLIA'	5 GAL.
	SHRUB 3	LILY OF THE NILE 'AGAPANTHUS'	5 GAL.
	SHRUB 4	GOLDEN FOUNTAIN GRASS	1 GAL.
	VINE 1	ENGLISH IVY 'HEDERA HELIX'	1 GAL.
	GRASS AREA		



SHRUB PLANTING



FOR TREES INSTALLED IN PAVED AREAS, THE OPENING CUT INTO THE CONCRETE WILL HAVE A DIAMETER OF AT LEAST 2X THE ROOTBALL (MIN.)

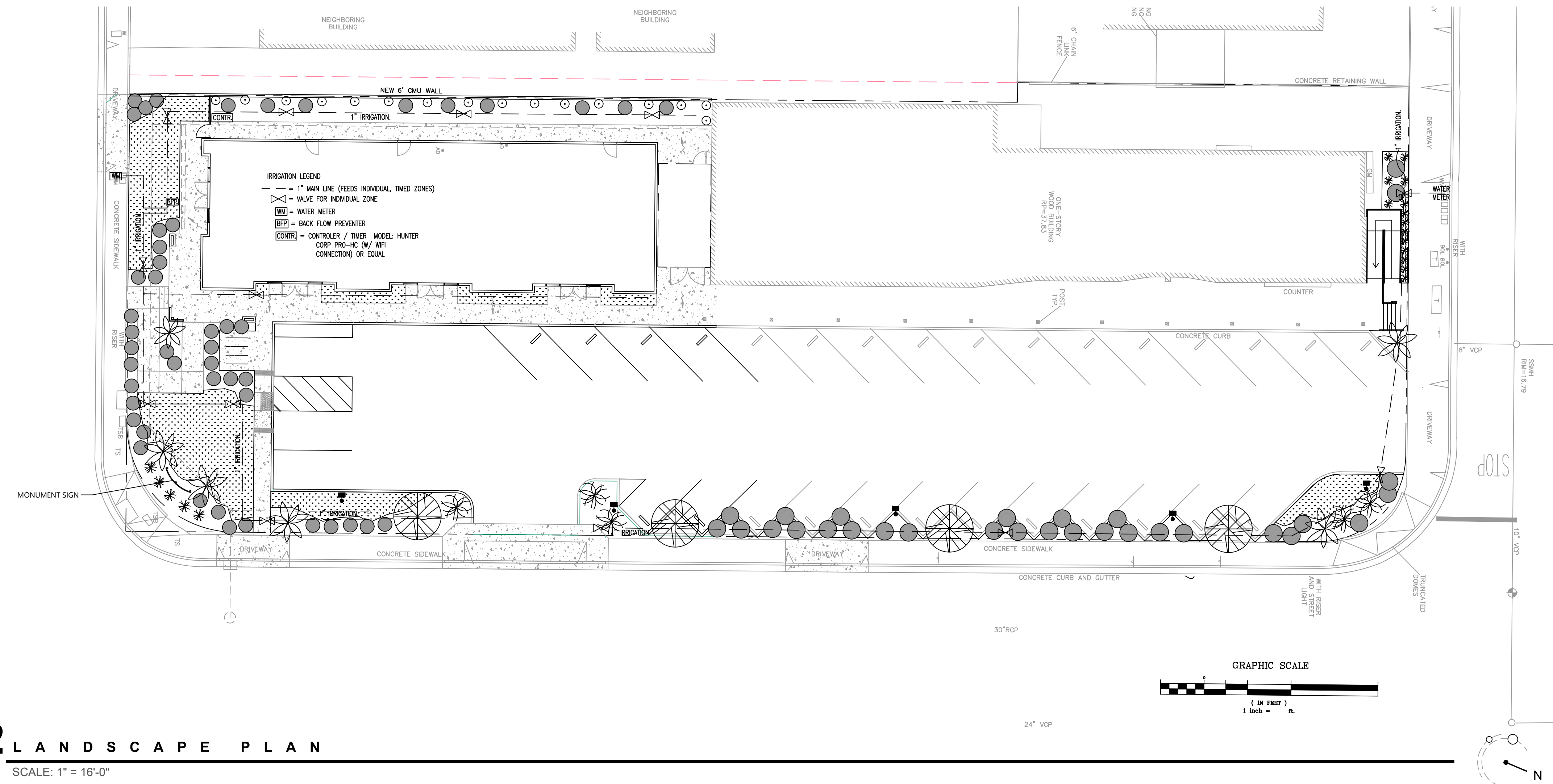
TREE PLANTING

LANDSCAPE NOTES

- SEE SHEET A1.1 FOR PROPOSED SITE PLAN
- ALL IRRIGATION WILL BE INSTALLED IN ACCORDANCE WITH CITY OF SANTA CLARA REQUIREMENTS.
- TREES ARE NOT TO BE WITHIN 5'-0" OF ANY UNDERGROUND ELECTRICAL. GC WILL POT HOLE TO VERIFY LOCATION(S) BEFORE PLANTING ANY TREES.
- NO CUTTING OF ANY PART OF CITY TREES, INCLUDING ROOTS SHALL BE DONE WITHOUT SECTURING APPROVAL AND DIRECT SUPERVISION FROM THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY
- SUPPLEMENTAL LANDSCAPING SHALL BE DROUGHT TOLERANT.
- NO CUTTING OF ANY PART OF PRIVATE TREES, INCLUDING ROOTS, SHALL BE DONE WITHOUT DIRECT SUPERVISION OF AN INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) CERTIFIED ARBORIST.
- VALVES FOR FUTURE PLAYGROUND IRRIGATION IN THE FENCED-IN AREA ARE PROVIDED. NOTE: TURF GRASS (IF ANY) MUST BE AT LEAST 8' WIDE - WITH 25% MAX. SLOPE, AND MUST BE LESS THAN 25% OF LANDSCAPED AREA.

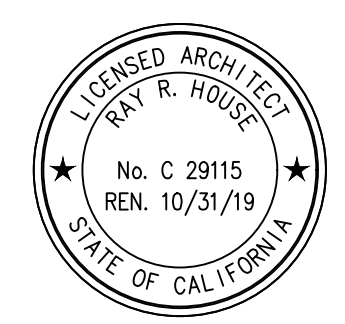
IRRIGATION NOTES

- IRRIGATION SYSTEM TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODE REQUIREMENTS.
- CALGREEN (5.304.2) IN NEW NON-RESIDENTIAL CONSTRUCTION OR BUILDING ADDITION OR ALTERATION WITH AT LEAST 1,000, BUT NOT MORE THAN 2,500 S.F. OF CUMULATIVE LANDSCAPED AREA, AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED OR SOIL MOISTURE-BASED THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANT'S NEEDS AS WEATHER CONDITIONS CHANGE; OR WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS WITH THE CONTROLLERS.
- IRRIGATION SYSTEM SHALL HAVE A MAXIMUM OF 10 GPM AT 45 PSI STATIC PRESSURE. VERIFY AT CONNECTION POINT(S).
- ALL EQUIPMENT (CONTROLLERS, VALVES, HEADS, ETC.) TO BE INSTALLED PER MANUFACTURER.
- ALL VALVE CONTROL WIRE SHALL BE 14 AWG (MIN.) COPPER UL APPROVED FOR DIRECT BURIAL IN GROUND. CONNECT ALL WIRES USING 3M DBY CONNECTORS PER MFR.



2 LANDSCAPE PLAN

SCALE: 1" = 16'-0"



RETAIL MALL PROJECT

2181 DOOLITTLE DRIVE
SAN LEANDRO, CA

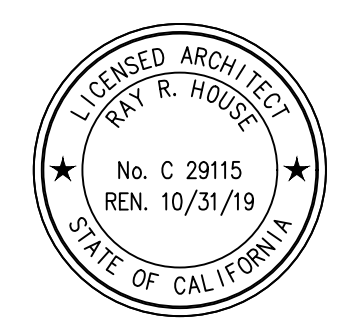
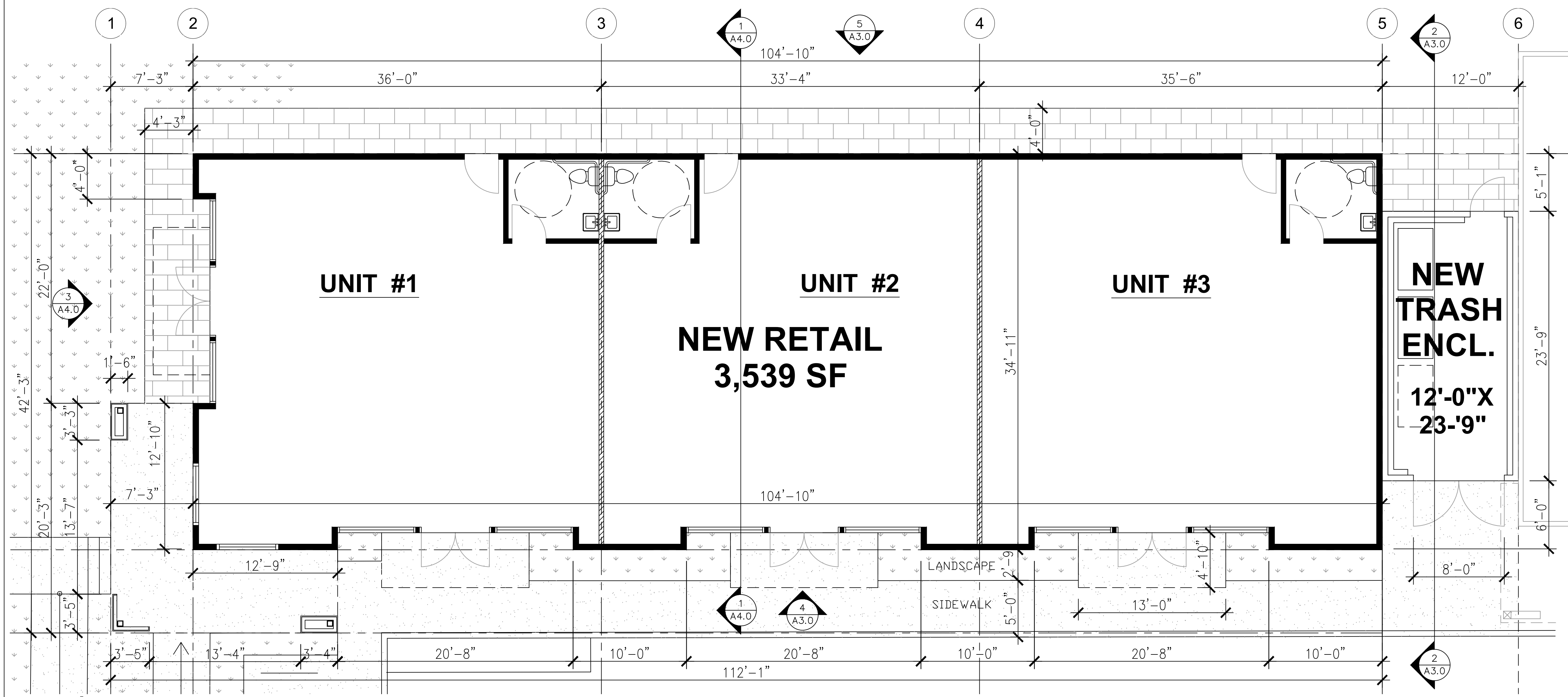
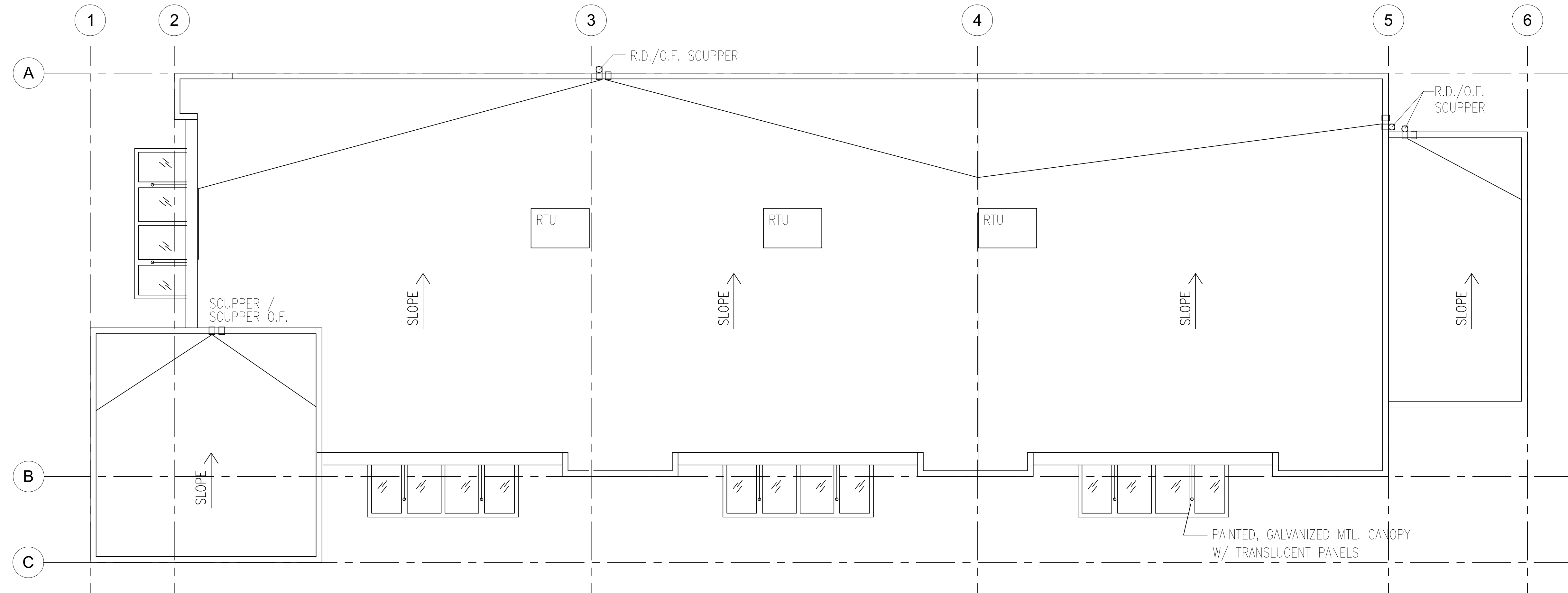
REV	DATE	DESCRIPTION
-	10.24.18	PLANNING SBMTL
-	12.17.18	PLANNING COMMENTS

LANDSCAPE PLAN

DRAWN BY: RHA SCALE: NOTED
CHECKED: RHA PROJECT: 18-016

NTP: SEPT 2018 **A1.1**

EXHIBIT F



RETAIL MALL PROJECT

2181 DOOLITTLE DRIVE
SAN LEANDRO, CA

REV	DATE	DESCRIPTION
-	10.24.18	PLANNING SBMTL
-	12.17.18	PLANNING COMMENTS

DEMOLITION + CONSTRUCTION PLANS

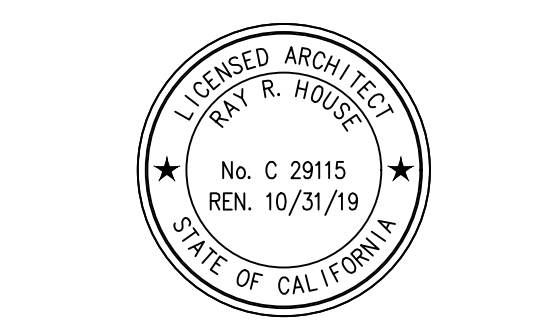
DRAWN BY: RHA SCALE: NOTED
 CHECKED: RHA PROJECT: 18-016



WALL LIGHT 1
 ENDURANCE FIN
 WAC LIGHTING CO.



WALL LIGHT 2
 DIVA LIGHT
 LED CUTOFF WALL PAK
 CWP SERIES.



RETAIL MALL PROJECT

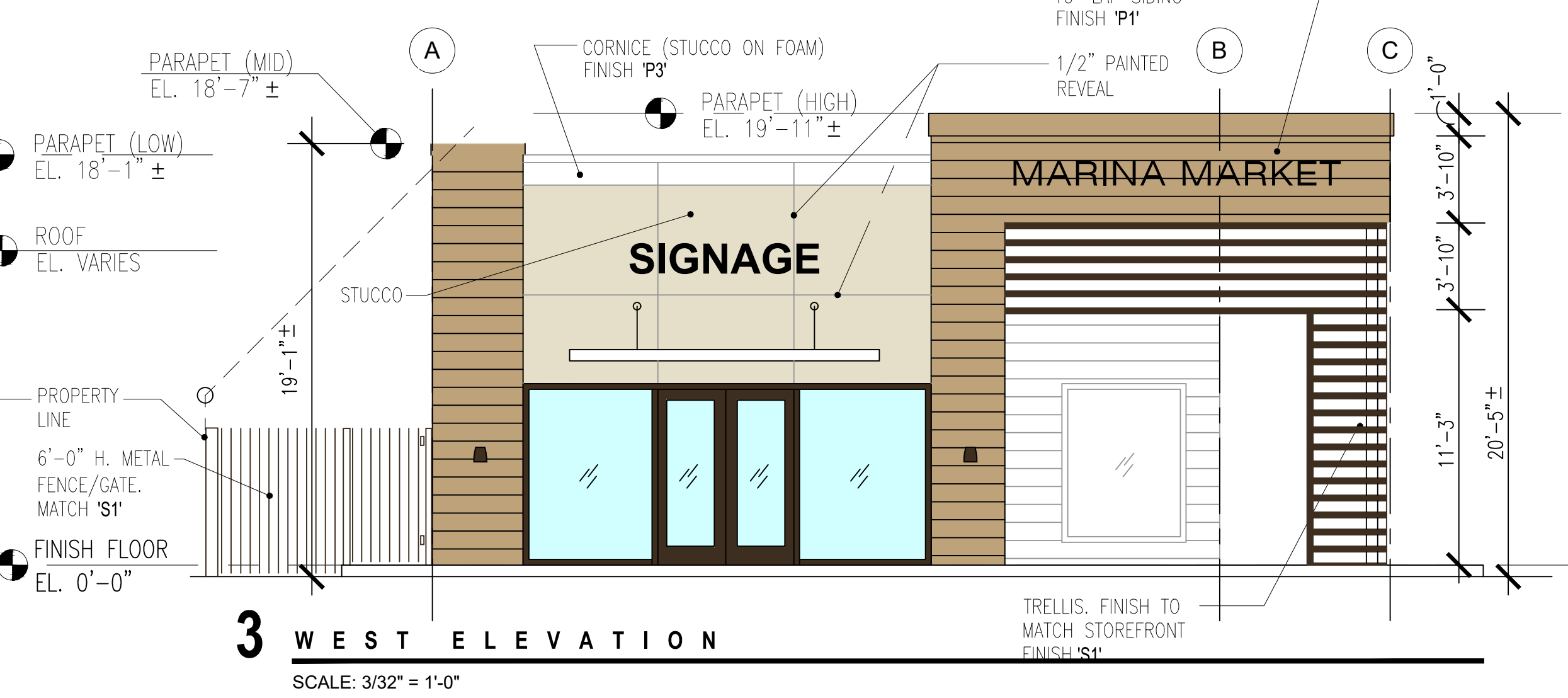
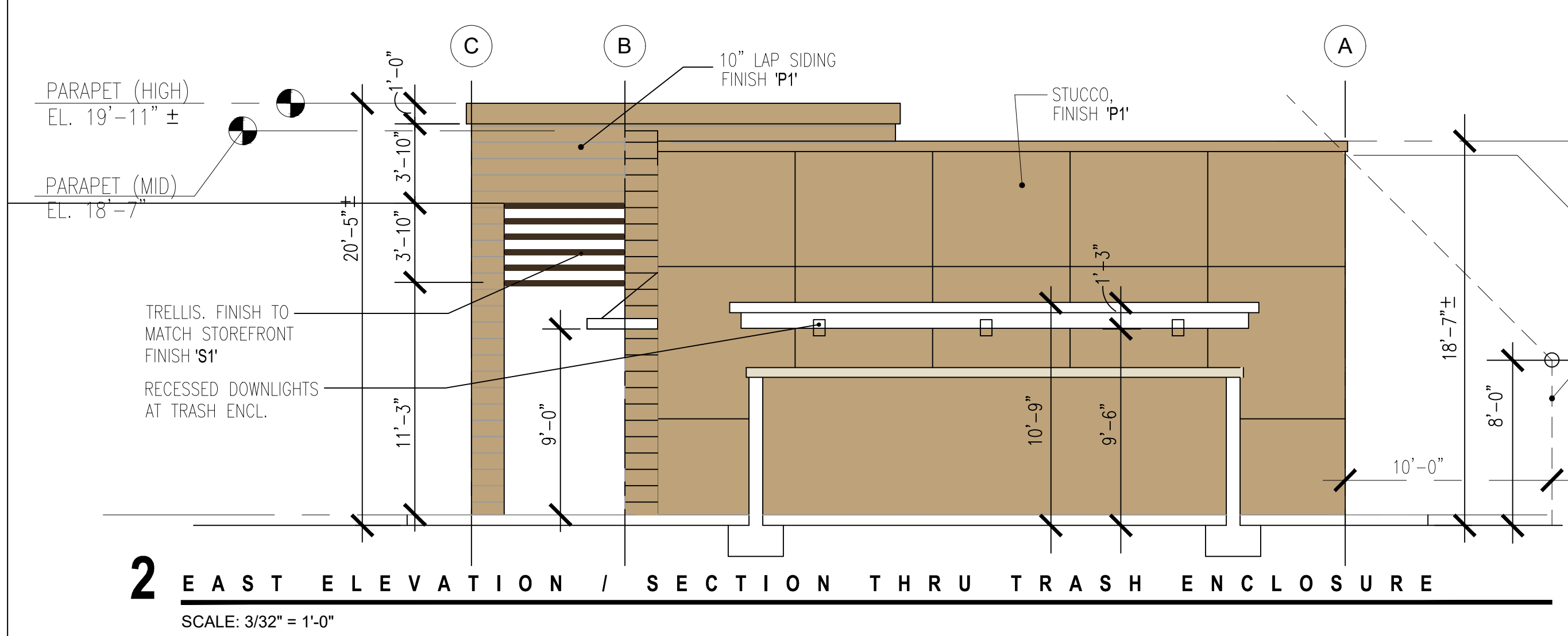
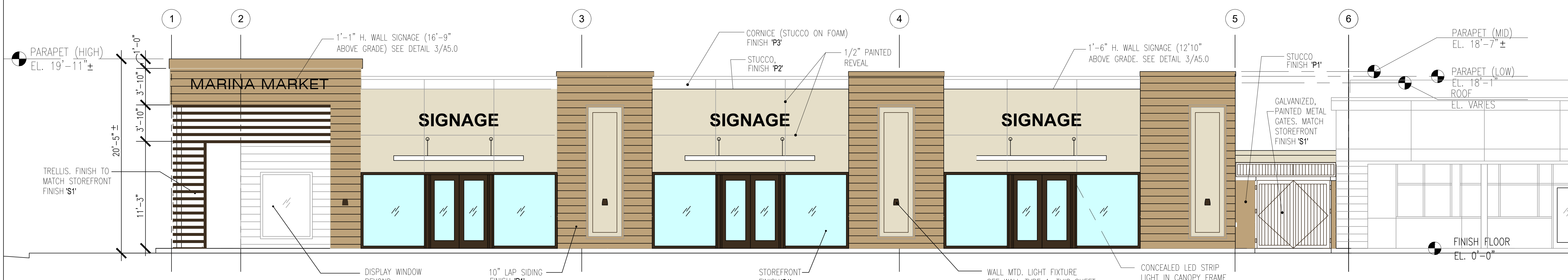
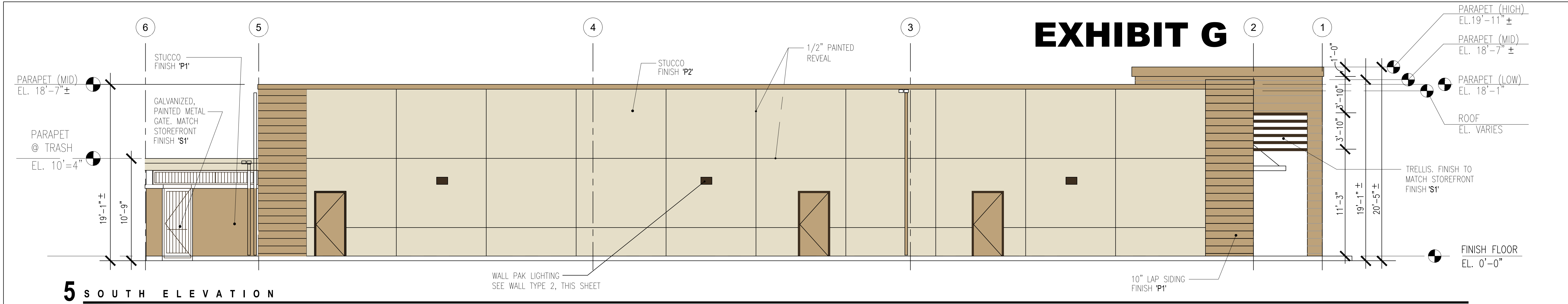
2181 DOOLITTLE DRIVE
SAN LEANDRO, CA

REV	DATE	DESCRIPTION
-	10.24.18	PLANNING SBMTL
-	12.17.18	PLANNING COMMENTS

EXTERIOR ELEVATIONS

DRAWN BY: RHA SCALE: NOTED
 CHECKED: RHA PROJECT: 18-016

EXHIBIT G



FINISHES

- P1 'TANGLEWOOD' KM4635-3 HORIZONTAL SHIPLAP SIDING (+STUCCO AT TRASH ENCLOSURE)
- P2 'BROWN MOUSE' KM4641-1 PRIMARY STUCCO
- P3 'IVORY MIST' KM4926-1 METAL CANOPIES (+ CORNICE STUCCO)
- S1 DARK BRONZE ANODIZED ALUMINUM STOREFRONT, + TRELLIS
- SC SEALED CONCRETE

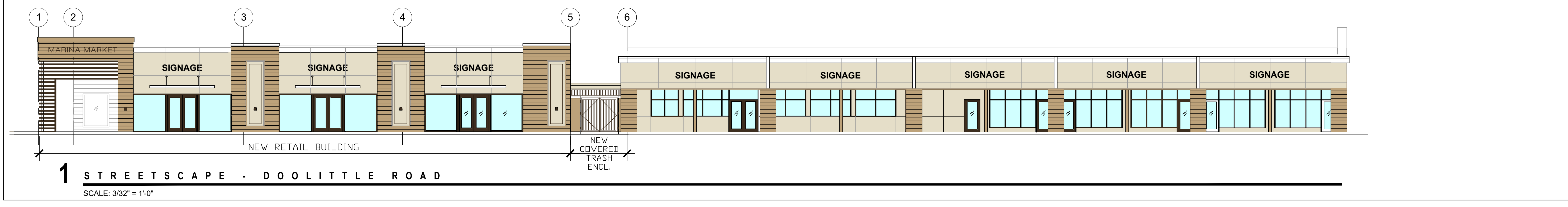


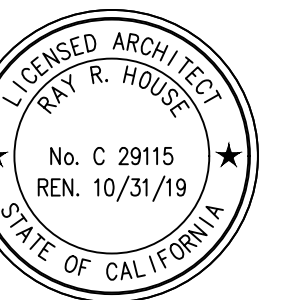
EXHIBIT H



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RETAIL MALL PROJECT

2181 DOOLITTLE DRIVE
SAN LEANDRO, CA

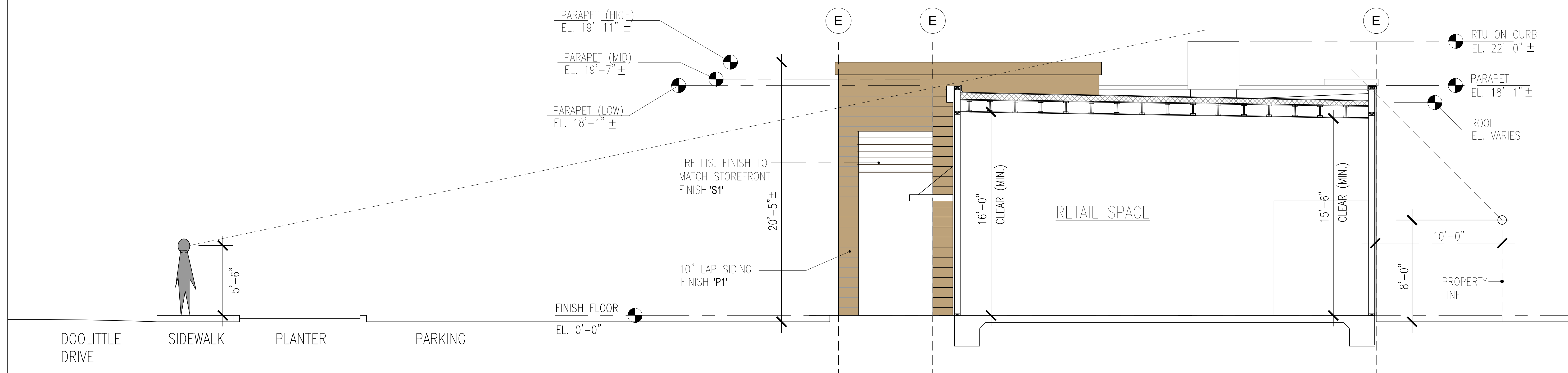
REV	DATE	DESCRIPTION
-	10.24.18	PLANNING SBMTL
-	12.17.18	PLANNING COMMENTS

SECTIONS

DRAWN BY: RHA SCALE: NOTED
CHECKED: RHA PROJECT: 18-016

NTP:
SEPT 2018

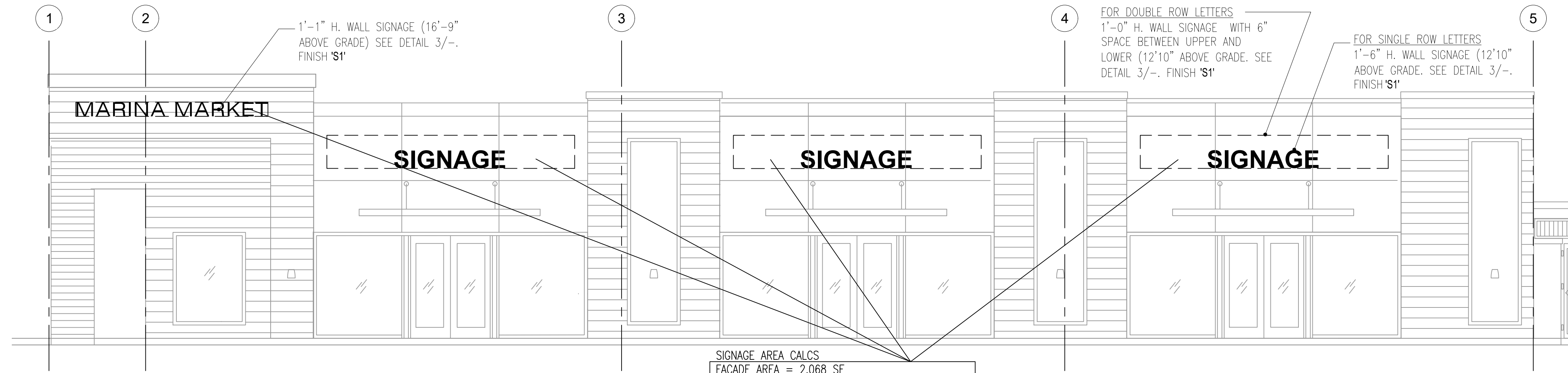
A4.0



1 BUILDING SECTION / SITE-LINE DIAGRAM

SCALE: 1/4" = 1'-0"

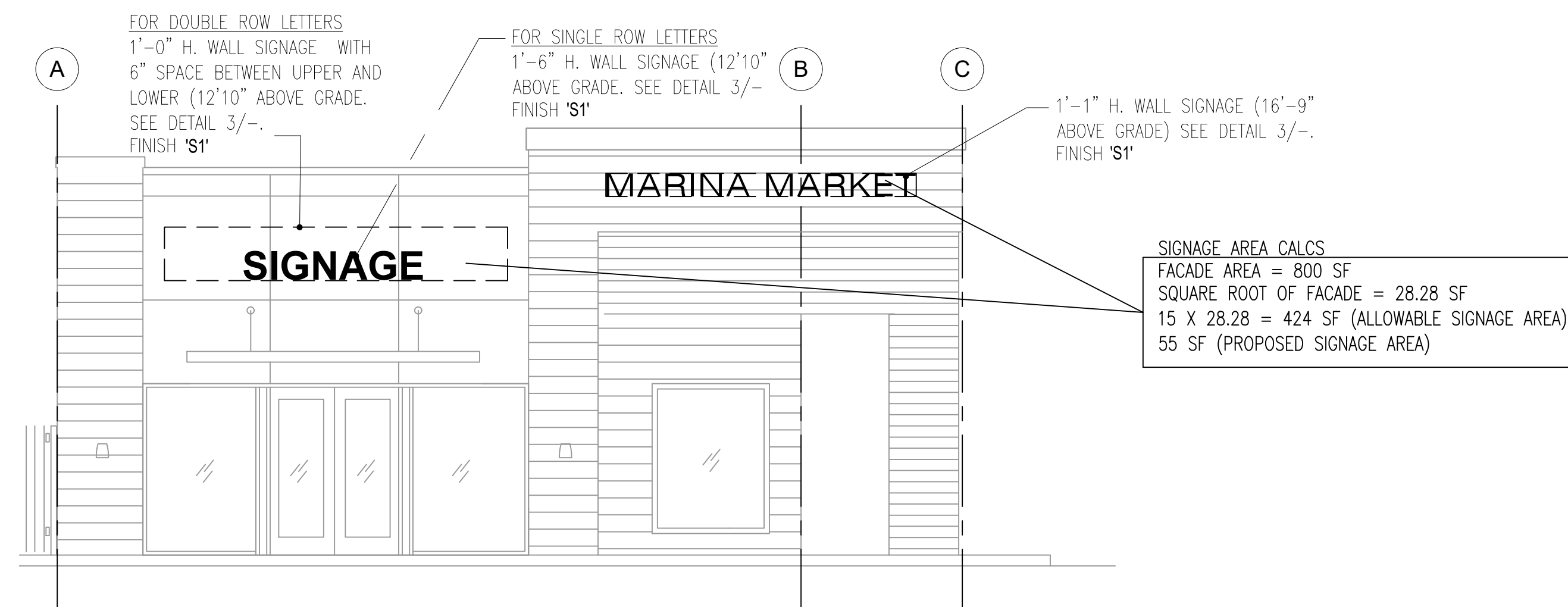
EXHIBIT I



1 NORTH ELEVATION

SCALE: 3/32" = 1'-0"

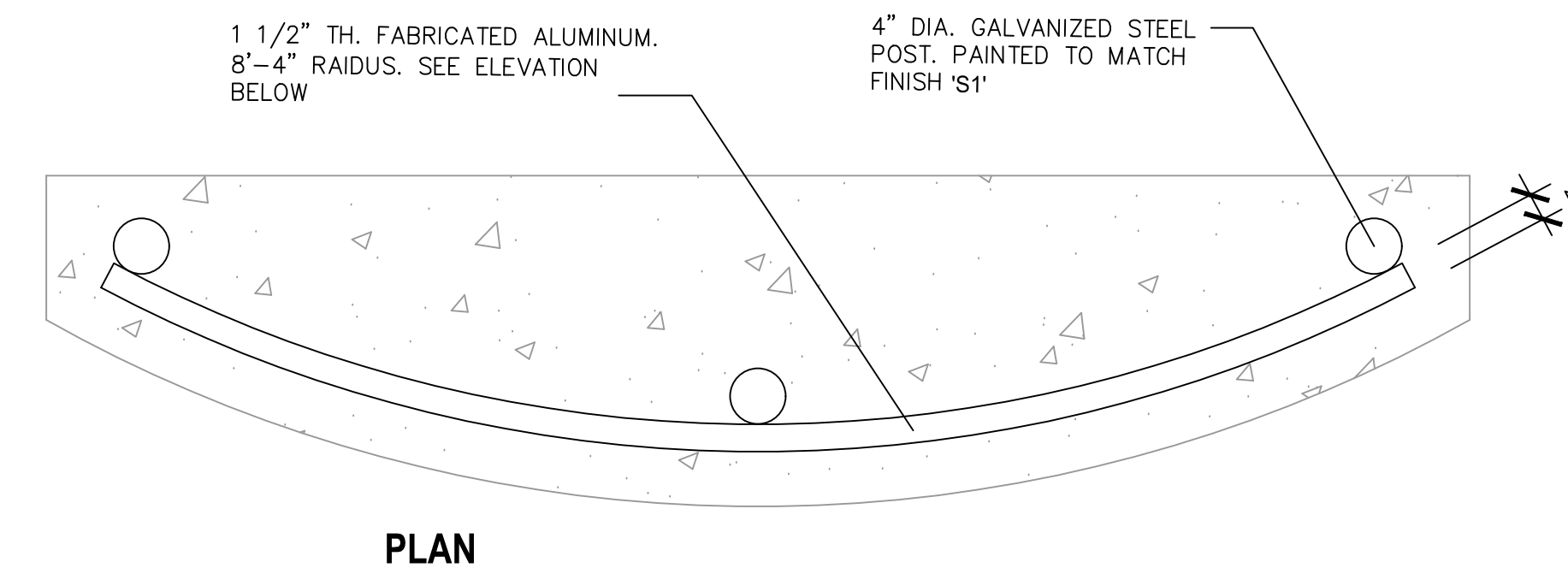
SIGNAGE AREA CALCS
FACADE AREA = 2,068 SF
SQUARE ROOT OF FACADE = 45.47 SF
15 X 45.47 = 682 SF (ALLOWABLE SIGNAGE AREA)
155 SF (PROPOSED SIGNAGE AREA)



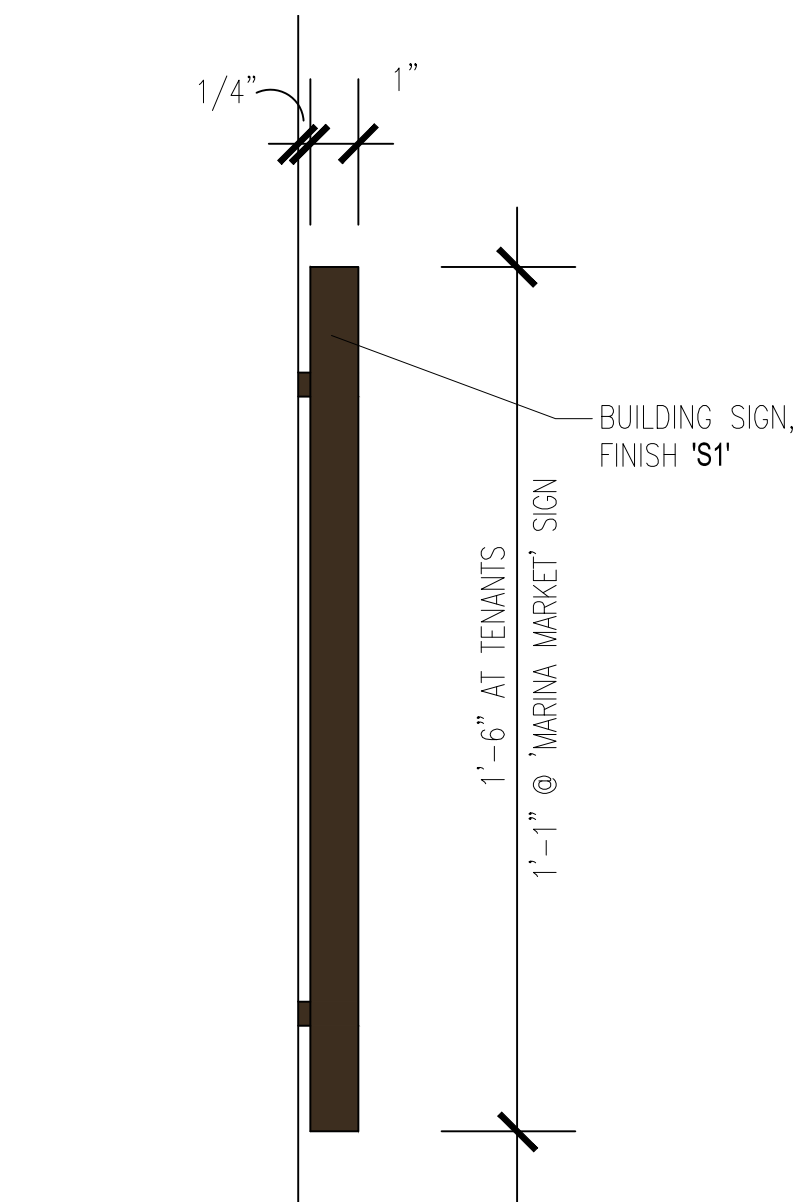
2 WEST ELEVATION

SCALE: 3/32" = 1'-0"

SIGNAGE AREA CALCS
FACADE AREA = 800 SF
SQUARE ROOT OF FACADE = 28.28 SF
15 X 28.28 = 424 SF (ALLOWABLE SIGNAGE AREA)
55 SF (PROPOSED SIGNAGE AREA)



PLAN



3 BUILDING SIGNAGE

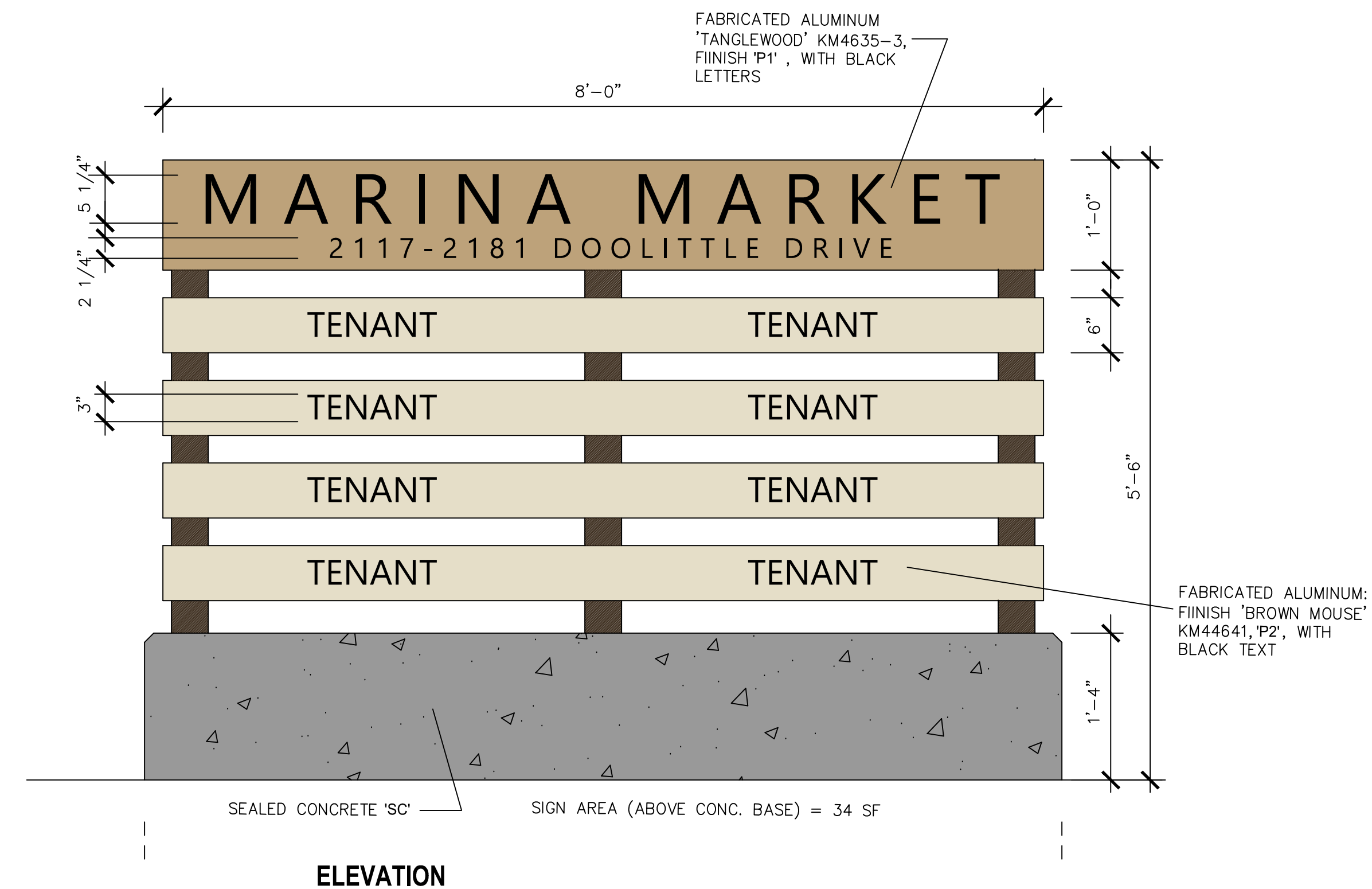
SCALE: 1" = 3'-0"

FINISHES

- P1** 'TANGLEWOOD' KM4635-3 HORIZONTAL SHIPLAP SIDING (+STUCCO AT TRASH ENCLOSURE)
- P2** "BROWN MOUSE" KM4641-1 PRIMARY STUCCO
- P3** 'IVORY MIST' KM4926-1 METAL CANOPIES (+ CORNICE STUCCO)
- S1** DARK BRONZE ANODIZED ALUMINUM STOREFRONT, + TRELLIS
- SC** SEALED CONCRETE

SIGNAGE NOTES

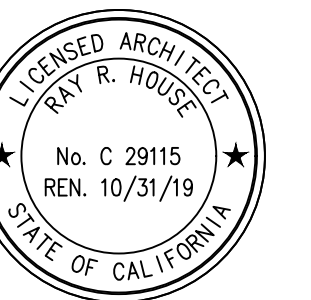
1. SIGN PROGRAM APPLIES TO ALL SIGNAGE AT THE SITE, INCLUDING THE EXISTING BUILDING WHEN IT IS UPDATED.
2. WALL SIGNAGE AND MONUMENT SIGNAGE TO BE NON-ILLUMINATED.
3. NO NEW ROOF SIGNS ARE ALLOWED.
4. NO LOGOS OR EXTRANEOUS INFORMATION ON MONUMENT SIGN.



ELEVATION

4 MONUMENT SIGN -

SCALE: 1" = 1'-0"



RETAIL MALL PROJECT

2181 DOOLITTLE DRIVE
SAN LEANDRO, CA

REV	DATE	DESCRIPTION
-	10.24.18	PLANNING SBMTL
-	12.17.18	PLANNING COMMENTS

BUILDING + MONUMENT SIGNS

DRAWN BY: RHA SCALE: NOTED
CHECKED: RHA PROJECT: 18-016

NTP: SEPT 2018 **A5.0**



MARINA MARKET

MARINA MARKET

SIGNAGE

SIGNAGE

SIGNAGE

MARINA MARKET
2117-2181 DOOLITTLE DRIVE
TENANT TENANT
TENANT TENANT
TENANT TENANT
TENANT TENANT