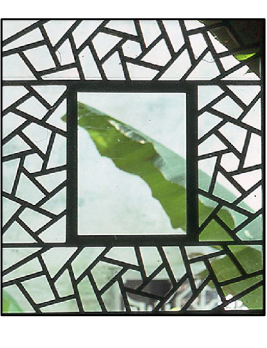


△5-1, 2017
△5-26, 2017

PROJECT Two new apartment units
PROJECT ADDRESS: 84 Oakes Blvd San Leandro, California

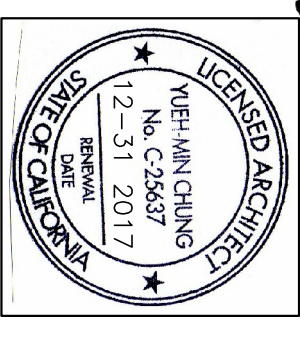
PROJECT OWNER & OWNER'S ADDRESS RongKang & Kayla Wang 84 Oakes Blvd San Leandro, California

SHEET TITLE Introduction Proposed site plan Zoning data Building data and notes Street front View



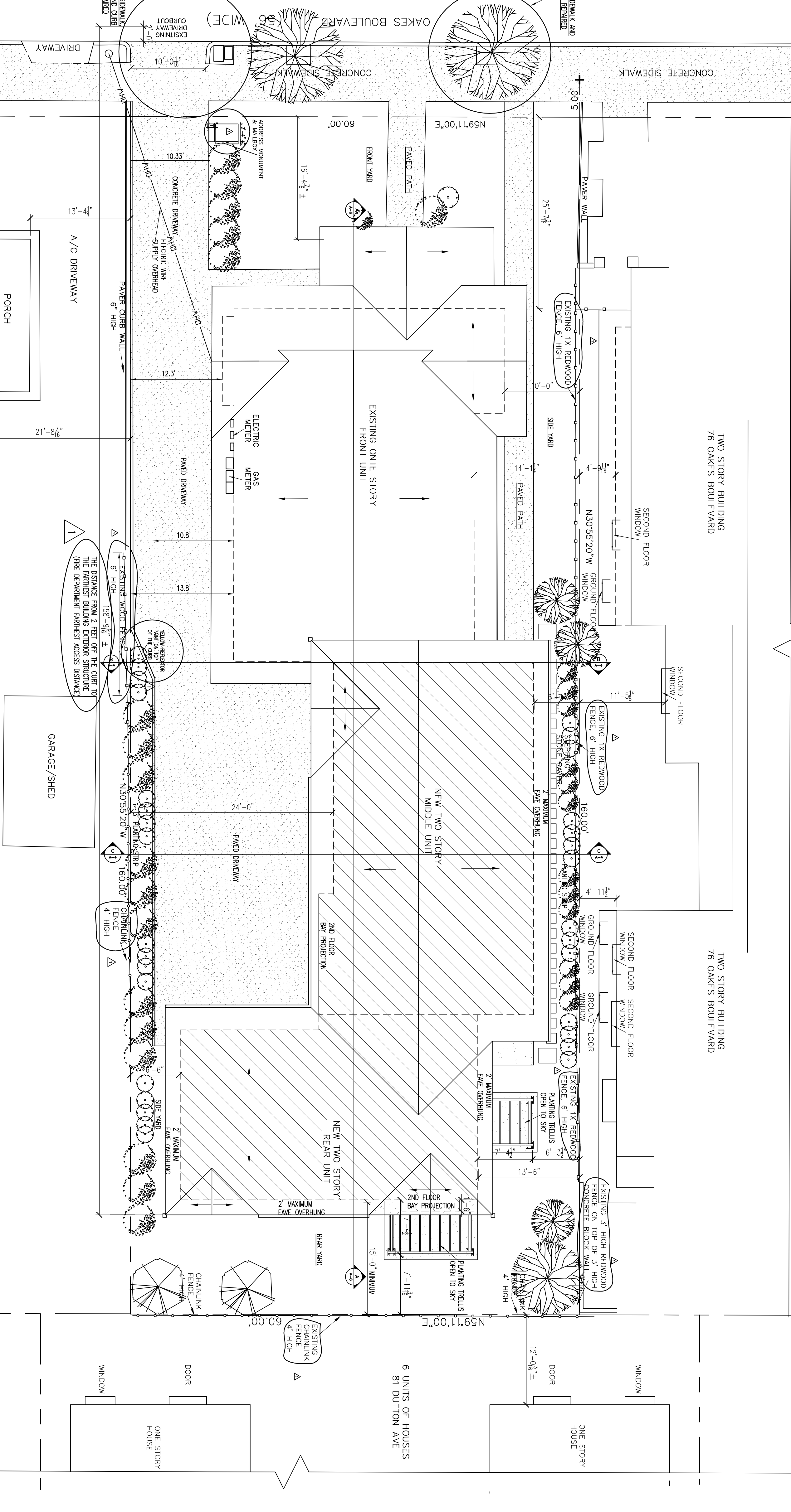
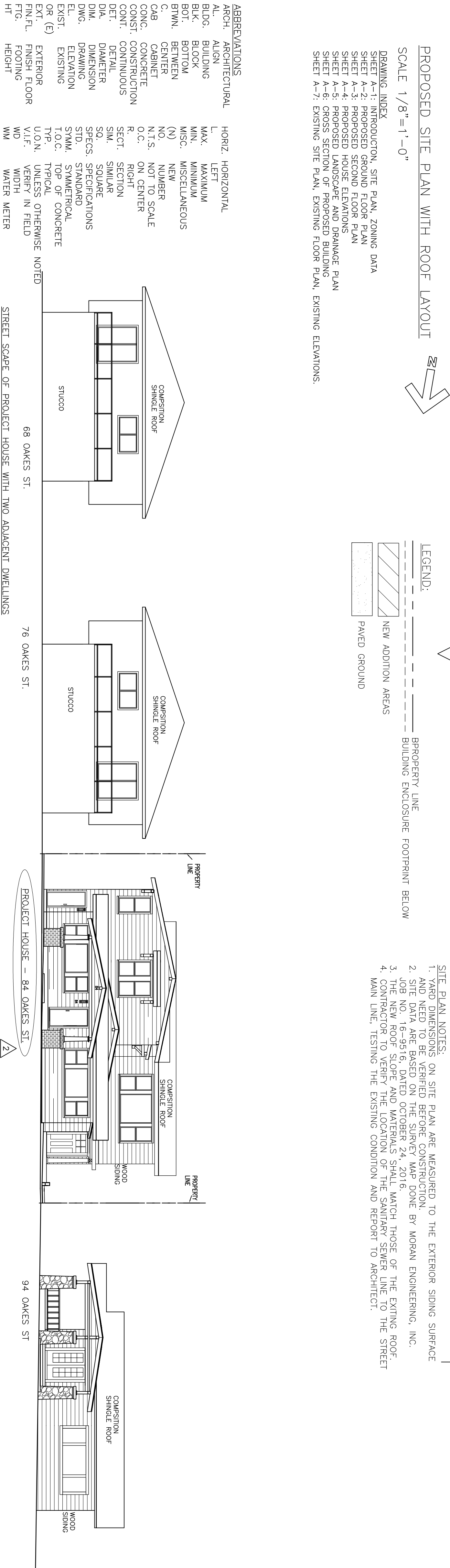
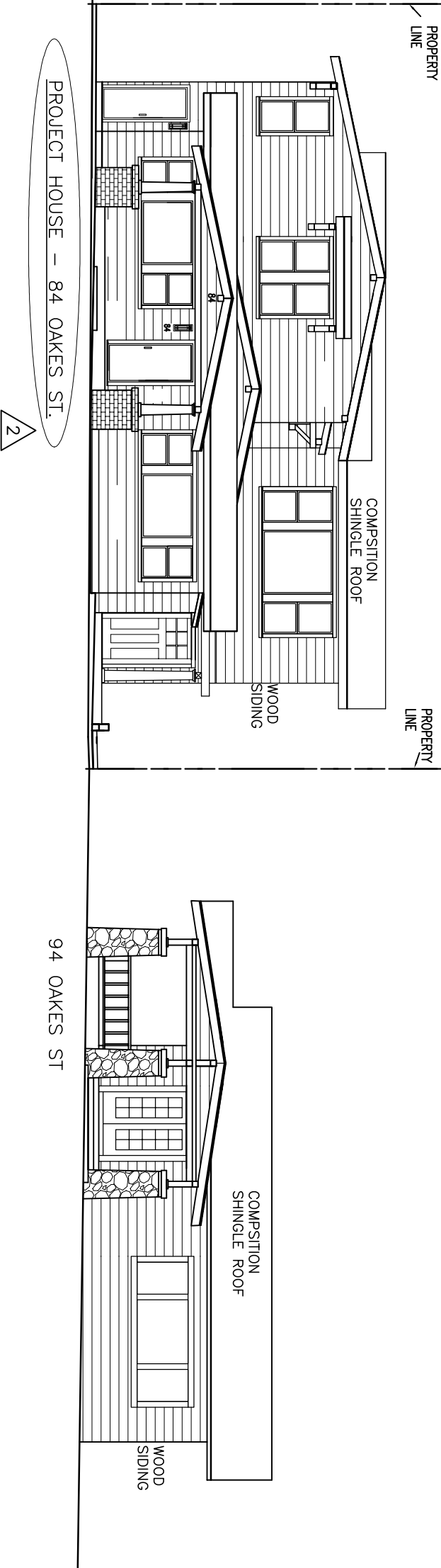
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DATE 12-26, 2016
SCALE AS SHOWN
DRAWN YMC
JOB 0516
SHEET A--1
OF TOTAL A SHEETS 7

ABBREVIATIONS	HORIZ. HORIZONTAL
ARCH. ARCHITECTURAL	L. LEFT
ALN. ALIGN	
BLDG. BUILDING	MAX. MAXIMUM
B.T. BETWEEN	MIN. MINIMUM
BTWN. BETWEEN	MISC. MISCELLANEOUS
C. CENTER	N. NORTH
CAB. CABINET	N.O. NUMBER
CONC. CONCRETE	N.T.S. NOT TO SCALE
CONT. CONTINUOUS	O.C. ON CENTER
DET. DETAIL	R. RIGHT
DIV. DIVISION	SECT. SECTION
DWG. DRAWING	SO. SQUARE
EL. ELEVATION	SPEC. SPECIFICATIONS
EXT. EXISTING	ST. SYMMETRICAL
EXT. FIN. FINISH	T.O.C. TOP OF CONCRETE
FT. FOOTING	TYP. TYPICAL
HT. HEIGHT	U.O.N. UNLESS OTHERWISE NOTED
	V.I.F. VERIFY IN FIELD
	WD. WIDTH
	WM. WATER METER



ENGINEERING & TRANSPORTATION DEPARTMENT COMPLIANCE DATA AND NOTES

1. THE PRE-PROJECT IMPERVIOUS SURFACE IS 5308 SQUARE FEET.
2. THE BROKEN AND UP-LIFTED SIDEWALK, DRIVEWAY, DUBB AND STREET GUTTER AREAS AS SHOWN ON THE SITE PLAN SHALL BE REPAIRED PER CITY OF SAN LEANDRO STANDARD PLANS DWG. NO. 102, CASE 3101 AND DWG. NO. 100, CASE 3101.
3. THE NEW AREAS SHALL ALIGN WITH THE EXISTING CURB AND STREET GUTTER AND DRIVEWAY REPAIR. THE NEW AREAS SHALL BE OBTAINED PRIOR TO BEGINNING THE SIDEWALK AND DRIVEWAY REPAIR.
4. THE NEW SEWER LATERAL FROM THE TWO NEW UNITS SHALL BE CONNECTED TO THE EXISTING SEWER LINE OF THE EXISTING HOUSE. CONTRACTOR TO VERIFY THE PROPER SIZE OF THE EXISTING SEWER LATERAL FOR THE NEW ADDED SEWER LOAD. IF THE EXISTING SEWER LATERAL NEEDED TO BE REPLACED OR IF THE SEWER FOR THE NEW UNITS NEEDS TO BE INDEPENDENTLY CONNECTED TO THE STREET MAIN PIPELINE, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF SAN LEANDRO. ANY STRUCTURAL DAMAGE TO THE SANITARY SEWER MAIN LINE, THE APPLICANT SHALL REPLACE THE MAIN PIPELINE FROM JOINT TO JOINT AS PART OF THE PROJECT PRIOR TO MAKING THE SEWER LATERAL CONNECTION.
5. ALL NEW ELECTRIC AND COMMUNICATIONS UTILITIES SERVING THE SITE SHALL BE UNDERGROUND. DRAIN LINES SHALL BE DIRECTLY OR INDIRECTLY CONNECTED TO THE SANITARY SEWER SYSTEM AND MAY NOT DISCHARGE TO THE STORM DRAIN SYSTEM.
6. I. THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE ENGINEERING AND TRANSPORTATION DEPARTMENT FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY INCLUDING THE USE OF LIFTING EQUIPMENT OR THE STAGING OF MATERIALS, BARRICADES, TRAFFIC CONES, AND/OR CAUTION RIBBON SHALL BE POSITIONED AROUND ANY EQUIPMENT OR MATERIALS WITHIN THE RIGHT-OF-WAY TO PROVIDE A BARRIER TO TRAFFIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY IMPROVEMENTS MUST BE PROMPTLY REPAIRED BY THE APPLICANT ACCORDING TO CITY ADOPTED STANDARDS.
- II. IN THE EVENT, DESIGN AND/OR CONSTRUCTION OF ANY SITE IMPROVEMENTS REQUIRES ENCROACHMENT ONTO NEIGHBORING PROPERTY, WRITTEN AGREEMENT WITH THAT PROPERTY OWNER SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL, PRIOR TO ISSUANCE OF THE BUILDING PERMIT.
- III. THE APPLICANT SHALL COMPLY WITH THE FOLLOWING HIGH STANDARDS FOR SANITATION DURING CONSTRUCTION OF THE PROPOSED GARAGE CONSTRUCTION DUMPSTERS, AND DEBRIS PILES SHALL BE REMOVED ON A MINIMUM WEEKLY BASIS. ALL FOOD RELATED TRASH ITEMS SUCH AS WRAPPERS, CANS, BOTTLES, AND FOOD SCRAPs SHALL BE REMOVED OF IN CLOSED CONTAINERS ONLY AND SHALL BE REGULARLY REMOVED FROM THE SITE. INSPECTIONS, CONDUCTED AS PART OF THE REGULAR CONSTRUCTION COMPLIANCE, WILL BE CONDUCTED TO ENSURE COMPLIANCE OF THE APPLICANT AND CONTRACTORS WITH THIS REQUIREMENT.
- IV. THE APPLICANT SHALL IMPLEMENT CONSTRUCTION BEST MANAGEMENT PRACTICES DURING CONSTRUCTION TO CONTROL EROSION, KEEP SEDIMENT FROM LEAVING THE PROJECT SITE AND PREVENT STORM WATER POLLUTION. THE APPLICANT SHALL PROTECT EXISTING STORM DRAIN INLETS AND CONVEYANCES WITHIN THE PROJECT AREA TO PREVENT SEDIMENT FROM CONSTRUCTION ACTIVITIES ENTERING THE STORM DRAIN SYSTEM.

BUILDING DATA	TYPE OF CONSTRUCTION: VB
OCCUPANCY TYPE: R3/U	
SPRINKLER: YES	
STORIES: 2	
CODE COMPLIANCE	THE CURRENT DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND REGULATIONS:
	CALIFORNIA BUILDING CODE, 2016 EDITION (STRUCTURAL ONLY)
	CALIFORNIA RESIDENTIAL CODE, 2016 EDITION
	CALIFORNIA GREEN BUILDING CODE, 2016 EDITION
	CALIFORNIA ELECTRICAL CODE, 2016 EDITION
	CALIFORNIA PLUMBING CODE, 2016 EDITION
	CALIFORNIA MECHANICAL CODE, 2016 EDITION
	CALIFORNIA FIRE CODE, 2016 EDITION
	CALIFORNIA ENERGY CODE, 2016 EDITION
	ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

PROPOSED ZONING TABULATION DATA				APPROVED
ZONING DISTRICT: RM-1800				DATE
EXISTING	PROPOSED	PERMITTED/ REQUIRED		
LOT AREA (FT ²)	9600	9600	10,000	
NUMBER OF DWELLING UNITS (#)	1	3	8000	
NUMBER OF PARKING SPACES (#)	2 ENCLOSED	4 ENCLOSED	6 COVERED	
FRONT YARD SETBACK (FT)	16.33	3 COVERED CARPORT	1 OPEN SPACE	
SIDE YARD SETBACK (FT)	10 (LEFT)	6.50		
REAR YARD SETBACK (FT)	10.5 (RIGHT)	13.5 (L) 6.5 (R)		
MAXIMUM HEIGHT OF STRUCTURES(FT)	87.2	15	6 MIN 10 AVG	
SITE COVERAGE (%)	31	45	50	
LIVING FLOOR AREAS (FT ²)	1624	1590 FRONT UNIT	70	
GARAGE/CARPORT AREA (FT ²)	1149	1337 MIDDLE UNIT	SEE CODES	
		1317 REAR UNIT		
		305 MIDDLE UNIT	SEE CODES	
		435 REAR UNIT		
OPEN SPACE (FT ²)	3214	1384	600	
STORAGE SPACE (FT ² /CT)	NONE	4.92X8 / 275CF	200 PER UNIT	
		4.92X8 / 275CF	4X8 / 250CF	
		MIDDLE UNIT & REAR UNIT	PER UNIT	
BEDROOM NUMBER OF EACH UNIT (#)	3	3 FRONT UNIT	NOT APPLY	
		3 MIDDLE UNIT		
		3 REAR UNIT		

INTRODUCTION

THE EXISTING LOT HAS AN ONE-STORY SINGLE FAMILY HOUSE OF ABOUT 1624 SQUARE FEET WITH THREE BEDROOMS AND ONE BATH. THERE IS ONE DRIVEWAY AT THE RIGHT SIDE OF THE HOUSE LEADING TO AN EXISTING DETACHED TWO-CAR GARAGE AT REAR YARD. THE PRESENT PROJECT PROPOSES TO ADD TWO ADDITIONAL SINGLE FAMILY UNITS TO THE REAR YARD WITH A NEW MIDDLE UNIT AT REAR SECOND FLOOR ABOVE THE PARKING AREA AND A TWO-STORY REAR UNIT AT REAR NORTH END OF THE LOT.

THE MIDDLE UNIT OF 1337 SQUARE FEET SHALL HAVE THREE BEDROOMS AND TWO BATHS. THE REAR UNIT OF 1317 SQUARE FEET SHALL HAVE THREE BEDROOMS AND TWO BATHS.

THERE SHALL BE TOTAL 7 PARKING SPACES, FOUR PARK SPACES SHALL BE IN EXISTING GARAGE AND THREE NEW PARKING SPACES SHALL BE ADDED IN THE REAR YARD. THE EXISTING GARAGE SHALL BE DEMOLISHED AND THE NEW TWO-CAR GARAGE SHALL BE ATTACHED TO THE EXISTING FRONT UNIT REAR WITH AN INTERNAL DOOR ACCESS. THREE COVERED PARKINGS SHALL BE BELOW THE NEW MIDDLE UNITS AND ONE ENCLOSED GARAGE SHALL BE ATTACHED TO THE REAR UNIT WITH INTERNAL DOOR ACCESS.

THE EXISTING HOUSE EXTERIOR ENVELOPE SHALL BE MOSTLY PRESERVED WITH A MINOR DEMOLITION OF ABOUT 1000 SQUARE FEET OF THE EXISTING HOUSE. THE EXISTING DRIVEWAY ACCESS, THE NEW BUILDING SHALL MATCH THE EXISTING HOUSE WITH THE SAME ROOF AND WALL FINISHING MATERIALS. THE WINDOW FRAME AND ALL THE EXTERIOR WOOD TRIMS AND EAVE FAÇA SHALL ALSO MATCH THOSE OF THE EXISTING HOUSE.

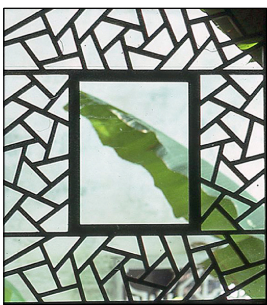
THE EXISTING GARAGE AT THE REAR YARD SHALL BE DEMOLISHED.

PROJECT
Two new apartment units

PROJECT ADDRESS:
84 Oakes Blvd.
San Leandro, California

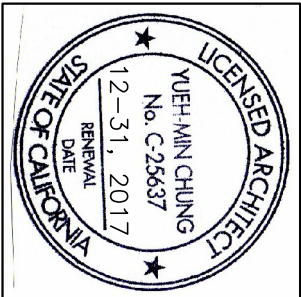
PROJECT OWNER & OWNER'S ADDRESS
RongKang & Kayla Wang
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SHEET TITLE
Proposed ground floor plan



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DATE
12-26, 2016

SCALE
3/16"=1'-0"

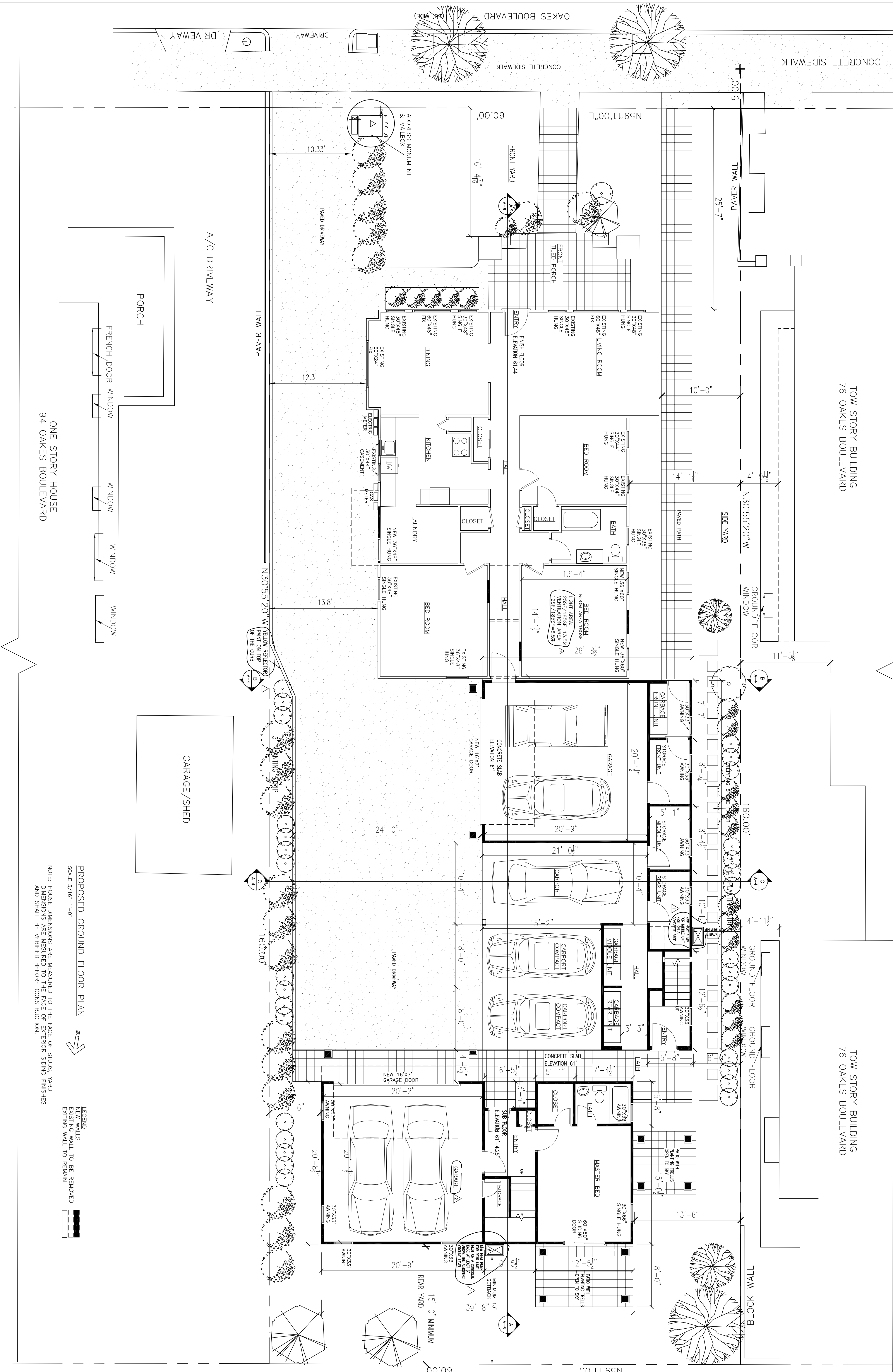
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JOB
0516

SHEET A-2

OF

TOTAL A
SHEETS 7



PROPOSED GROUND FLOOR PLAN
SCALE 3/16"=1'-0"

LEGEND
NEW WALLS
EXISTING WALL TO BE REMOVED
EXISTING WALL TO REMAIN

NOTE: HOUSE DIMENSIONS ARE MEASURED TO THE FACE OF STUDS, YARD DIMENSIONS ARE MEASURED TO THE FACE OF EXTERIOR SIDING FINISHES AND SHALL BE VERIFIED BEFORE CONSTRUCTION.

5-1, 2017

PROJECT
Two new apartment units

PROJECT ADDRESS:
84 Oakes Blvd.
San Leandro, California

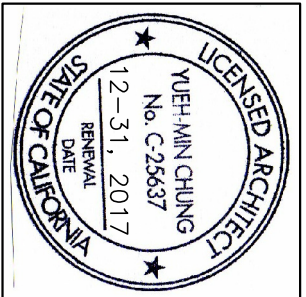
PROJECT OWNER & OWNER'S ADDRESS
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SHEET TITLE
Proposed Second floor plan



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DATE
12-26, 2016

SCALE
3/16"=1'-0"

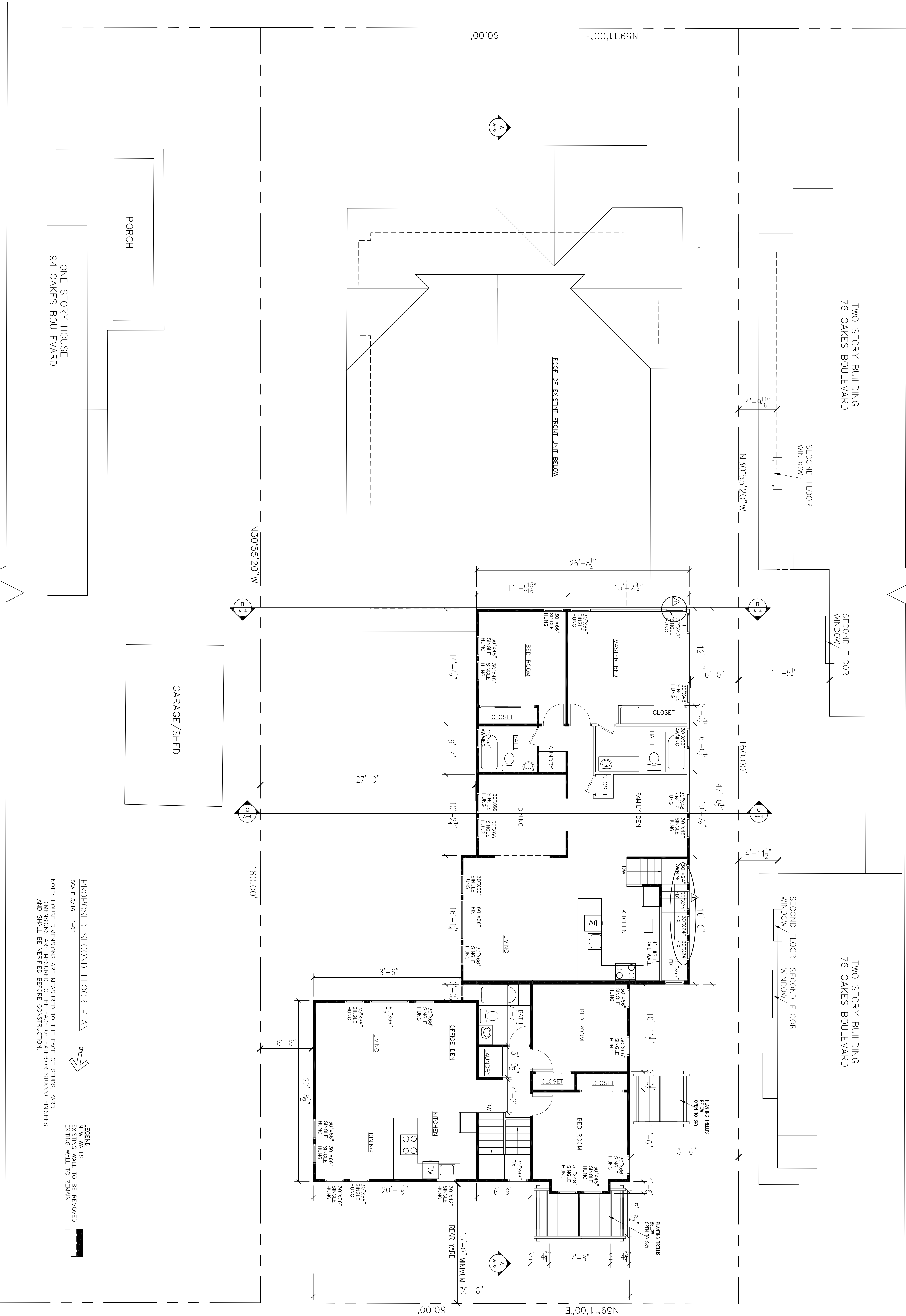
DRAWN
YMC

JOB
0516

SHEET
A-3

OF

TOTAL A 7
SHEETS



PROPOSED SECOND FLOOR PLAN

SCALE 3/16"=1'-0"

LEGEND
NEW WALLS
EXISTING WALL TO BE REMOVED
EXISTING WALL TO REMAIN

NOTE: HOUSE DIMENSIONS ARE MEASURED TO THE FACE OF STUDS, YARD
DIMENSIONS ARE MEASURED TO THE FACE OF EXTERIOR STUCCO FINISHES
AND SHALL BE VERIFIED BEFORE CONSTRUCTION.

△ 5-1, 2017

PROJECT
Two new apartment units

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San Leandro, California

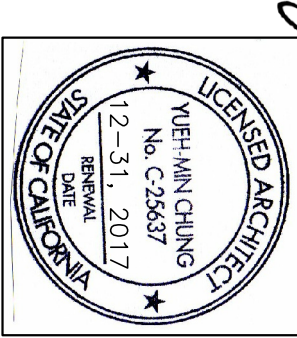
PROJECT OWNER &
OWNER'S ADDRESS
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SHEET TITLE
Proposed landscape and
drainage plan



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DATE
12-26, 2016

SCALE
3/16"=1'-0"

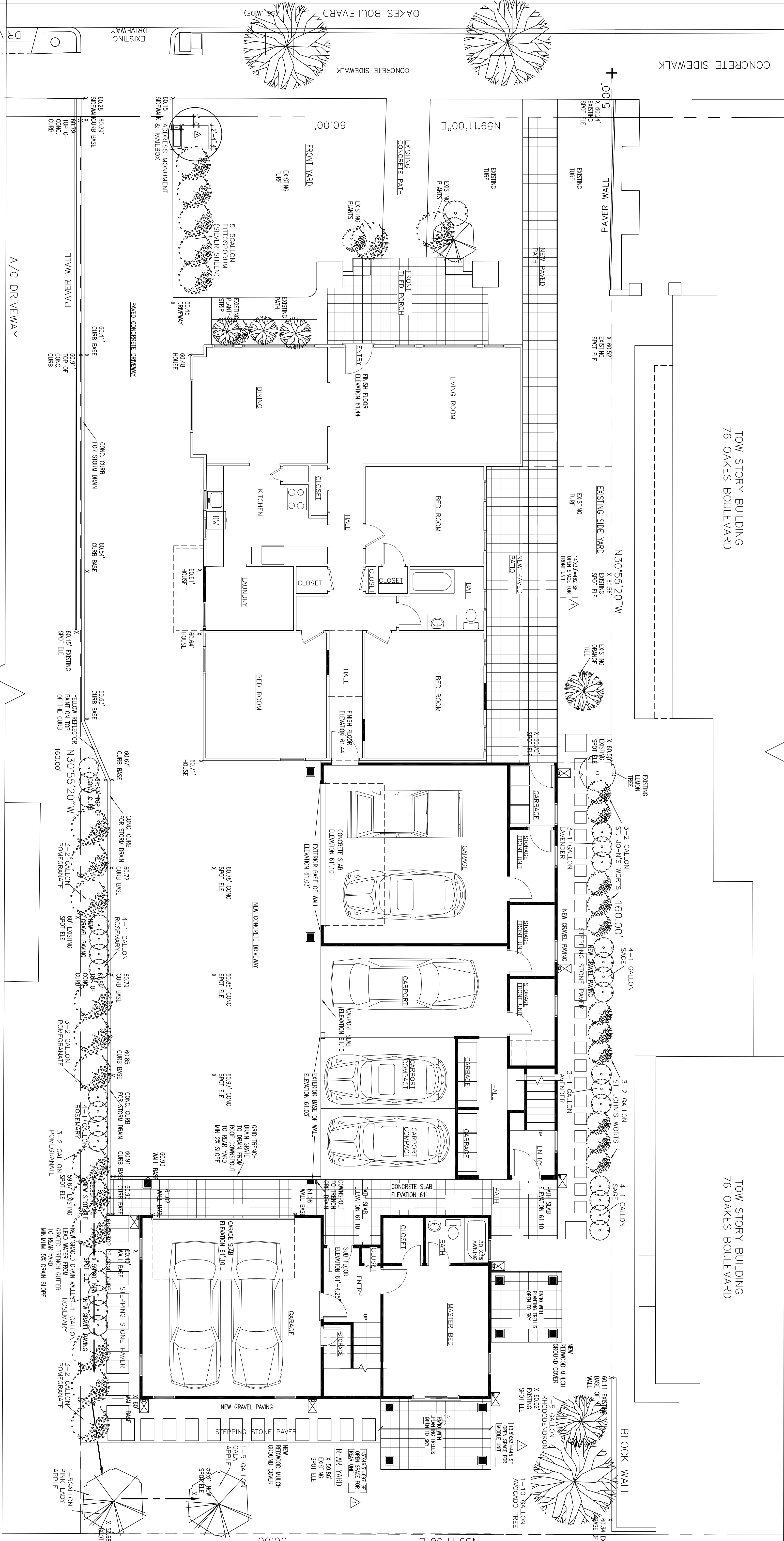
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YMC

JOB
0516

SHEET
A-5

OF
TOTAL A

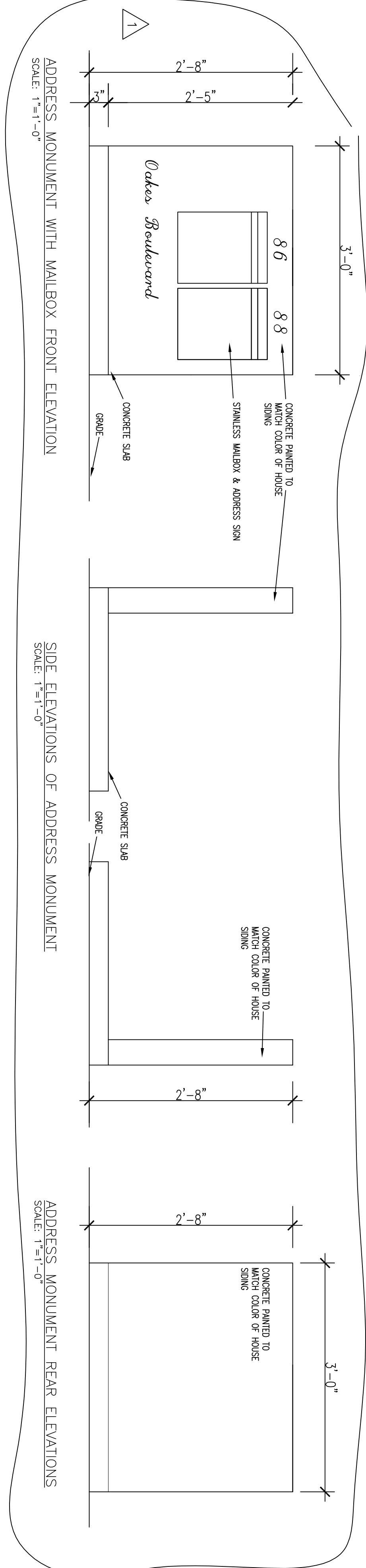
SHEETS
7



PROPOSED LANDSCAPE AND DRAINAGE PLAN
SCALE 3/16"=1'-0"

SHEET NOTES
1. ALL DOWNSPOUTS FOR NEW ROOF SHALL BE LED TO SPLASH BLOCKS
2. ORIENTED TOWARDS THE YARDS.
3. ALL THE SURFACE DRAIN SHALL HAVE A MINIMUM OF .5% OF DRAIN SLOPE.

DRAINAGE SYMBOLS
1. VALLEY DRAIN MIN. .5% SLOPE
2. PAINTED METAL DOWNSPOUT FROM ROOF
3. SPLASH BLOCK



REVISIONS

PROJECT Two new apartment units PROJECT ADDRESS: 84 Oakes Blvd. San Leandro, California
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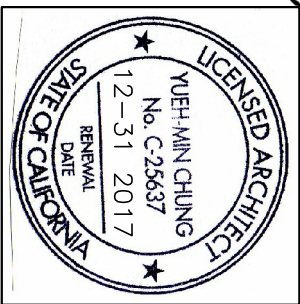
PROJECT OWNER & OWNER'S ADDRESS RongKang & Kayla Wang 84 Oakes Blvd. San Leandro, California
--

SHEET TITLE Building cross section A-A
--



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DATE	12-26, 2016
SCALE	3/16" = 1'-0"
DRAWN	YMC
JOB	0516
SHEET	A-6
OF	
TOTAL A	
SHEETS	7



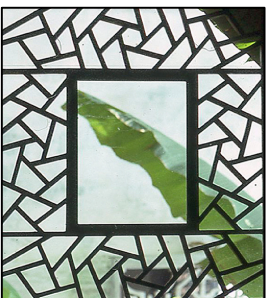
NORTH-SOUTH CROSS SECTION
SECTION A-A

PROJECT
Two new apartment units

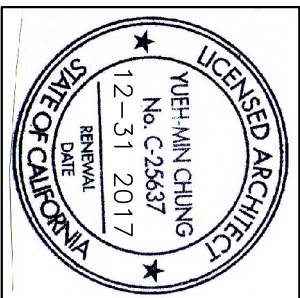
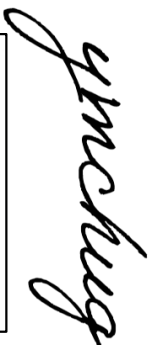
PROJECT ADDRESS:
84 Oakes Blvd.
San Leandro, California

**PROJECT OWNER &
OWNER'S ADDRESS**
RongKang & Kayla Wang
84 Oakes Blvd.
San Leandro, California

SHEET TITLE
Existing floor plan
Existing elevations
Existing site demolition plan

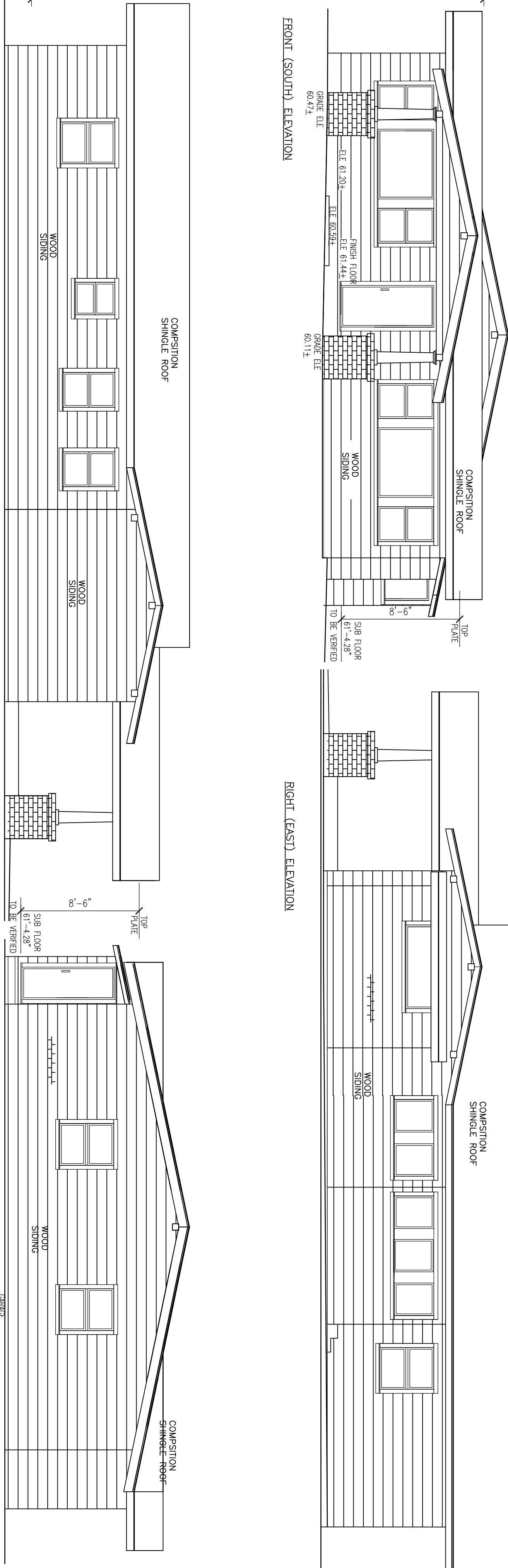


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DATE	12-26, 2016
SCALE	3/16"=1'-0"
DRAWN	YMC
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LEFT (WEST) ELEVATION

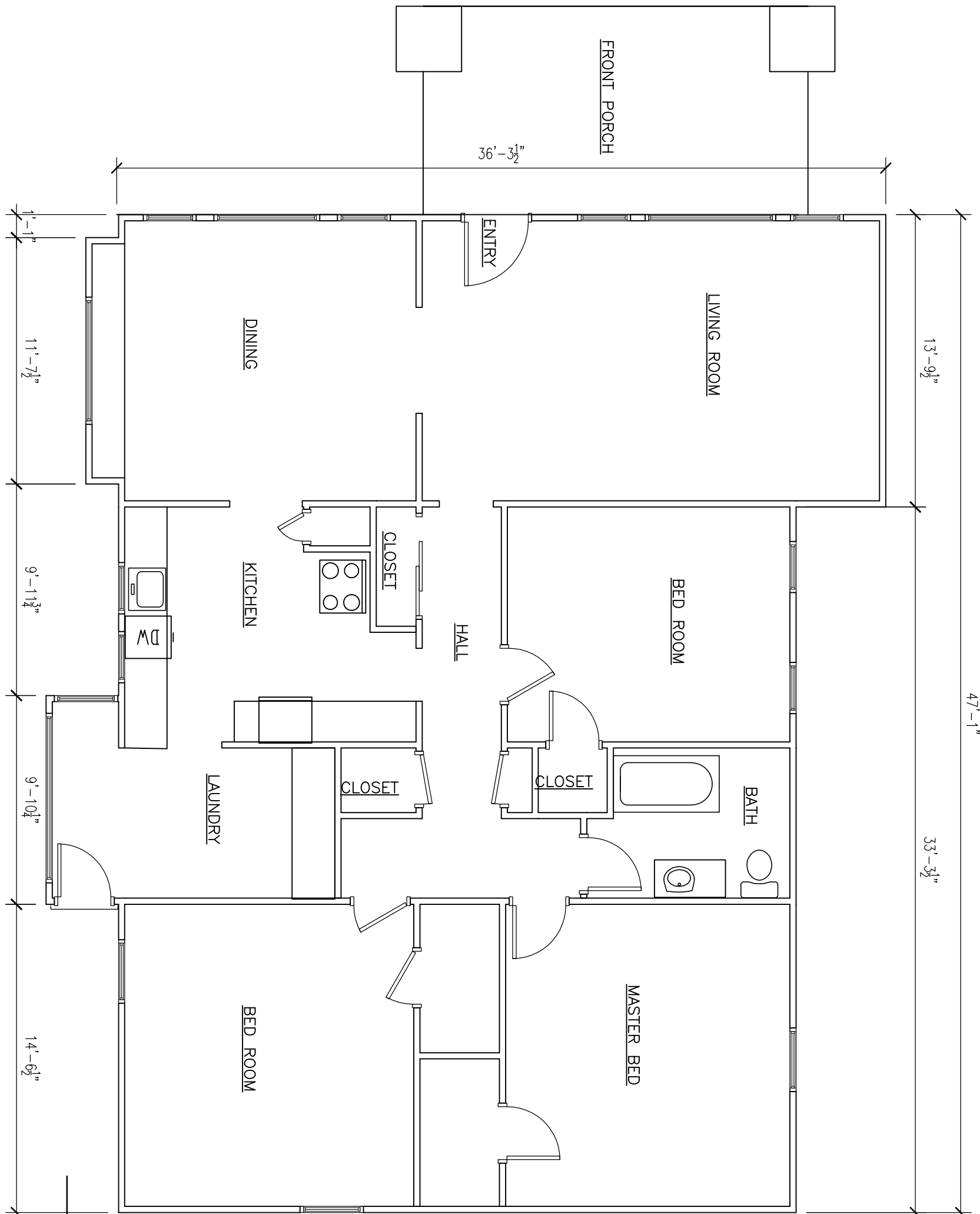


COURT REAR (NORTH) ELEVATION & SECTION THROUGH MIDDLE UNIT

EXISTING FLOOR PLAN

SCALE 3/16"=1'-0"

NOTE: HOUSE DIMENSIONS ARE MEASURED TO THE FACE OF STUDS



EXISTING SITE DEMOLITION PLAN

SCALE: $\frac{1}{8}"=1'-0"$

