

TOWN HALL SQUARE

DAVIS ST & E 14TH ST, SAN LEANDRO, CA

BEAM DEVELOPMENT





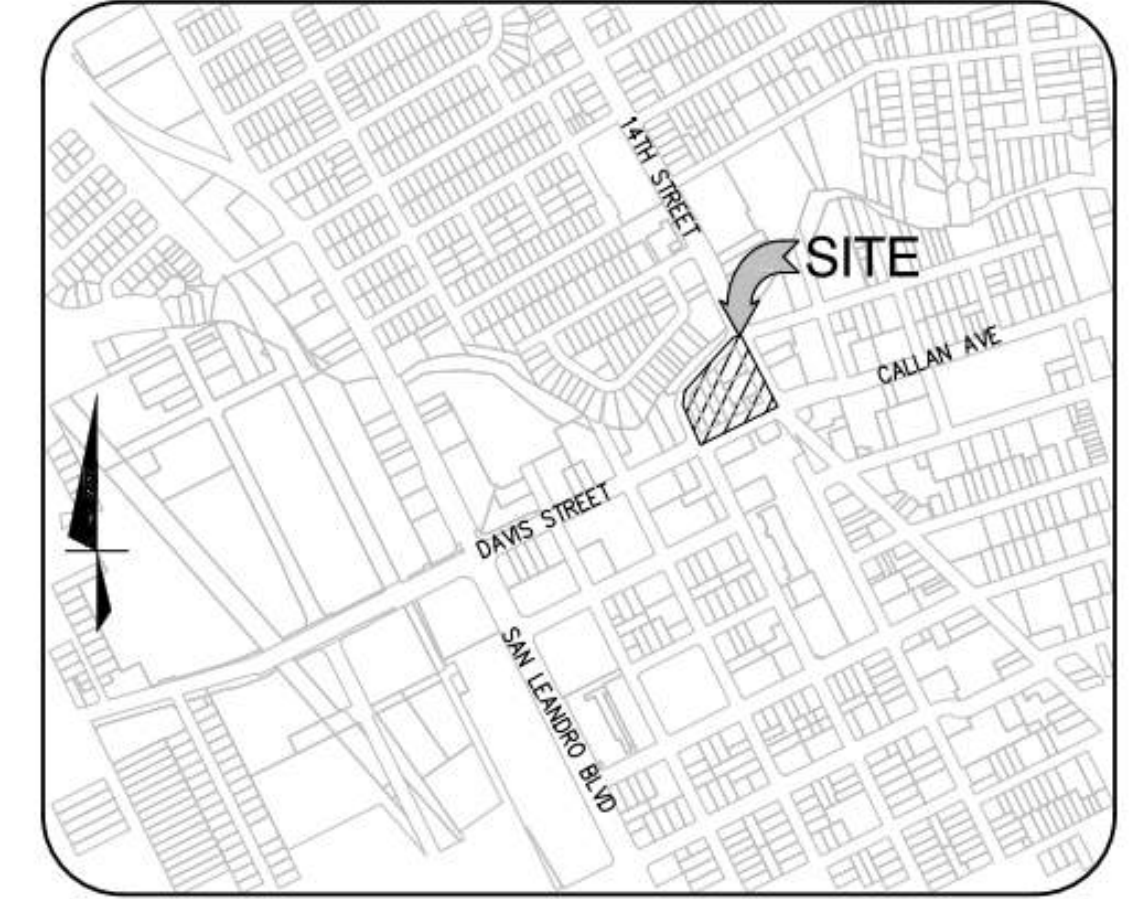
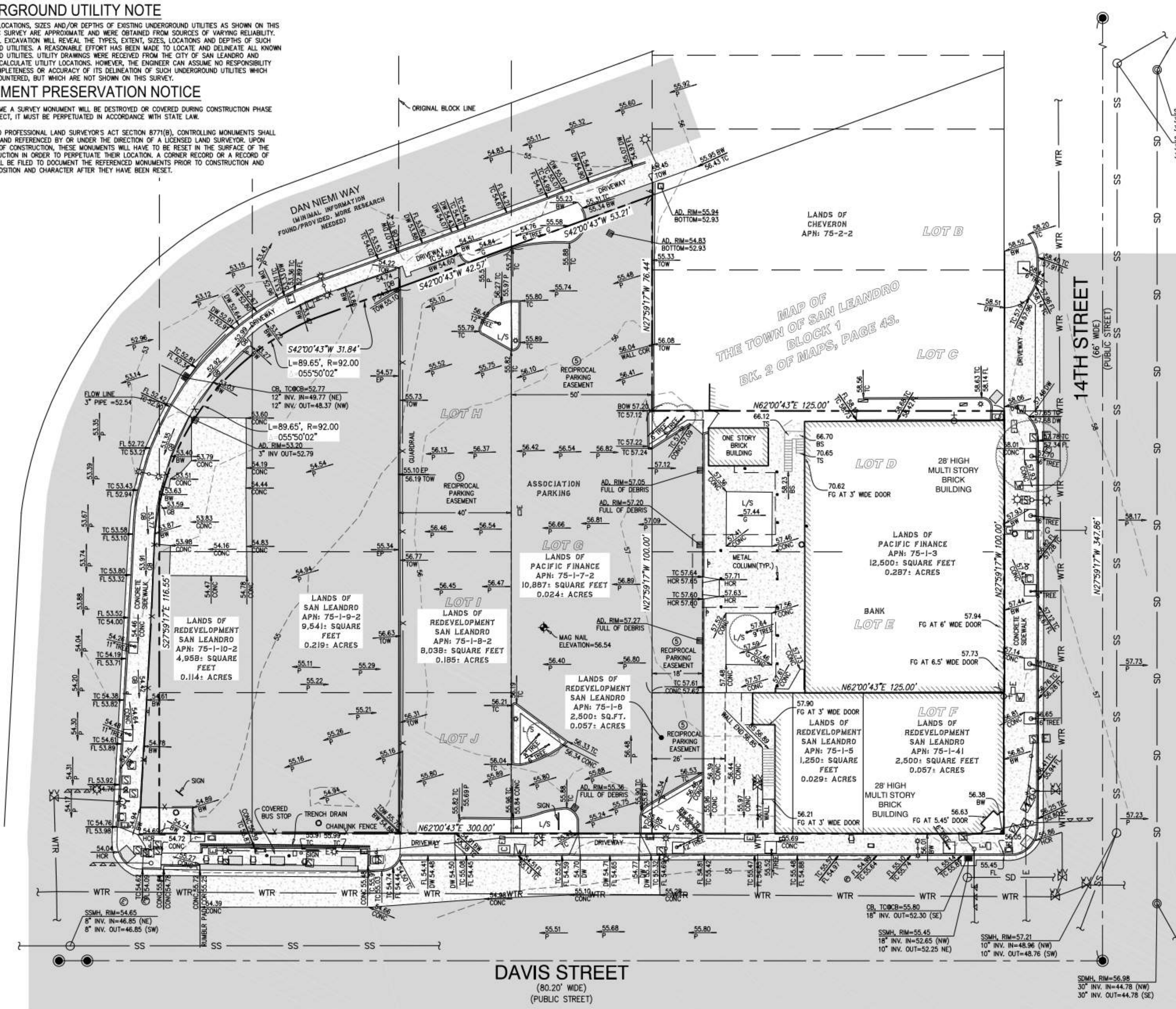
UNDERGROUND UTILITY NOTE

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. UTILITY DRAWINGS WERE RECEIVED FROM THE CITY OF SAN LEANDRO AND UTILIZED TO CALCULATE UTILITY LOCATIONS. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

MONUMENT PRESERVATION NOTICE

IF AT ANY TIME A SURVEY MONUMENT WILL BE DESTROYED OR COVERED DURING CONSTRUCTION PHASE OF THE PROJECT, IT MUST BE PERPETUATED IN ACCORDANCE WITH STATE LAW. PURSUANT TO PROFESSIONAL LAND SURVEYOR'S ACT SECTION 8771(B), CONTROLLING MONUMENTS SHALL BE LOCATED AND REFERENCED BY OR UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR. UPON COMPLETION OF CONSTRUCTION, THESE MONUMENTS WILL HAVE TO BE RESET IN THE SURFACE OF THE NEW CONSTRUCTION IN ORDER TO PERPETUATE THEIR LOCATION. A CORNER RECORD OR A RECORD OF SURVEY SHALL BE FILED TO DOCUMENT THE REFERENCED MONUMENTS PRIOR TO CONSTRUCTION AND THEIR NEW POSITION AND CHARACTER AFTER THEY HAVE BEEN RESET.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED IN ANY FORM INCLUDING PHOTOCOPY, RECORDING OR ANY INFORMATION RETRIEVABLE AND STORAGE SYSTEM, WITHOUT PERMISSION IN WRITING FROM SANDIS.



LEGEND

[Symbol]	BUILDING FACE
[Symbol]	BUILDING OVERHANG
[Symbol]	CURB & GUTTER LINE
[Symbol]	RETAINING / SCREENING WALL, HEIGHT AS INDICATED
[Symbol]	CONTOURS
[Symbol]	PROPERTY LINE
[Symbol]	LOT LINE
[Symbol]	PREVIOUS LOT LINE
[Symbol]	EASEMENT LINE
[Symbol]	FENCE LINE, TYPE / HEIGHT AS INDICATED
[Symbol]	STORM DRAIN LINE
[Symbol]	SANITARY SEWER LINE
[Symbol]	WATER LINE
[Symbol]	UNDERGROUND ELECTRIC LINE
[Symbol]	GAS LINE
[Symbol]	CONCRETE
[Symbol]	PAVEMENT
[Symbol]	FOUND SURVEY MONUMENT
[Symbol]	STORM DRAIN MANHOLE
[Symbol]	DRAIN INLET
[Symbol]	DRAIN INLET ON CURB
[Symbol]	STORM DRAIN JUNCTION BOX
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	SANITARY SEWER CLEANOUT
[Symbol]	WATER METER / BOX
[Symbol]	WATER VALVE
[Symbol]	BACKFLOW PREVENTOR
[Symbol]	WATER VALVE
[Symbol]	FIRE HYDRANT
[Symbol]	HOSE BIBB
[Symbol]	GAS METER
[Symbol]	GAS VALVE
[Symbol]	COMMUNICATIONS VAULT / PULLBOX
[Symbol]	ELECTRIC MANHOLE
[Symbol]	ELECTRIC VAULT / PULLBOX
[Symbol]	ELECTROLIER ON TOP OF POLE
[Symbol]	ELECTROLIER WITH MAST ARM
[Symbol]	DOUBLE ELECTROLIER WITH MAST ARMS
[Symbol]	TRAFFIC SIGNAL ON MAST ARM
[Symbol]	TRAFFIC SIGNAL WITH ELECTROLIER
[Symbol]	STREET LIGHT PULLBOX
[Symbol]	SIGN
[Symbol]	TRAFFIC SIGNAL ON POLE
[Symbol]	SPOT ELEVATION
[Symbol]	TREE WITH DRIPLINE, SIZE AS INDICATED

SURVEY NOTES

- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- DATES OF FIELD SURVEY: 05/26/2022 AND 05/27/2022.

BENCHMARK

THE ELEVATION REFERENCE FOR THIS SURVEY IS A CITY OF SAN LEANDRO BENCHMARK, LOCATED AT ORCHAMULA STREET AND HYDE STREET, DESCRIBED AS A CONCH NAIL ON TOP OF CATCH BASIN ON THE NORTH EAST CORNER.

ELEVATION= 57.98 FEET (NAVD 88 DATUM)

SITE BENCHMARK

CONCH NAIL IN PAVEMENT
ELEVATION=56.54 FEET (NAVD 88 DATUM)

BOUNDARY NOTE

THE PARCEL LINES SHOWN HEREON ARE BASED UPON RECORD INFORMATION AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN BOOK 13 OF MAPS, PAGE 42, ALAMEDA COUNTY RECORDS, ALONG WITH A TITLE REPORT FROM PLACER TITLE COMPANY ORDER NO. P-33810 DATED SEPTEMBER 13, 2019, TOGETHER WITH A TITLE REPORT FROM CHICAGO TITLE COMPANY ORDER NO. 60602649-606-TEO-KD DATED FEBRUARY 22, 2022.

EASEMENT NOTE

RECIPROCAL PARKING EASEMENT AGREEMENT BETWEEN BANK OF CALIFORNIA AND LOAN ASSOCIATION, RECORDED IN BOOK 3216 PAGE 484, PER TITLE REPORT EXCEPTION NO. 5, PLACER TITLE COMPANY ORDER NO. P-33810.

BASIS OF BEARINGS

THE BEARING OF NORTH 27° 59' 17" WEST ALONG THE CENTERLINE OF EAST 14TH STREET AS SHOWN UPON THAT CERTAIN RECORD OF SURVEY RECORDED IN BOOK 13 OF MAPS, PAGE 42, ALAMEDA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN UPON THIS SURVEY.

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF BEAM DEVELOPMENT IN MAY, 2022.



DATE: 06/10/2022



BUILD ON.
SANDIS.NET

DATE: 06/10/22
SCALE: 1"=20'
DRAWN BY: D.A.
CHECKED BY: N.B.
PROJECT No.: 622056

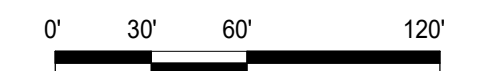
FOR REFERENCE ONLY

TOWN HALL SQUARE

TOPOGRAPHIC & BOUNDARY SURVEY

SHEET
SHT-1
OF 1 SHEETS

File: Ieandrom2024M1P20220803_SURVEY11_MAPPING_CADTOPD022026_TOWN HALL SQUARE_TOPO.DWG Date: June 10, 2022 - 11:00 AM, dalewood



TOWN HALL SQUARE

EXISTING SITE PLAN

AP0.04

DAVIS ST & E 14TH ST, SAN LEANDRO, CA

August 25, 2023

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1.) NORTH CORNER



2.) NORTHWEST ELEVATION



3.) NORTHWEST ELEVATION



4.) WEST CORNER



5.) SOUTHWEST ELEVATION



6.) SOUTH CORNER



7.) SOUTHEAST ELEVATION



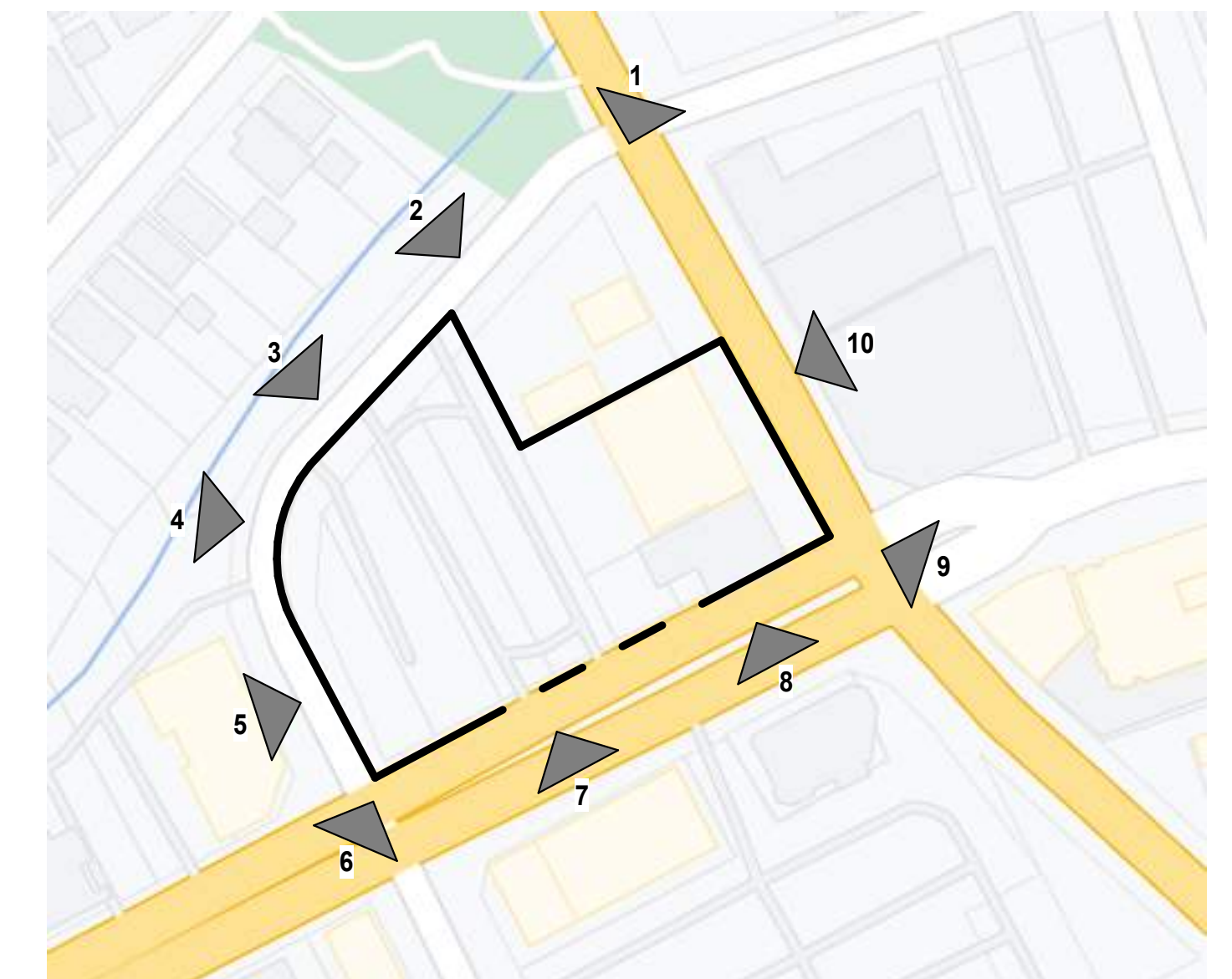
8.) SOUTHEAST ELEVATION



9.) EAST CORNER



10.) NORTHEAST ELEVATION





300 DAVIS ST



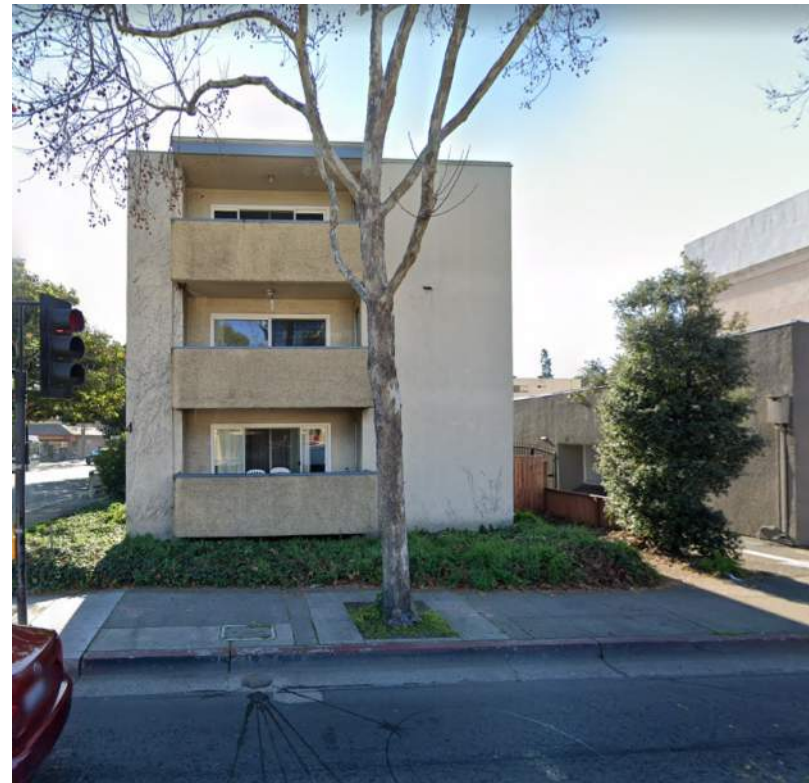
300 DAVIS ST



320 DAVIS ST



328 DAVIS ST



1245 DAVIS ST



321 DAVIS ST



1255 HAYS ST



1291 HAYS ST



265 DAVIS ST



201 DAVIS ST



101 CALLAN AVE



97 CALLAN AVE



1298 E 14TH ST



1200 E 14TH ST



1120 E 14TH ST



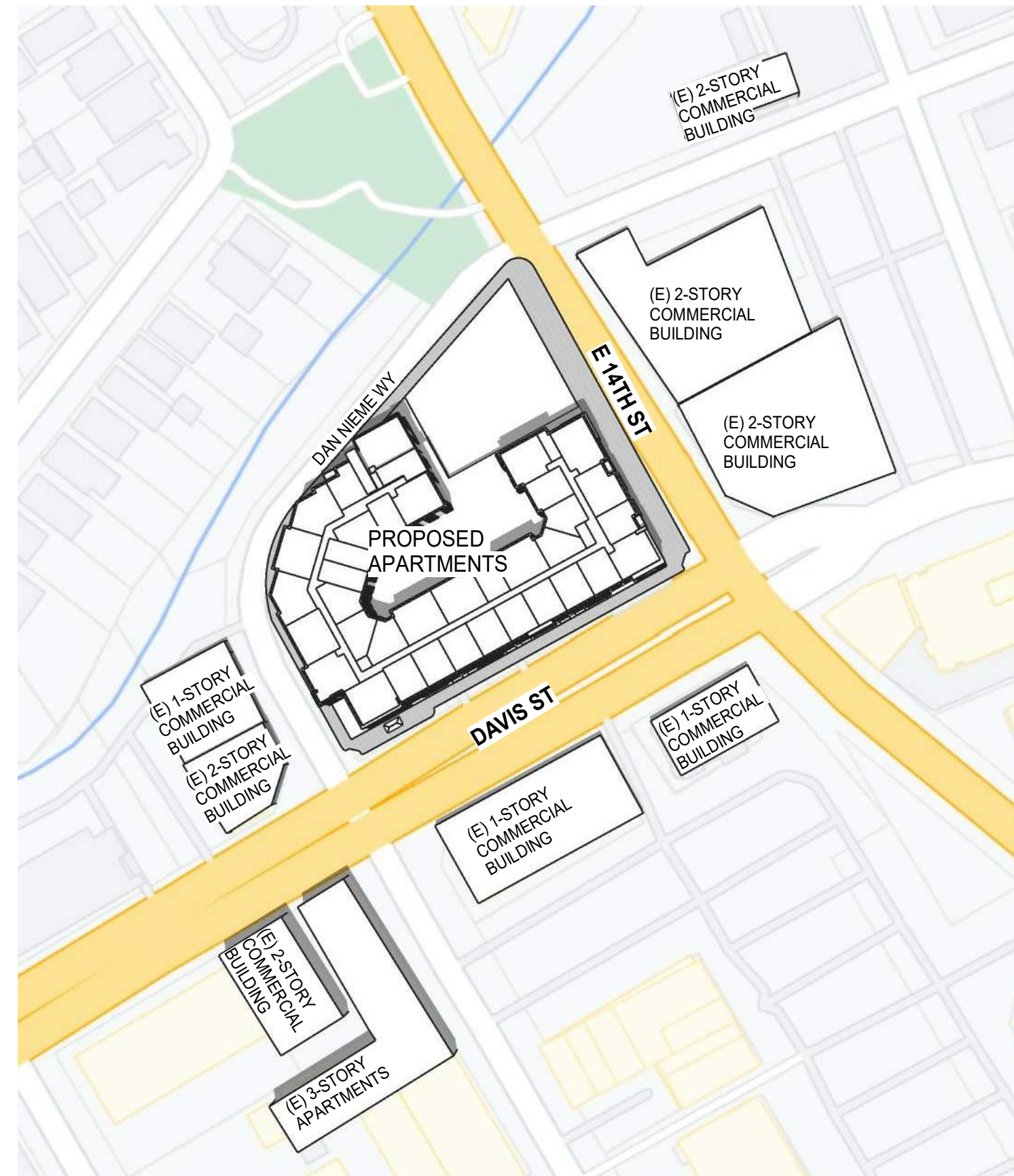
122 ESTUDILLO AVE

NEIGHBORING BUILDING IMAGERY

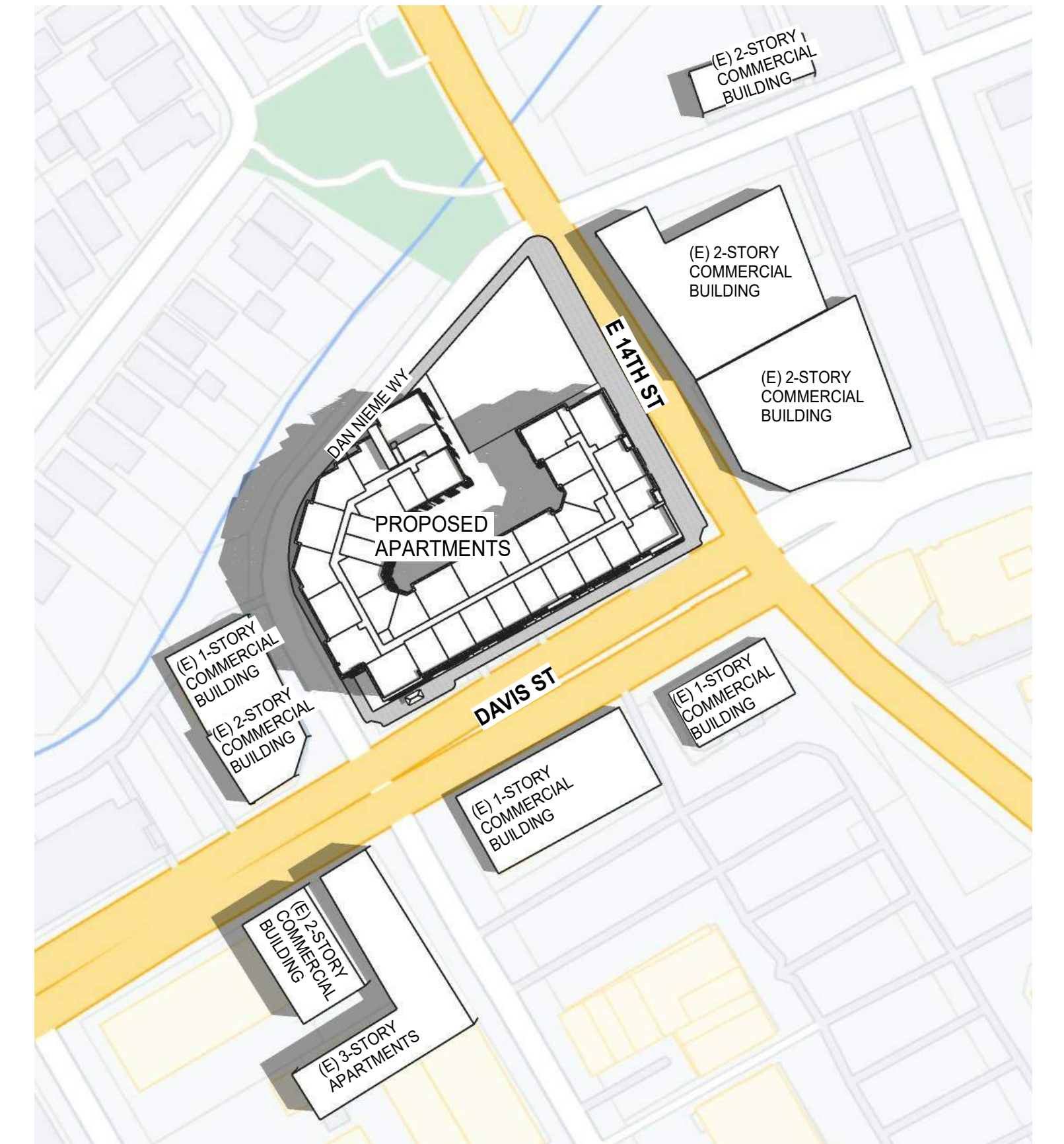
AP0.06



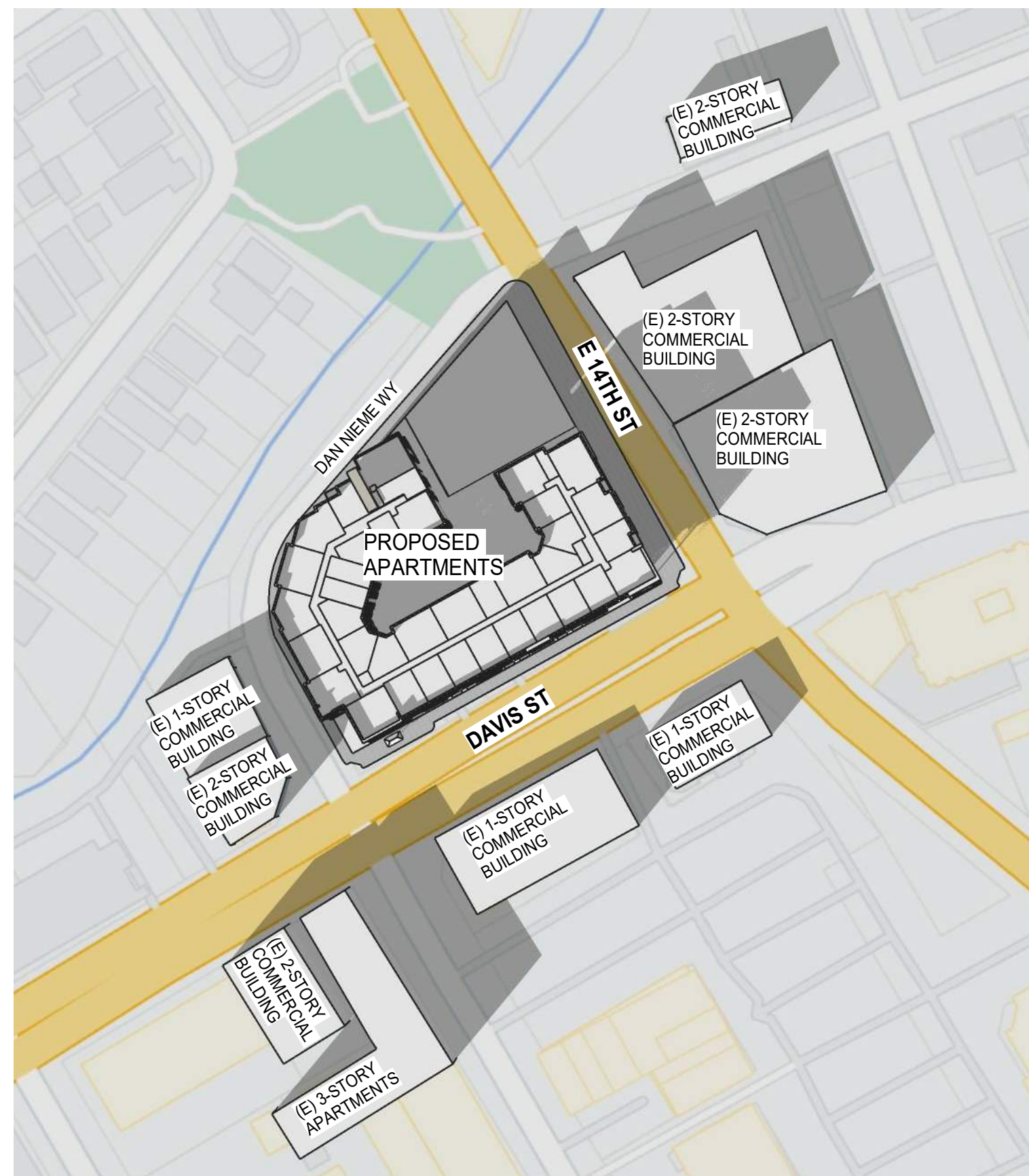
SOLAR STUDY SUMMER SOLSTICE 3PM



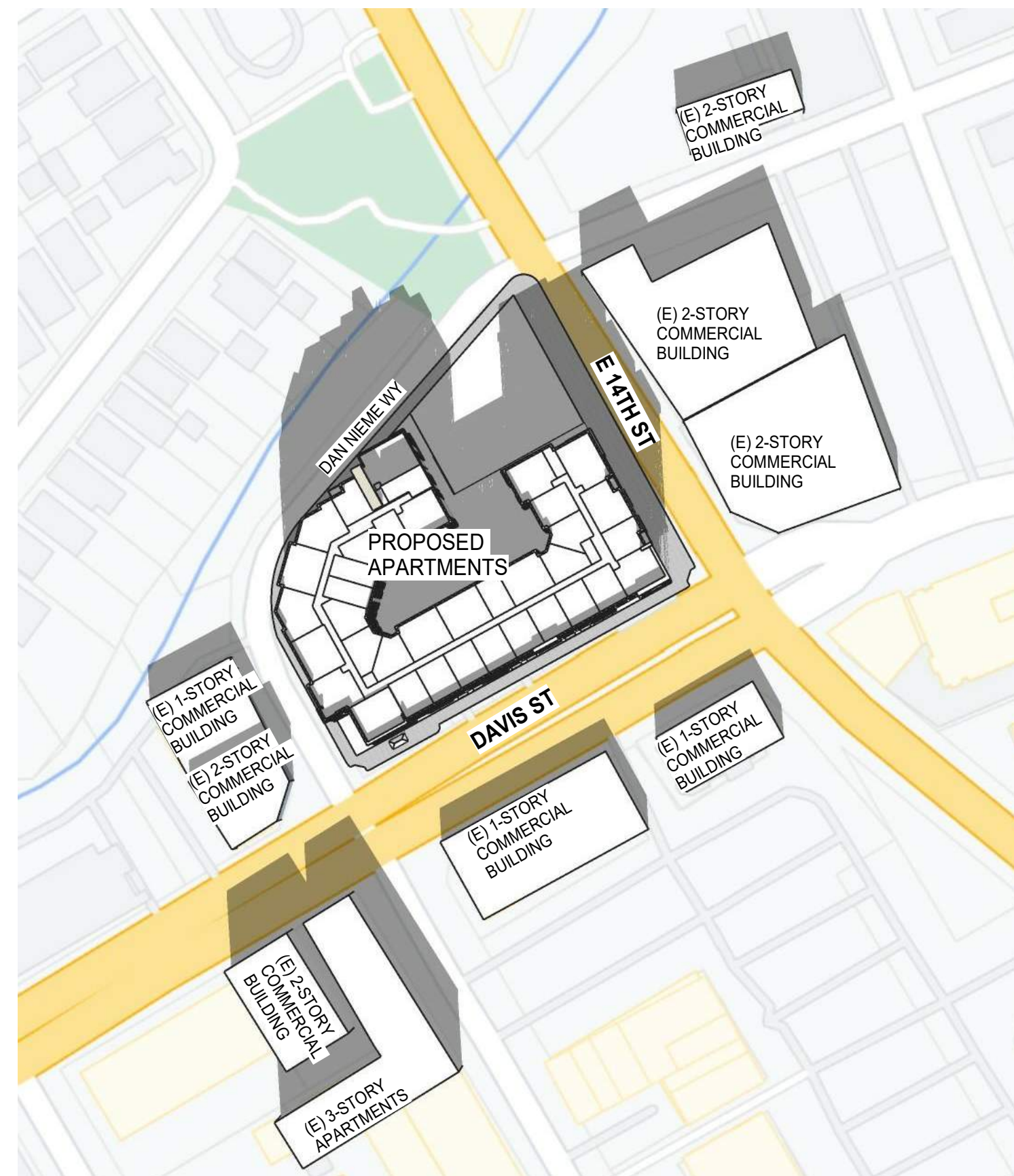
SOLAR STUDY SUMMER SOLSTICE 12PM



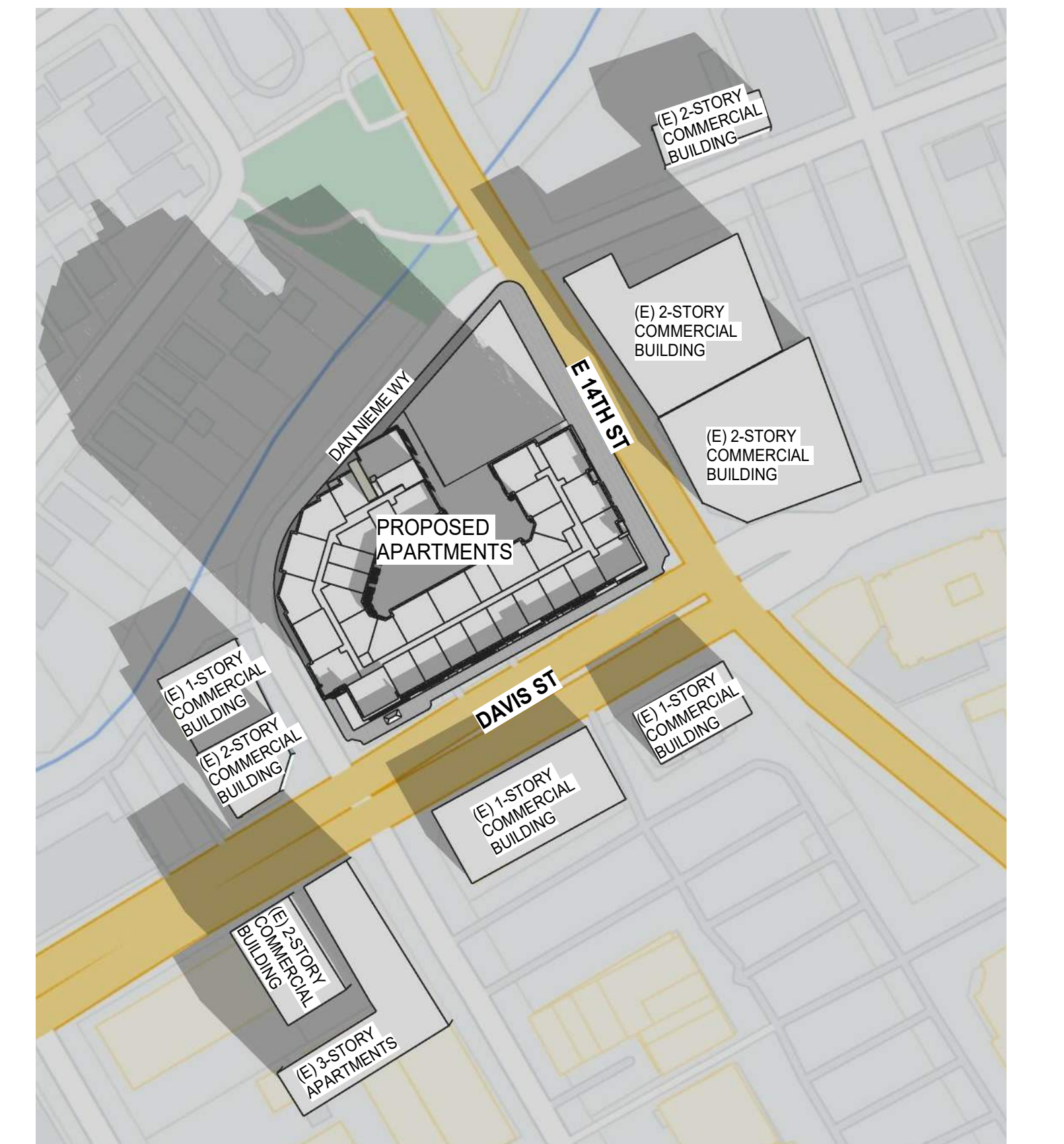
SOLAR STUDY SUMMER SOLSTICE 9AM



SOLAR STUDY WINTER SOLSTICE 3PM



SOLAR STUDY WINTER SOLSTICE 12PM


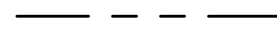




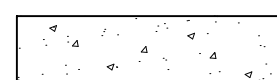
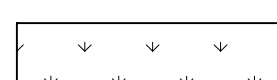



SOLAR STUDY WINTER SOLSTICE 9AM

DAYLIGHT PLAN

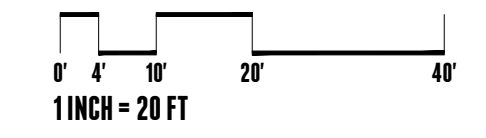
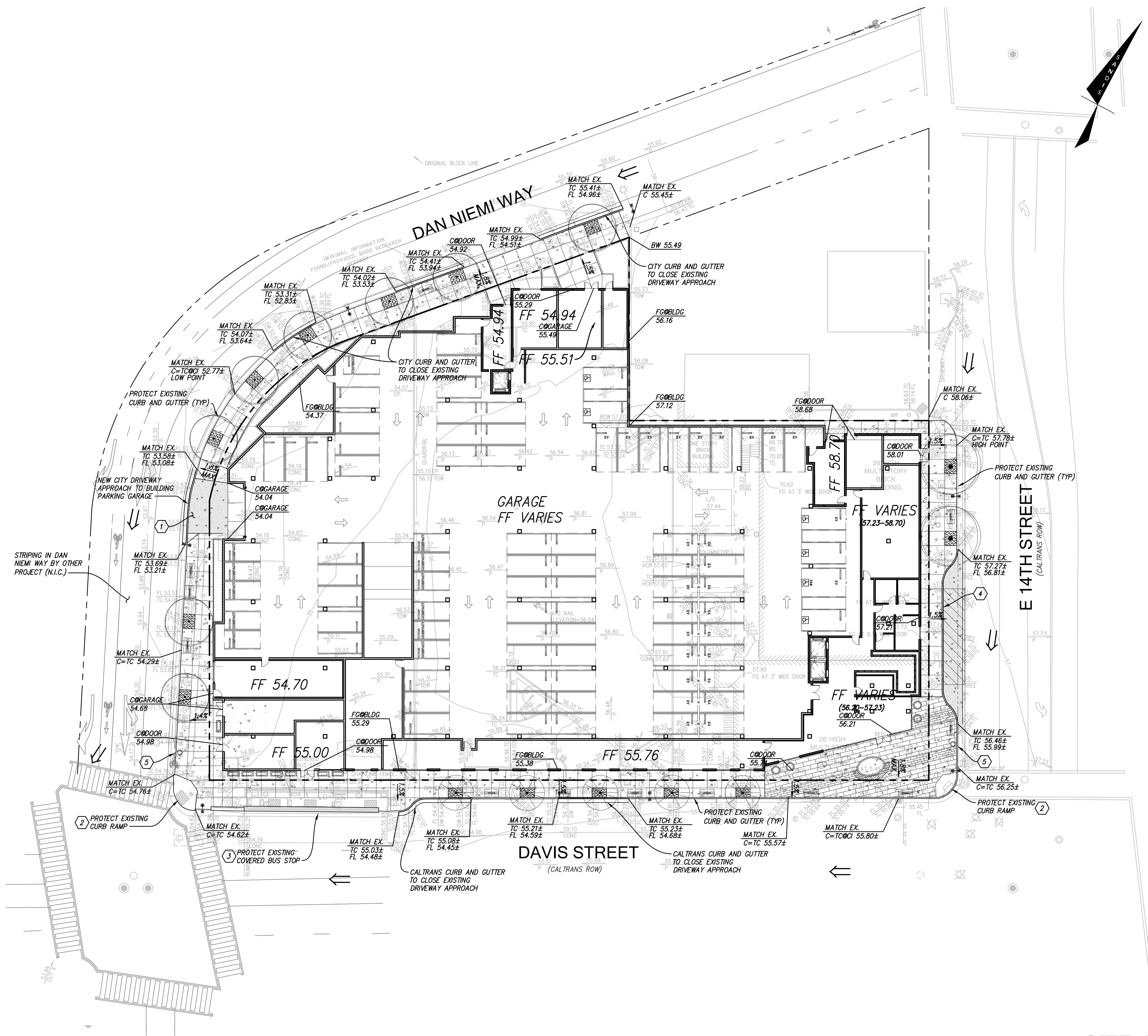
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LEGEND

-  PROPERTY LINE
-  LOT LINE
-  FLOW LINE
-  GRADE BREAK
-  AC PAVEMENT
-  DEEP LIFT
-  CONCRETE SIDEWALK
-  PLANTING
-  DIRECTION OF OVERLAND RELEASE

CURB MANAGEMENT SHEET NOTES

- 1 DRIVEWAY CURB CUT. NO PARKING ALONG CURB.
- 2 CURB RAMP. NO PARKING ALONG CURB.
- 3 BUS STOP. NO PARKING ALONG CURB.
- 4 WHITE CURB FOR DELIVERIES, RIDE SHARES, AND GENERAL PASSENGER LOADING.
- 5 EXISTING RED CURB IN FRONT OF FIRE HYDRANT. NO PARKING ALONG CURB.



File: x:\P\622056\4_engineering\2_plan_sets\3_sheet_set\NSITE\C3.01 SITE AND GRADING PLAN.dwg Date: Nov 09, 2022

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LEGEND

--- PROPERTY LINE

STORM DRAIN NOTES

1. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 GREEN PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH BELLS AND SPIGOT CONNECTIONS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
2. PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED FOR 150 PSI CLASS PIPE, PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBTUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
3. ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
4. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL CONTRACTOR TO VERIFY COMPACTION VALUES.
5. FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
6. DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
7. INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON PLANS.
8. ALL DOWN SPOUTS SHALL DISCHARGE DIRECTLY ON TO ADJACENT PERVIOUS SURFACES OR SPLASH BLOCKS UNLESS OTHERWISE NOTED ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

SANITARY SEWER NOTES

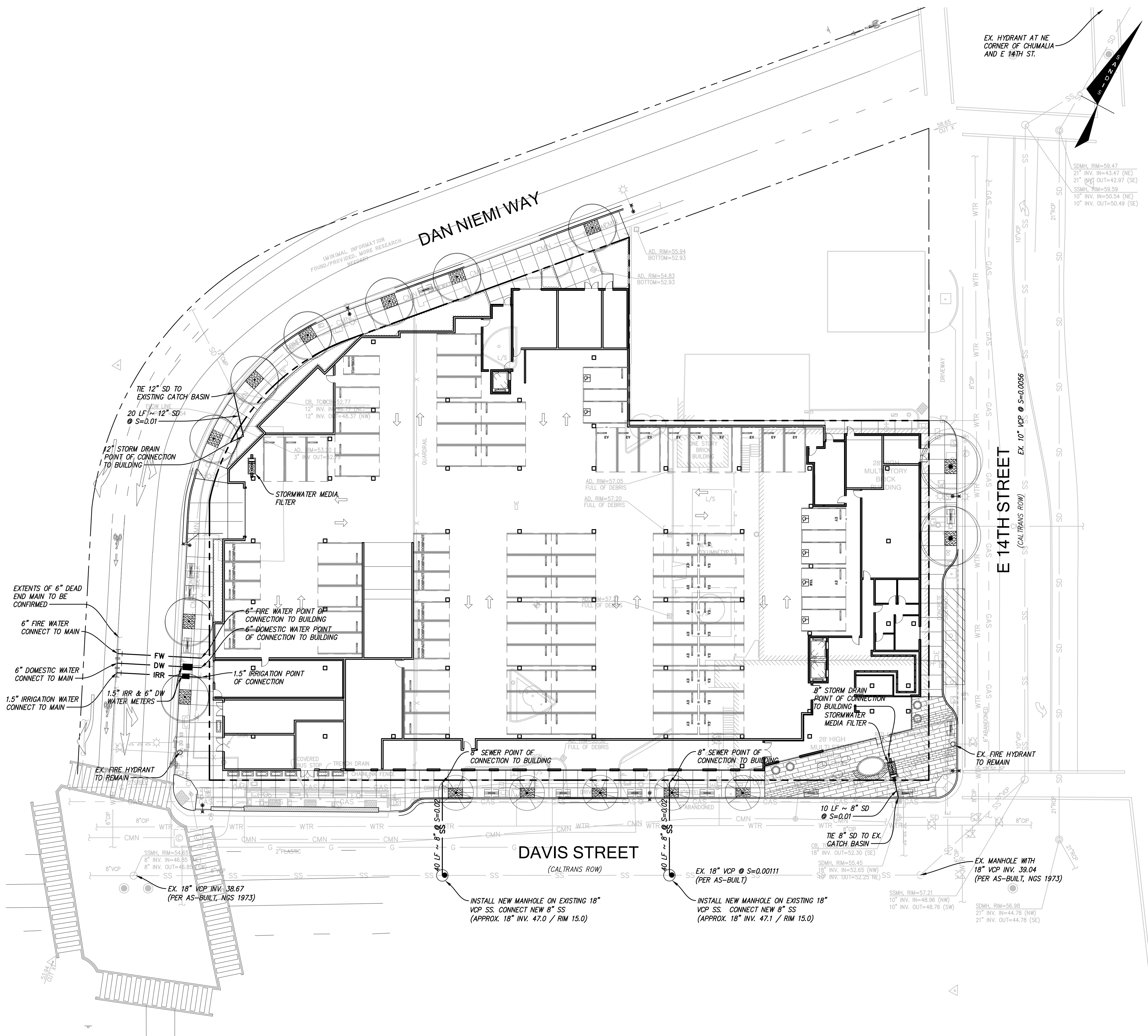
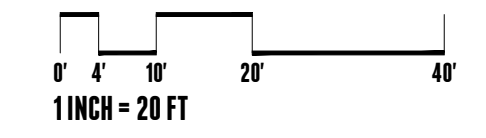
1. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.
2. PRIVATE SANITARY SEWER MAIN AND SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH BELL AND SPIGOT CONNECTIONS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
3. ALL LATERALS SHALL HAVE A TWO WAY CLEANOUT AT FACE OF BUILDING AND AS SHOWN ON PLANS.
4. IF (E) SEWER LATERAL IS TO BE USED, CONTRACTOR SHALL VIDEO INSPECT, PERFORM PRESSURE TEST ON (E) SEWER LATERAL, AND SHALL PERFORM ANY NEEDED REPAIRS.

WATER SYSTEM NOTES

1. MAINTAIN WATER MAIN LINES 10' AWAY FROM SANITARY SEWER MAIN LINES. LATERALS SHALL BE SEPARATED PER PLAN DIMENSIONS.
2. WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
3. ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE WATER DISTRICT STANDARDS.
4. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
5. THRUST RESTRAINTS SHALL BE DESIGNED AND INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS.

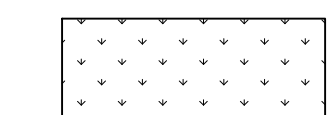
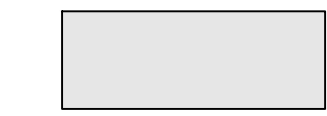
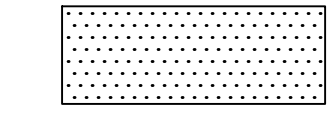
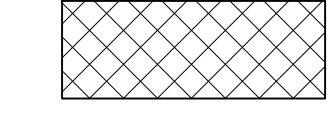

GENERAL NOTES

1. UTILITY SHOWN FOR THE PLANNING SUBMITTAL ARE PRELIMINARY AND WILL NEED CONFIRMATION WITH BUILDING PLUMBING ENGINEER.
2. JOINT TRENCH / DRY UTILITIES - ELECTRIC, COMMUNICATIONS, AND GAS (IF APPLICABLE) WILL BE DEVELOPED LATER BASED ON A DESIGN BY THE JOINT TRENCH CONSULTANT. BASED ON A PRELIMINARY REVIEW OF EXISTING BLOCK MAPS, WE ASSUME ELECTRIC AND COMM WILL COME FROM THE 14TH ST. AND DAN NIEMI WAY INTERSECTION.
3. BACKFLOW PREVENTERS ARE ASSUMED TO BE LOCATED INSIDE THE BUILDING MECHANICAL ROOM.
4. TRANSFORMERS ASSUMED TO BE LOCATED INSIDE THE BUILDING ELECTRICAL ROOM.



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STORMWATER MANAGEMENT PLAN LEGEND

-  PROPOSED PERVIOUS AREA
-  PROPOSED IMPERVIOUS AREA
-  SELF RETAINING AREA
-  NON-TREATED AREA
-  DRAINAGE AREA BOUNDARY

HYDROMODIFICATION NOTE:

THE PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS PER THE ALAMEDA COUNTY C.3 TECHNICAL GUIDANCE DOCUMENT. THE PROJECT IS EXEMPT FROM HYDROMODIFICATION DUE TO THE TOTAL IMPERVIOUS AREA HAS DECREASED FROM THE PRE-PROJECT CONDITION.

SITE TREATMENT AREA NOTE:

THIS PROJECT IS REPLACING MORE THAN 50% OF THE EXISTING IMPERVIOUS AREA AND THEREFORE MUST TREAT THE ENTIRE SITE.

STORMWATER MANAGEMENT NOTES:

1. THIS PLAN PRESENTS METHODS AND CALCULATIONS FOR COMPLYING WITH THE REQUIREMENTS OF PROVISION C.3 OF THE MUNICIPAL REGIONAL STORMWATER PERMIT IN ACCORDANCE WITH THE ALAMEDA COUNTY CLEAN WATER PROGRAM.
2. THE FOLLOWING TREATMENT MEASURES ARE PROPOSED TO REGULATE THE QUALITY OF STORM WATER LEAVING THE SITE.
 - 2.1. NON-LID MEDIA FILTER - RUNOFF IS DIRECTED TO A BELOW GRADE VAULT CONTAINING REPLACEABLE FILTRATION UNITS WHICH STORMWATER MUST FLOW THROUGH PRIOR TO EXITING THE SITE.
 - 2.2. SELF-TREATING AREA - RUNOFF IN THIS AREA ORIGINATES IN AND FLOWS THROUGH PLANTING PRIOR TO EXITING THE PROJECT SITE, NO TREATMENT IS REQUIRED.
 - 2.3. SELF-RETAINING AREA - RUNOFF IN THIS AREA IS DIRECTED TO A DEPRESSED LANDSCAPE AREA THAT ALLOWS WATER TO POND TO 3" PRIOR TO LEAVING THE SITE. NO SPECIAL LANDSCAPING OR SOILS ARE REQUIRED.

SPECIAL PROJECT CATEGORY B CREDITS:

- SPECIAL PROJECTS CATEGORY B - LARGE INFILL PROJECTS - 100% LID CREDIT**
1. LOCATED IN CENTRAL BUSINESS DISTRICT OR OTHER APPLICABLE DISTRICT?
 - YES; DOWNTOWN AREA 1 (S)
 2. PROJECT CREATES/REPLACES > 1/2 ACRE BUT < 2 ACRES IMPERVIOUS SURFACE?
 - YES; 1.12 ACRES
 3. PROJECT INCLUDES NO SURFACE AREA PARKING.
 - YES; 90%
 4. PROJECT HAS AT LEAST 85% COVERAGE BY PERMANENT STRUCTURES?
 - YES; 90%
 5. PROJECT HAS AN FAR OF 2:1 OR GREATER OR DENSITY OF 50 DU/ACRE OR MORE?
 - YES; 150 DU/ACRE
 6. IN ACCORDANCE WITH MRP ORDER R2-2022-0018 PROVISION C.3.a.iii, PRIOR TO JULY 1, 2023 PERMITTEES SHALL IMPLEMENT PROVISION C.3.a.ii (SPECIAL PROJECTS) IN ACCORDANCE WITH REQUIREMENTS FROM THE PREVIOUS PERMIT

IMPERVIOUS AREA MODIFICATION

	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TOTAL AREA (SF)
PRE-PROJECT	50,385	1,766	52,151
POST-PROJECT	48,840	3,311	52,151

NON-TREATED AREAS

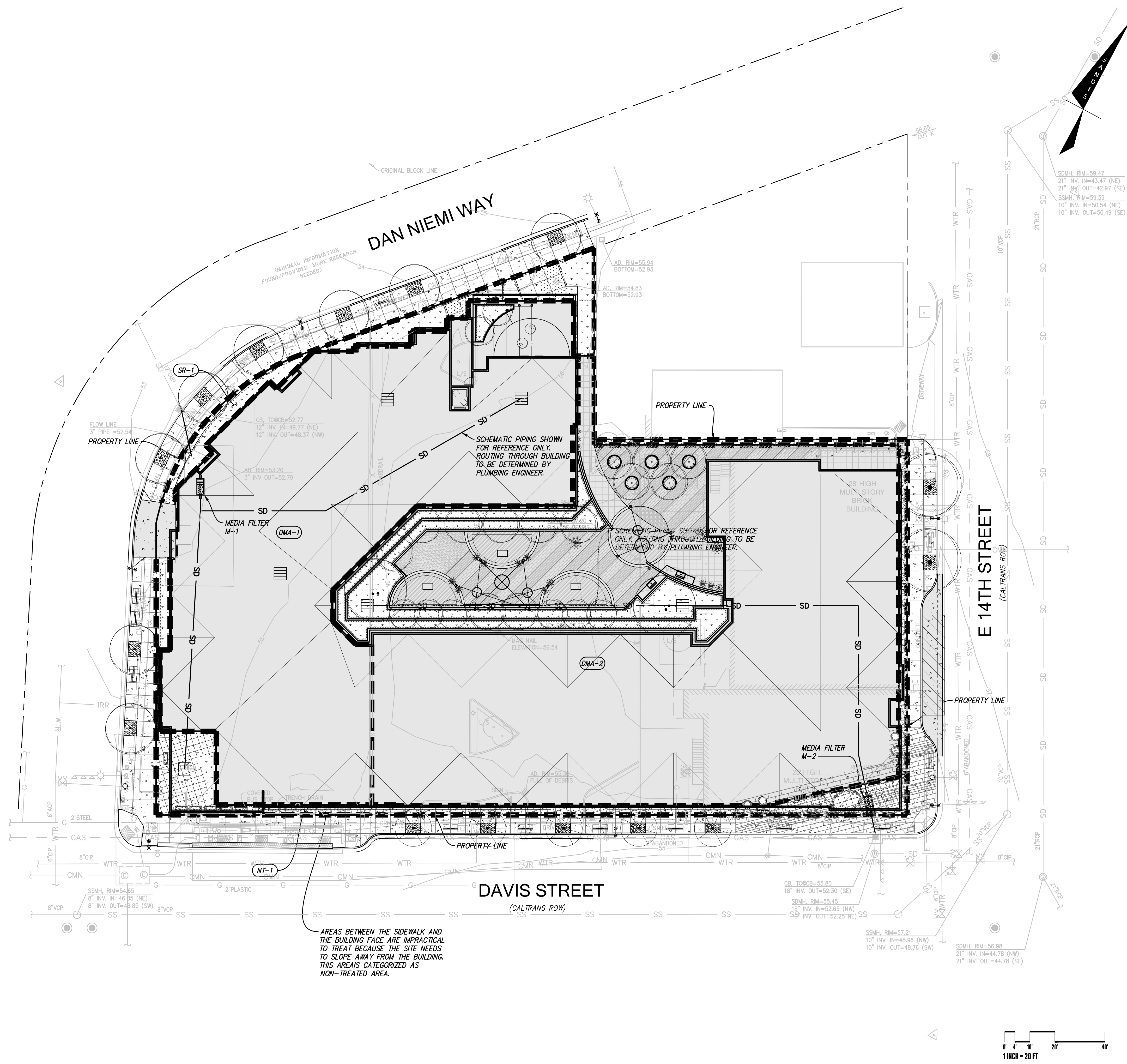
AREA ID	AREA (SF)
NT-1	2,992

SELF-RETAINING AREAS

AREA ID	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TOTAL AREA (SF)	PERVIOUS TO IMPERVIOUS AREA RATIO	REQUIRED BMP AREA (50% IMPERVIOUS AREA)
SR-1	701	1,409	2,110	2:1	351

C.3 STORMWATER TREATMENT MEASURES

AREA ID	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TOTAL AREA (SF)	REQUIRED BMP AREA (5% IMPERVIOUS)	BMP ID	BMP AREA PROVIDED
DMA-1	18,431	87	18,518	N/A	M-1	N/A
DMA-2	26,802	1,729	28,531	N/A	M-2	N/A



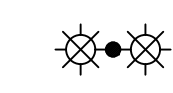
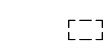

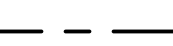
AREAS BETWEEN THE SIDEWALK AND THE BUILDING FACE ARE IMPRACTICAL TO TREAT BECAUSE THE SITE NEEDS TO SLOPE AWAY FROM THE BUILDING. THIS AREAS CATEGORIZED AS NON-TREATED AREA.

STORMWATER MANAGEMENT PLAN

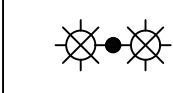
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C5.01

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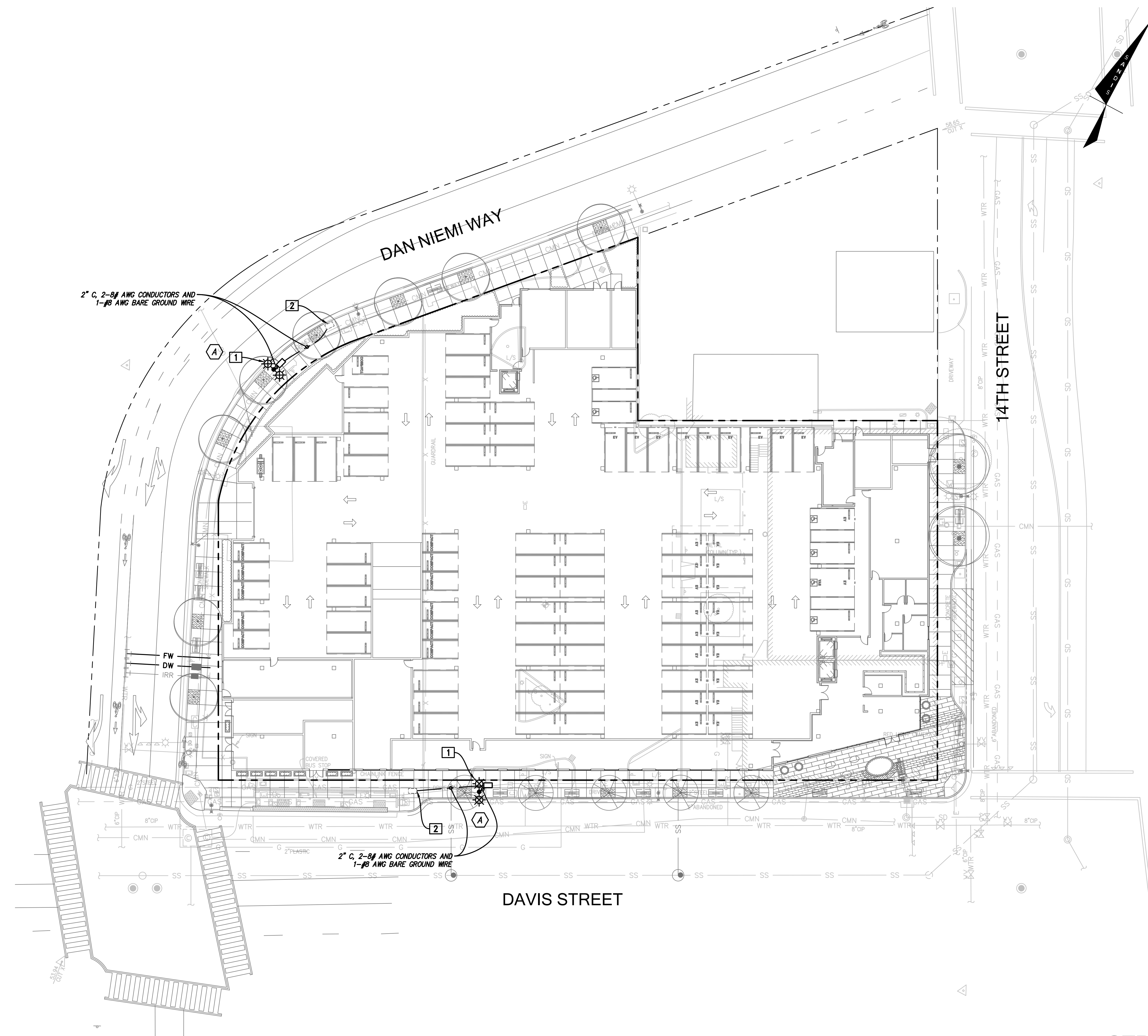
- 
LUMINAIRE HEAD:
 COOPER LIGHTING SOLUTIONS - STREETWORKS (FORMERLY EATON)
 MODEL NO: ACN-CA6-50-740-U-33-1-4
 COOPER LIGHTING SOLUTIONS TEST REPORT NO. P587369
 CANDELA FILE: ACN_CLB_ARC-CA6-50-740-U-33-1-4_5417 LUMENS.IES*
 FACTOR = 0.950
 2 LUMINAIRE HEADS PER LOCATION
- POLE:**
 VALMONT WASHINGTON FLUTED NON-TAPERED ALUMINUM POST
 5D01AS-E-180037604VW-D2-DBL
 WITH 2.5' MAST ARMS
- 
 EX. STREET LIGHTING PULL BOX
- 
 FURNISH AND INSTALL NO. 5 PULLBOX PER CITY OF SAN LEANDRO STANDARDS ON SHEET C6.02
- 
 FURNISH AND INSTALL CONDUIT AS SHOWN

LIGHTING FIXTURE SCHEDULE

TYPE	SYMBOL	DESCRIPTION	POLE HEIGHT	MAST ARM	LUMINAIRE TYPE	WATTAGE	QUANTITY
A		PROPOSED DECORATIVE PEDESTRIAN POST-TOP LUMINAIRE (TWIN)	18'	2.5'	LED	54 X 2	2

LIGHTING NOTES

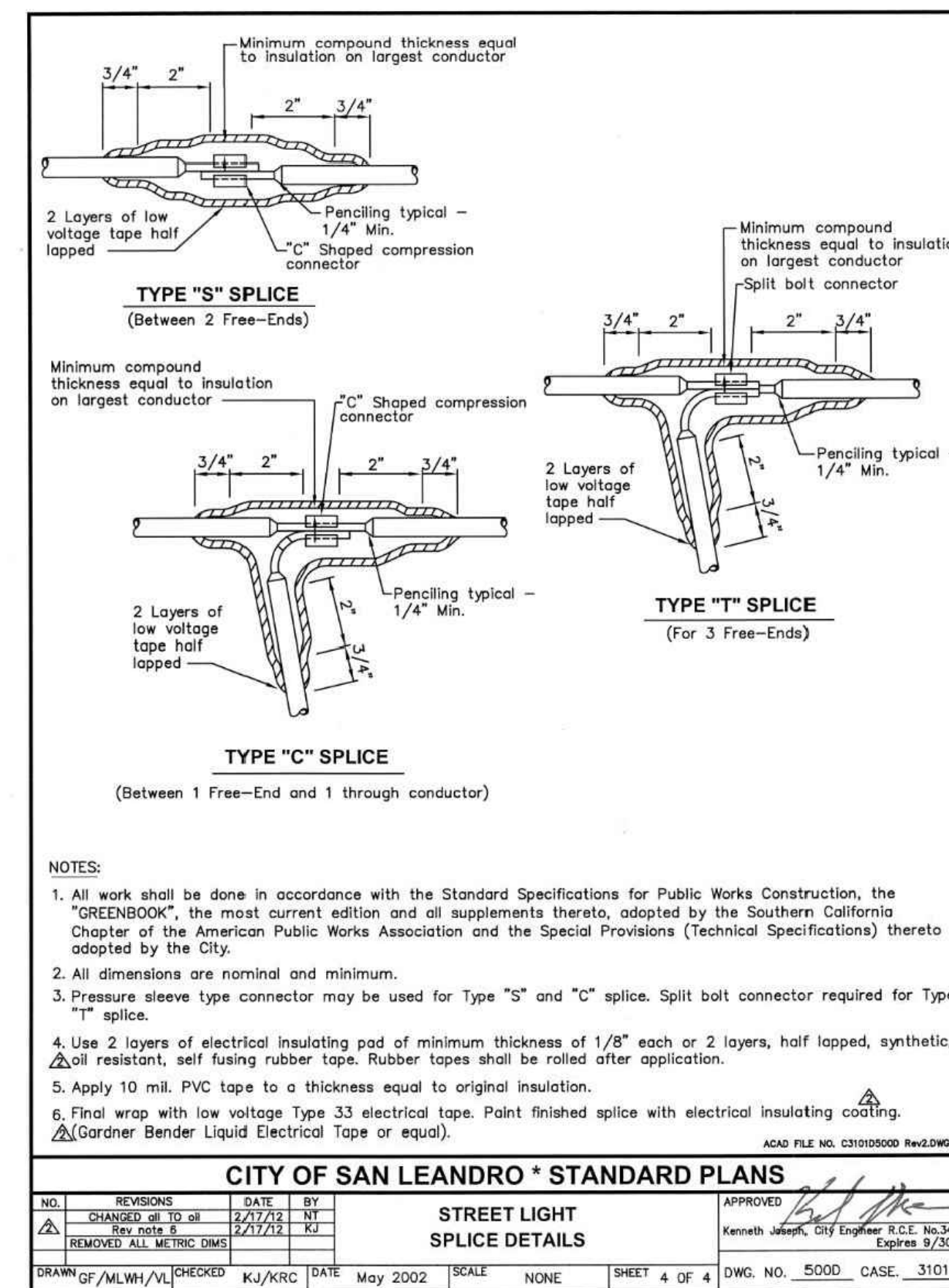
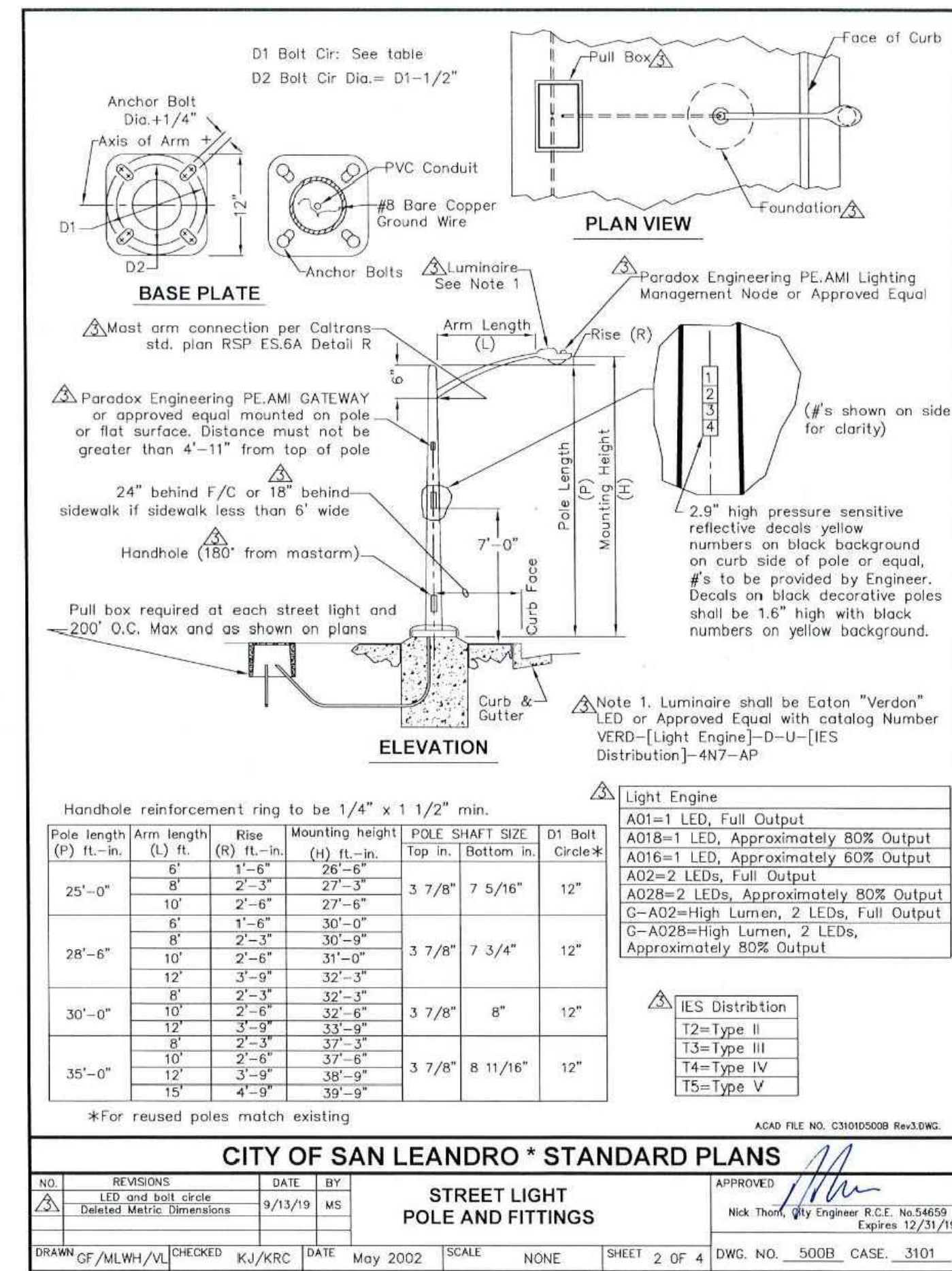
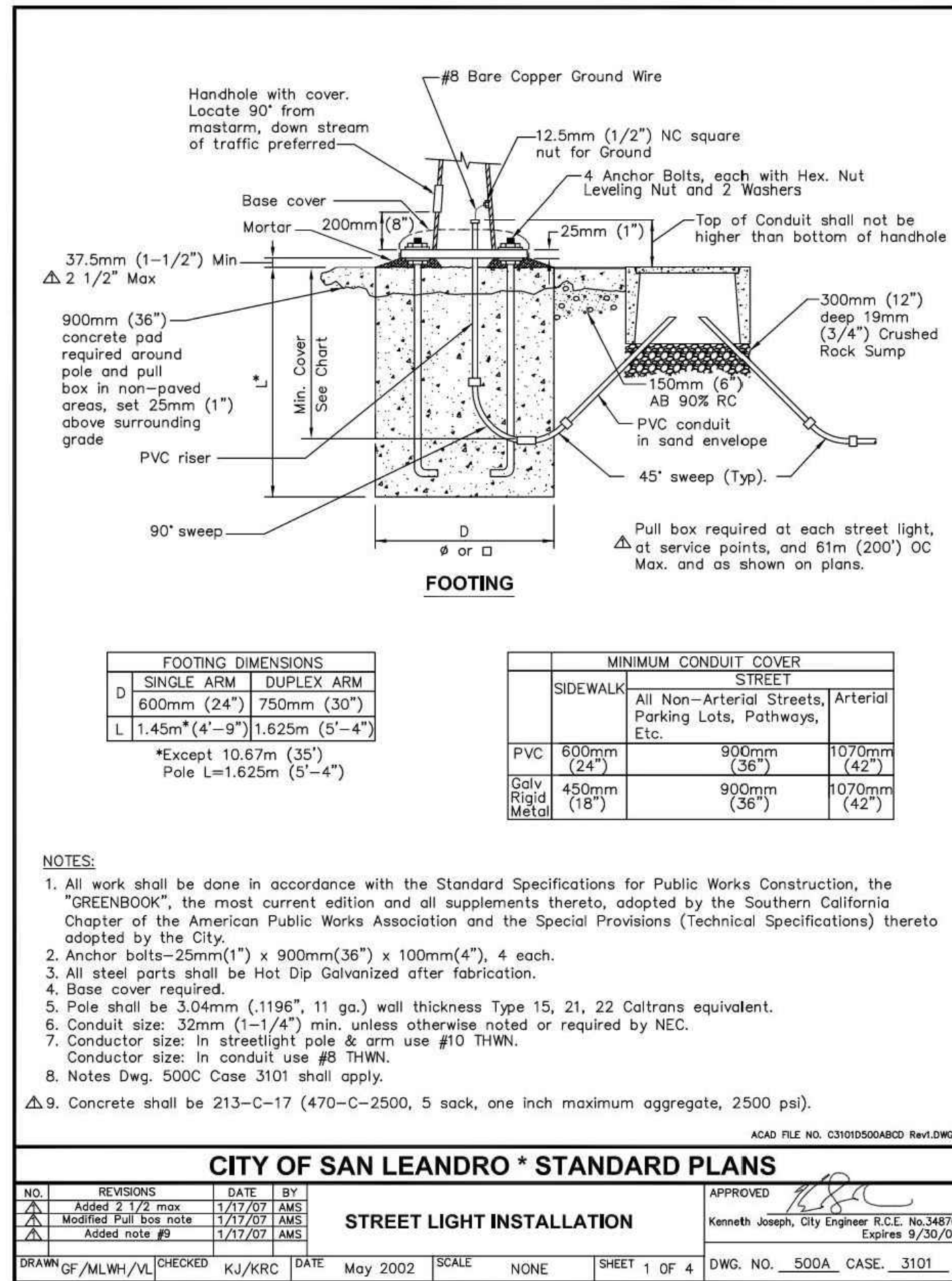
- 1 FURNISH AND INSTALL LUMINAIRE HEAD, POLE AND MAST ARM PER LEGEND AND LIGHTING FIXTURE SCHEDULE ON THIS SHEET. FURNISH AND INSTALL FOUNDATION, PULL BOX AND WIRING AS SHOWN IN THE CITY DETAILS ON SHEET C6.02.
- 2 CONNECT 2" CONDUIT TO EX. STREET LIGHTING PULLBOX. SPLICE STREET LIGHT CONDUCTORS TO EX. LIGHTING CIRCUIT WITHIN PULL BOX. MAKE ALL CONNECTIONS NECESSARY TO PROVIDE A FULLY FUNCTIONAL LIGHTING SYSTEM.



STREET LIGHTING PLAN

1"=20'

C6.01



CITY OF SAN LEANDRO * STANDARD PLANS

NO.	REVISIONS	DATE	BY
1	Added 2 1/2" max	1/17/07	AMS
2	Modified Pull box note	1/17/07	AMS
3	Added note #2	1/17/07	AMS

STREET LIGHT INSTALLATION

APPROVED: Kenneth Joseph, City Engineer R.C.E. No.34670 Expires 9/30/09

DRAWN: CF/MLWH/VL CHECKED: KJ/KRC DATE: May 2002 SCALE: NONE SHEET 1 OF 4 DWG. NO. 500A CASE 3101

CITY OF SAN LEANDRO * STANDARD PLANS

NO.	REVISIONS	DATE	BY
1	LED and pull circle	9/13/19	MS

STREET LIGHT POLE AND FITTINGS

APPROVED: Nick Thon, City Engineer R.C.E. No.54659 Expires 12/31/19

DRAWN: CF/MLWH/VL CHECKED: KJ/KRC DATE: May 2002 SCALE: NONE SHEET 2 OF 4 DWG. NO. 500B CASE 3101

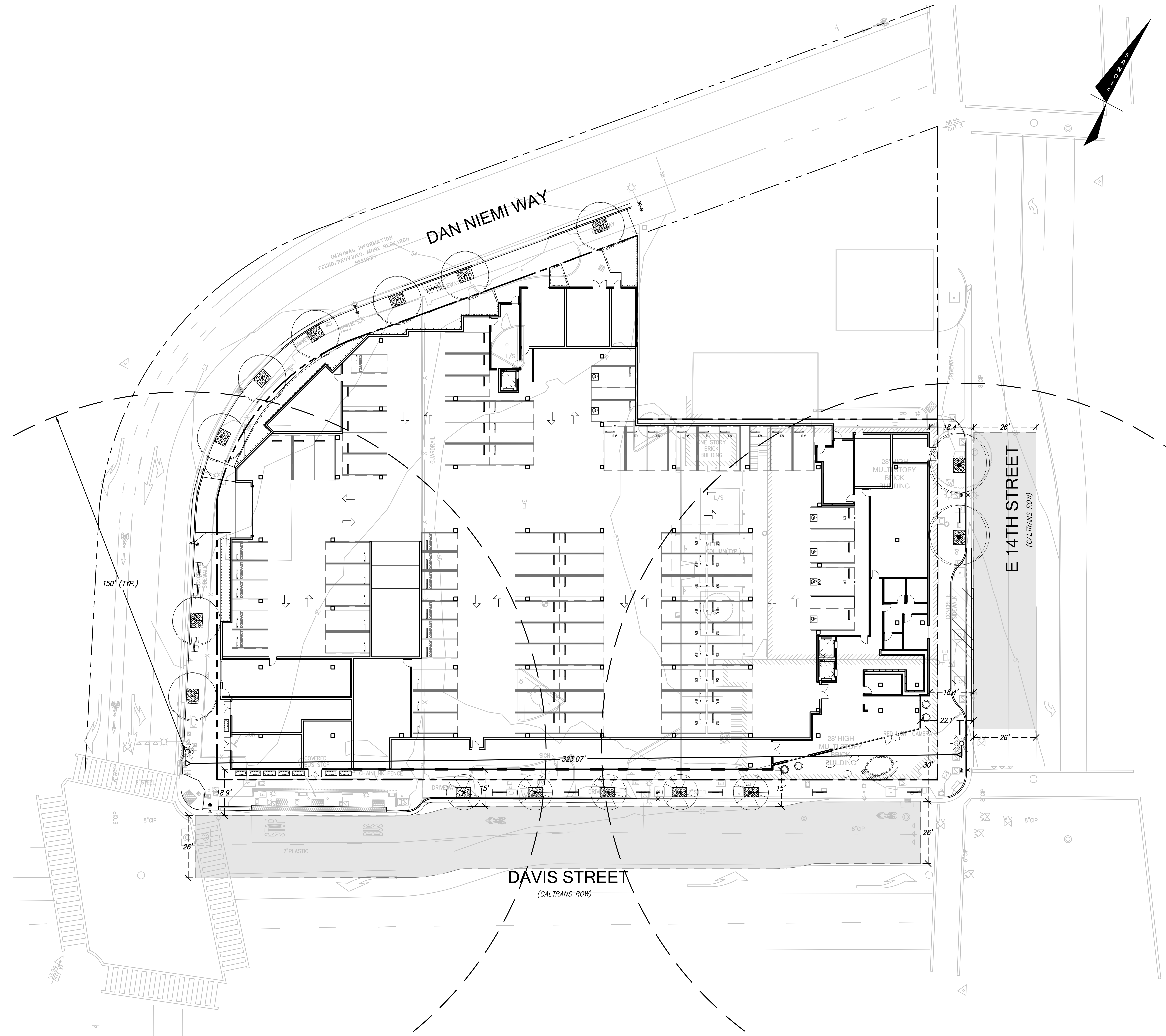
CITY OF SAN LEANDRO * STANDARD PLANS

NO.	REVISIONS	DATE	BY
1	CHANGED #10 to #11	2/17/22	NT
2	REVISED ALL METRIC DIMS	2/17/22	NT



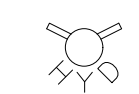


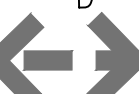

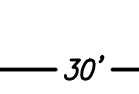

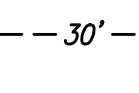


STREET LIGHT SPLICE DETAILS

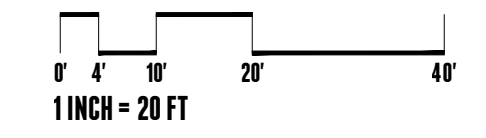
APPROVED: Kenneth Joseph, City Engineer R.C.E. No.34670 Expires 9/30/13

DRAWN: CF/MLWH/VL CHECKED: KJ/KRC DATE: May 2002 SCALE: NONE SHEET 4 OF 4 DWG. NO. 500D CASE 3101



LEGEND

-  PROPOSED FIRE HYDRANT
-  BACKFLOW PREVENTER
-  EXISTING FIRE HYDRANT TO REMAIN
-  PIV ● PROPOSED FIRE DEPARTMENT CONNECTION
-  PROPOSED POST INDICATOR VALVE
-  FIRE ACCESS ROUTE
-  FIRE LANE STRIPING PER (LOCAL FIRE DISTRICT) POLICY GUIDELINES
-  30' HYDRANT SPACING ALONG FIRE ACCESS ROAD (CFC C103.1)
-  30' DISTANCE FROM FIRE ACCESS TO FURTHEST POINT ON EXTERIOR OF FIRST STORY (CFC 503.1.1)
-  26' WIDE FIRE ACCESS AISLE ADJACENT TO ONE FULL SIDE OF THE BUILDING PER CFC D105.3
-  20' WIDE FIRE APPARATUS ROAD
-  150' FIRE HYDRANT COVERAGE



FIRE ACCESS PLAN

C7.01



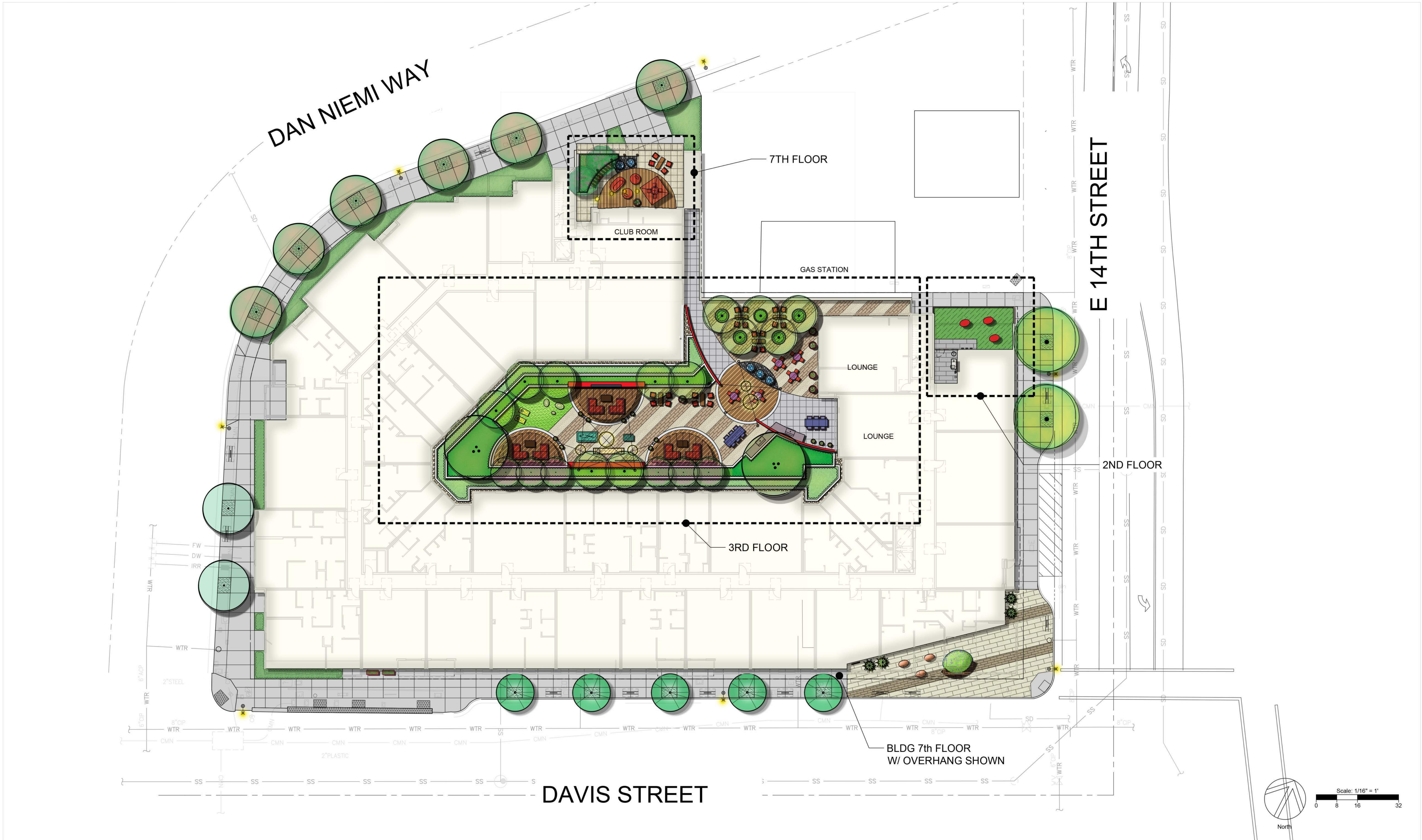
Town Hall Square

E 14th & Davis, San Leandro, CA

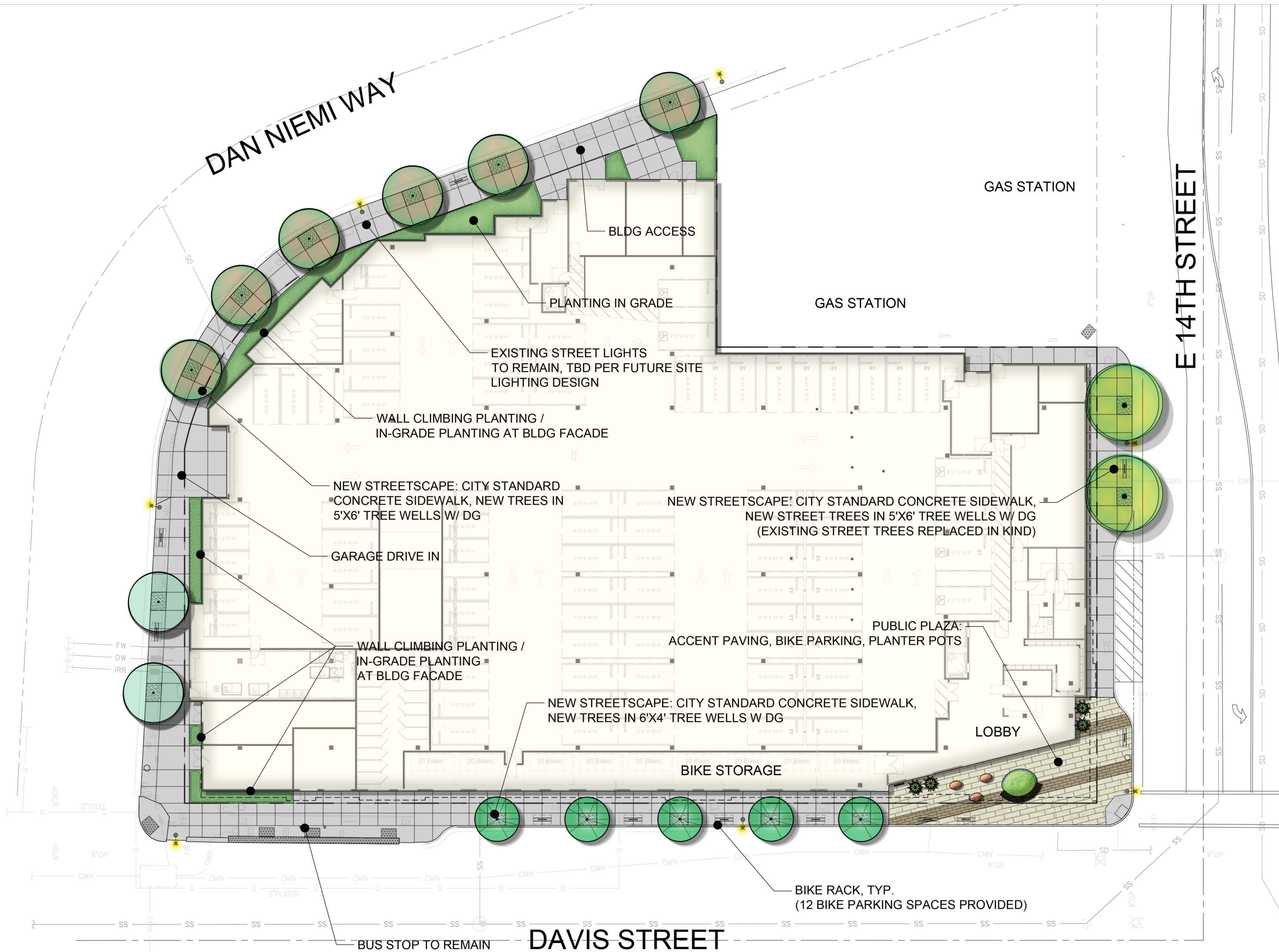
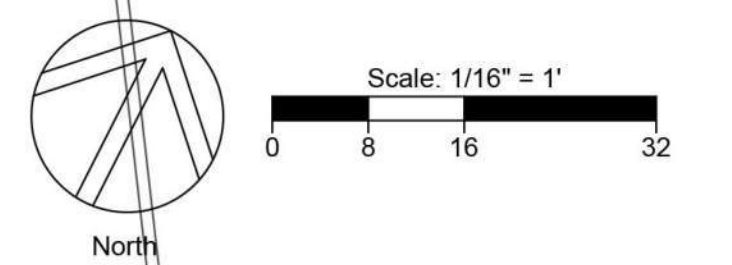
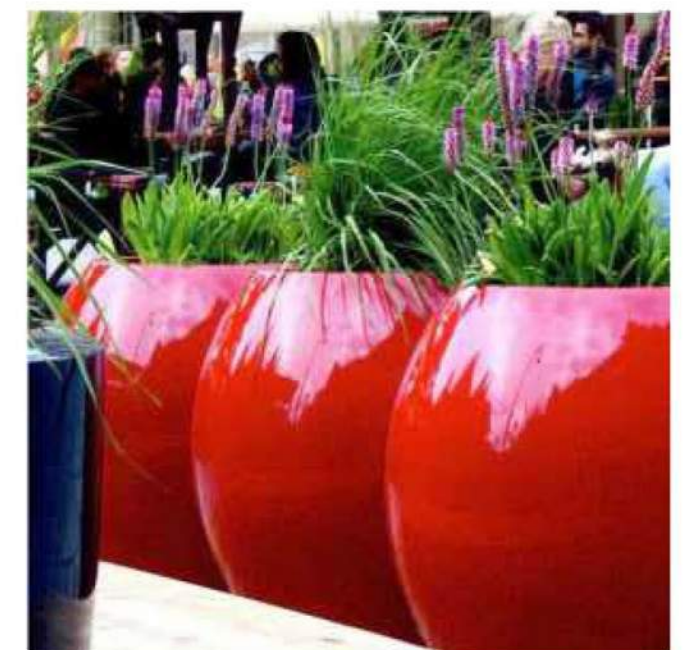
11/04/22

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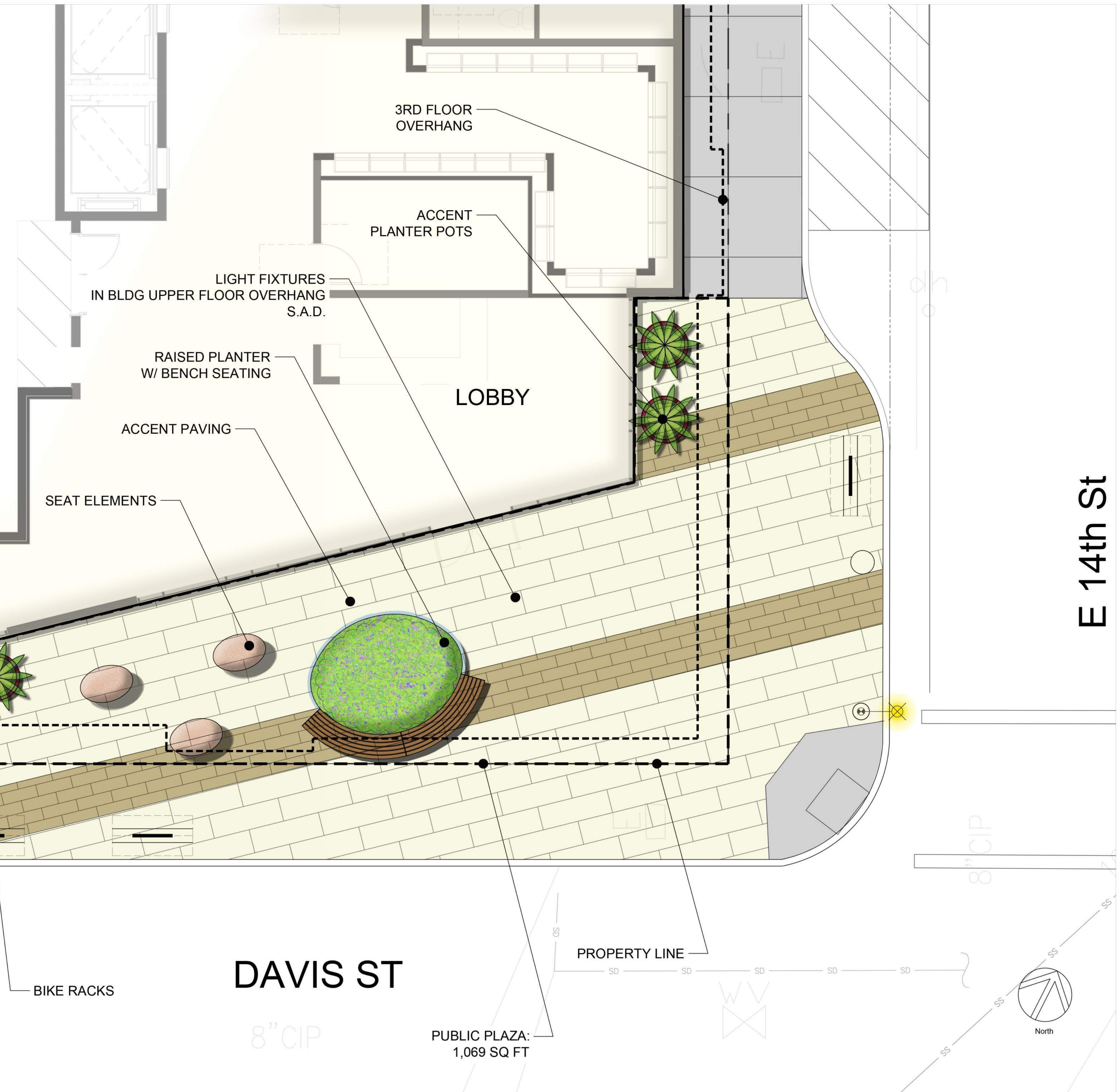
All drawings and written material appearing herein constitute original, and unpublished work of the architect and may not be duplicated, used or disclosed without the written consent of the architect.



IMAGERY



IMAGERY



BIKE ROOM

PUBLIC PLAZA PLAQUE

SEAT ELEMENTS

ACCENT PAVING

RAISED PLANTER W/ BENCH SEATING

LIGHT FIXTURES IN BLDG UPPER FLOOR OVERHANG S.A.D.

ACCENT PLANTER POTS

3RD FLOOR OVERHANG

LOBBY

DAVIS ST

E 14th St

NEW CITY STANDARD STREESCAPE: NEW SCORED CONCRETE SIDEWALK, STREET TREES IN TREE WELLS

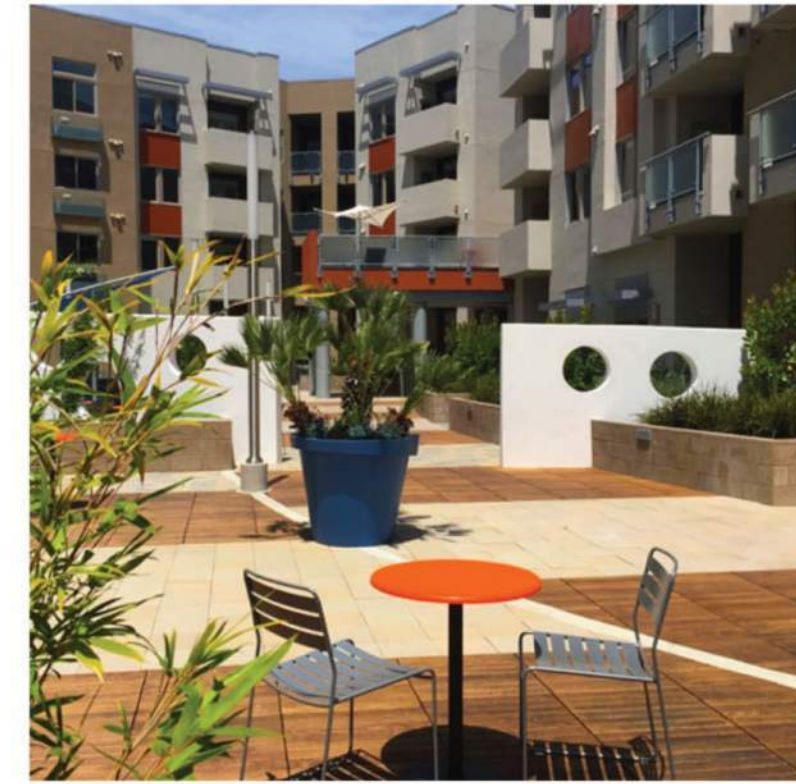
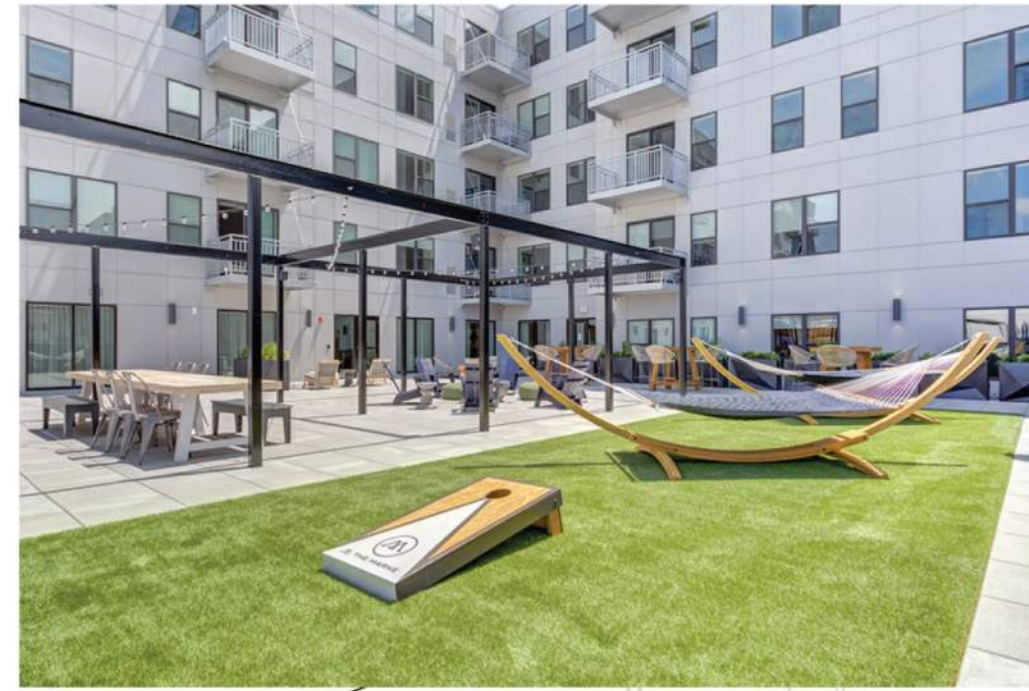
BIKE RACKS

PROPERTY LINE

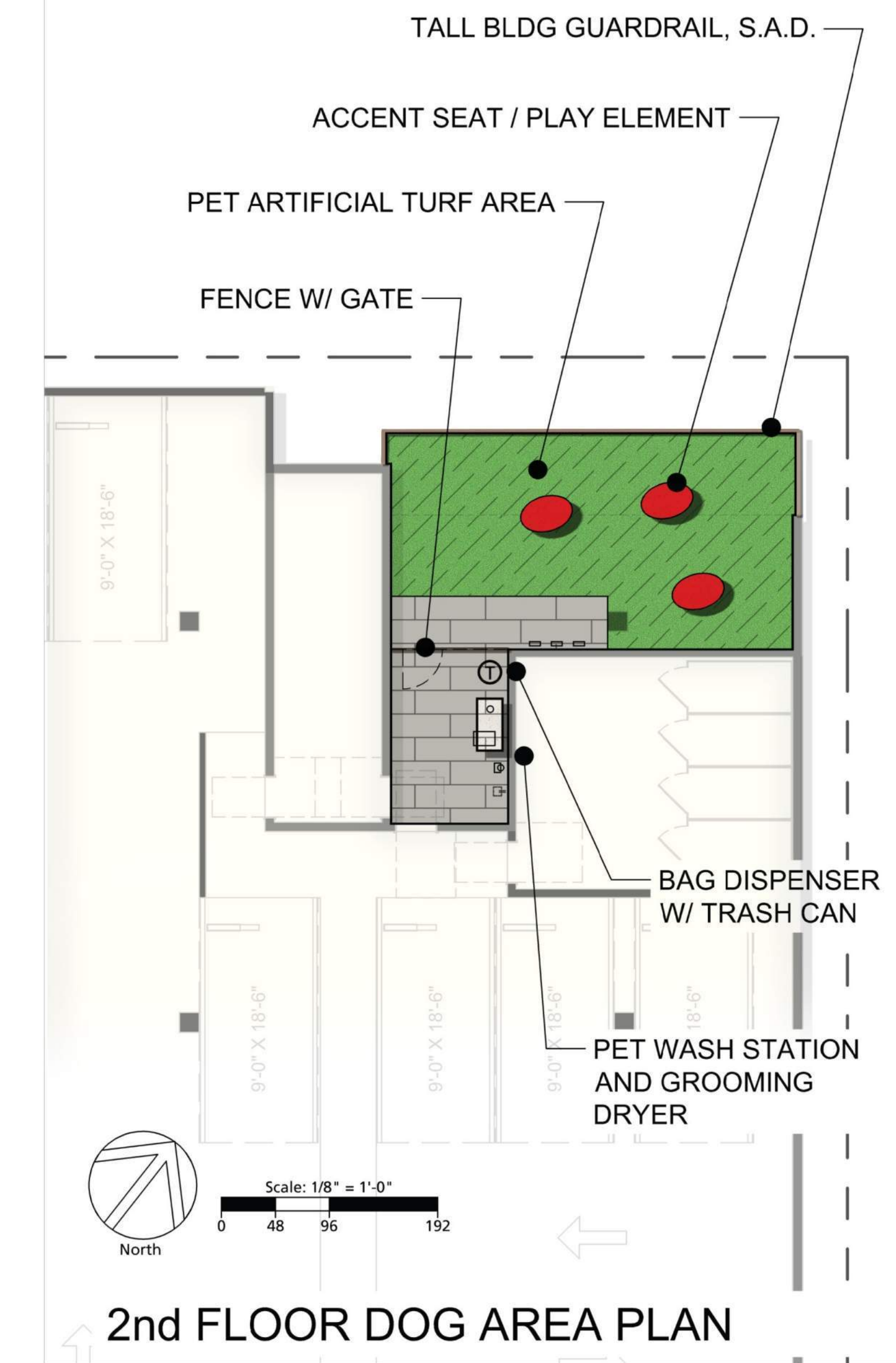
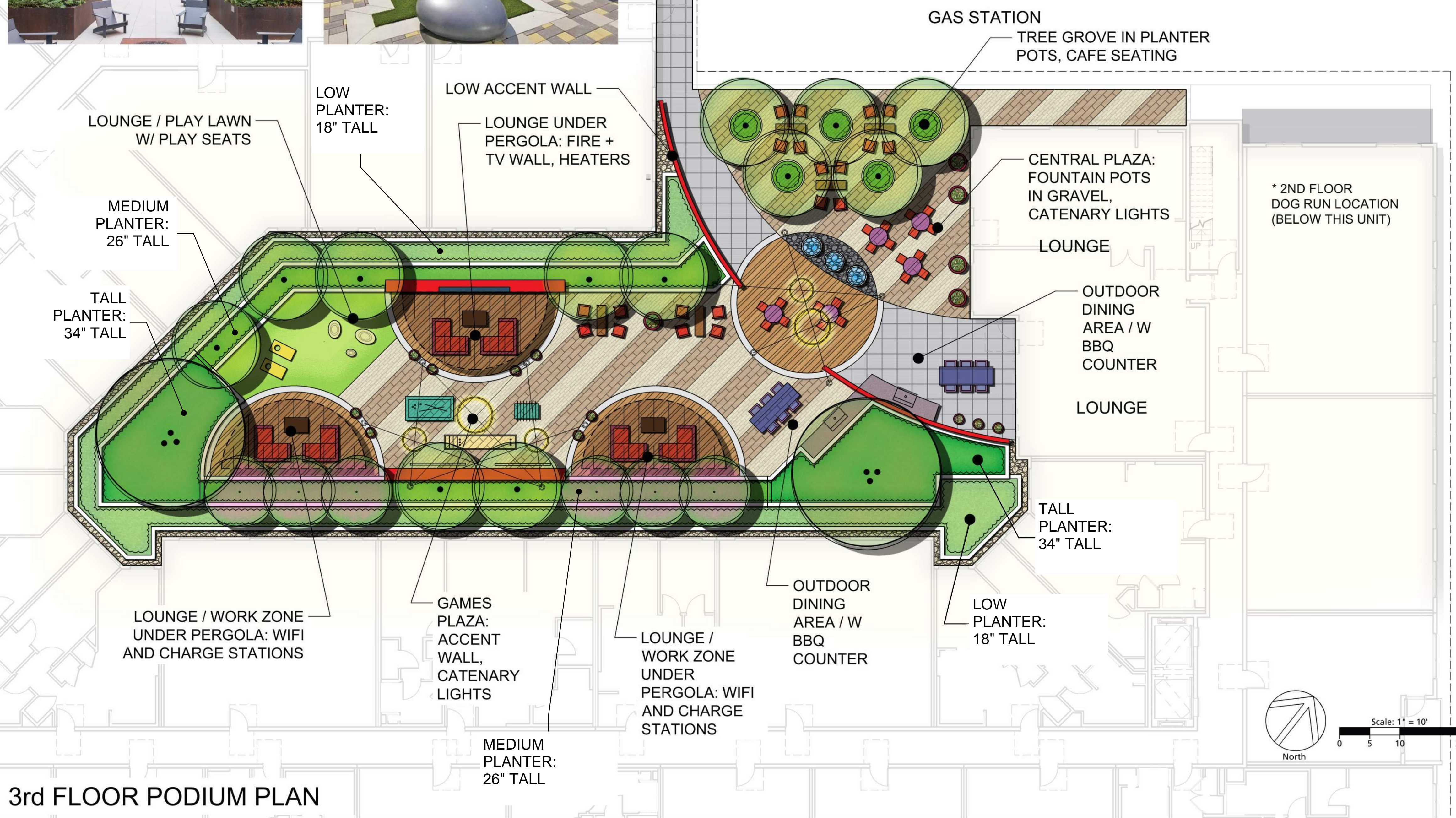
PUBLIC PLAZA: 1,069 SQ FT

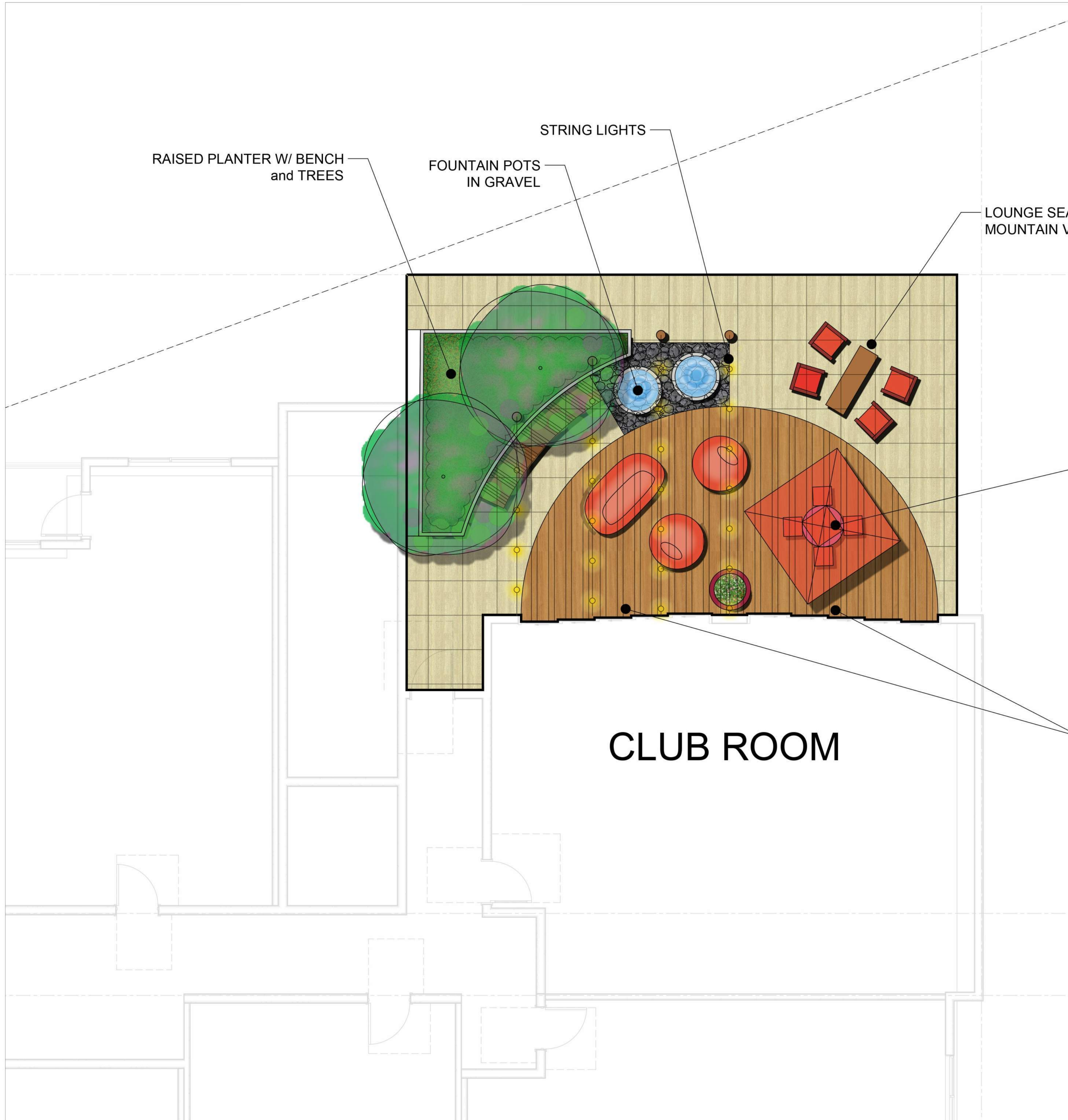
SITE LANDSCAPE PLAN - CORNER PLAZA

L-2.2



IMAGERY



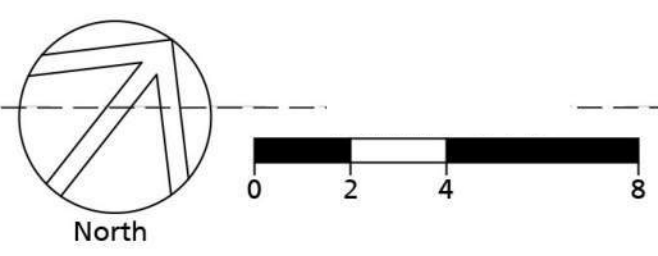


IMAGERY



CLUB ROOM

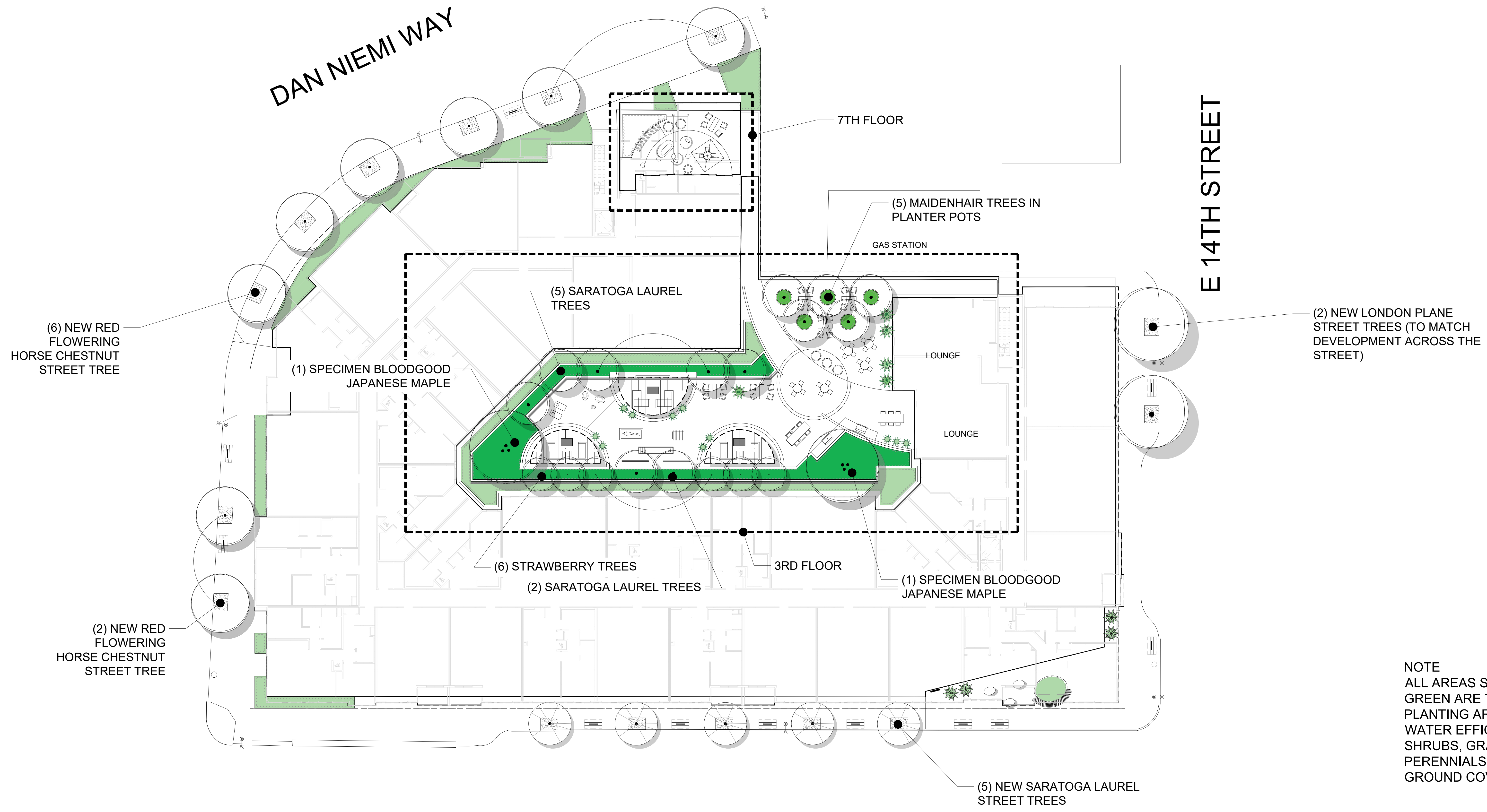
* USEABLE OPEN SPACE: 660 SQ FT
(745 SQ FT MAX)



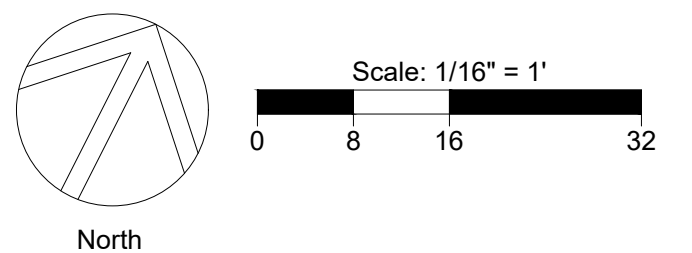
DAN NIEMI WAY

E 14TH STREET

DAVIS STREET



NOTE
 ALL AREAS SHOWN IN GREEN ARE TO BE PLANTING AREAS W/ WATER EFFICIENT SHRUBS, GRASSES, PERENNIALS AND GROUND COVERS



PLANT PALETTE

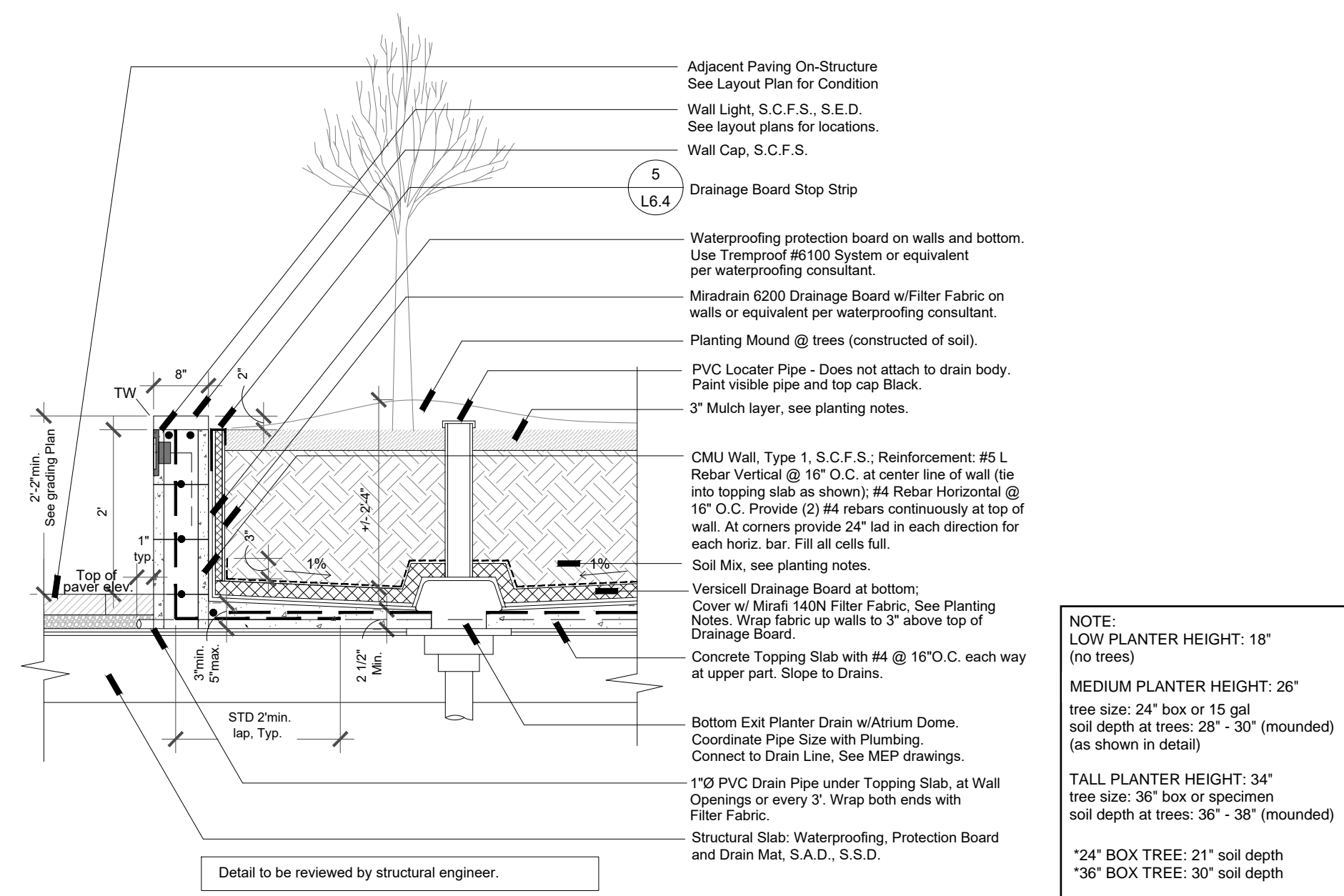
TREES						
KEY	QTY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS
ARB MAR	6	24"box	Arbutus 'Marina'	Marina Strawberry Tree	(ca)	Low
ACE BLO	2	specimen	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	multi-trunk (wt)	Medium
AES CAR	8	24"box	Aesculus x carnea	Red Flowering Horse Chestnut	standard	Medium
LAU NOB	12	24"box	Laurus nobilis 'Saratoga'	Saratoga Bay Laurel		Low
PLA ACE	2	24"box	Platanus a. 'Columbia'	London Plane Tree		Medium
GIN BIL	5	15 gal	Ginkgo biloba 'Skytower'	Maidenhair Tree		Medium

SHRUBS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	
ABG	5 gal	Agave 'Blue Glow'	Blue Glow Agave	-	Low	
DLD	5 gal	Dietes 'Lemon Drops'	Fortnight Lily	30" o.c.	Low	
LJE	15 gal	Leucadendron 'Jester'	Sunshine Conebush	36" o.c.	Low	
LHS	15 gal	Leucadendron 'Hawaii Sunrise'	Sunrise Royal Hawaiian Cone Bush	30" o.c.	Low	
LCS	5 gal	Loropetalum chinense 'Suzanne'	Suzanne Fringe Flower	36" o.c.	Low	
LGR	5 gal	Lavandula x 'Grosso'	Grosso Lavender	24" o.c.	Low	
PRM	5 gal	Phormium 'Rainbow Maiden'	'Rainbow Maiden' New Zealand Flax	30" o.c.	Low	
PRQ	5 gal	Phormium 'Rainbow Queen'	'Rainbow Queen' New Zealand Flax	36" o.c.	Low	
RAU	5 gal	Ribes aureum	Golden Currant	36" o.c. (ca)	Low	

GRASSES / PERENNIALS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	
ABG	5 gal	Anigozanthos 'Bush Gold'	Yellow Kangaroo Paw	18" o.c.	Low	
AMM	1 gal	Achillea m. 'Moonshine'	Yellow Achillea	24" o.c.	Low	
CDI	5 gal	Carex divulsa	Berkeley Sedge	18" o.c. (ca)	Low	
LBB	1 gal	Liriope muscari 'Big Blue'	Big Blue Lilyturf	18" o.c.	Medium	
LLT	5 gal	Lomandra longifolia 'Lime Tuff'	Dwarf Mat Rush	24" o.c.	Low	
MRM	5 gal	Muhlenbergia c. 'Regal Mist'	Pink Muhly	30" o.c.	Low	
NTE	1 gal	Nassella tenuissima	Mexican Feather Grass	24" o.c.	Low	
NWL	1 gal	Nepeta 'Walker's Low'	Walker's Low Catmint	30" o.c.	Low	
SBB	5 gal	Salvia leucantha 'Bees' Bliss'	Mexican Sage	36" o.c. (ca)	Low	
SSO	5 gal	Salvia sonomensis	Creeping Sage	36" o.c. (ca)	Low	

GROUNDCOVERS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	
LBE	3 gal	Lotus berthelotii	'Amazon Sunset' Parrot's Beak	18" o.c.	Low	
ROP	5 gal	Rosmarinus o. 'Prostratus'	Prostrate Rosemary	30" o.c.	Low	
SBE	3 gal	Sisyrinchium bellum	Blue-eyed Grass	18" o.c. (ca)	Low	

NOTES:
 (ca) - California Native Plants
 (wt) - Water treatment plants (bioretention and flow-through planters, per WPPP)



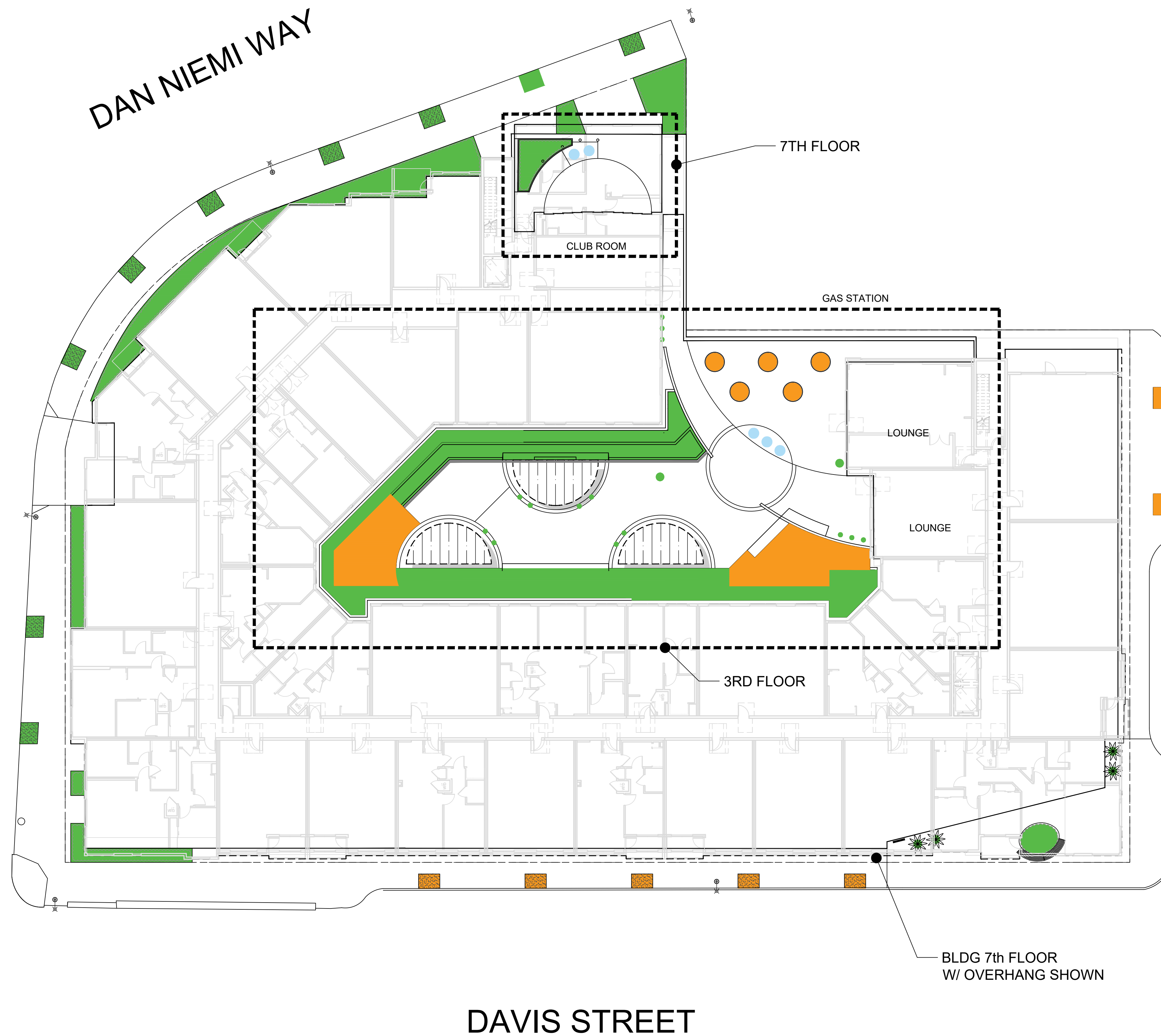
CMU Block Planter Wall on Structure

Scale: 3/4" = 1'-0"

NOTE:
 LOW PLANTER HEIGHT: 18"
 (no trees)
 MEDIUM PLANTER HEIGHT: 26"
 tree size: 24" box or 15 gal
 soil depth at trees: 28" - 30" (mounded)
 (as shown in detail)
 TALL PLANTER HEIGHT: 34"
 tree size: 36" box or specimen
 soil depth at trees: 36" - 38" (mounded)
 *24" BOX TREE: 21" soil depth
 *36" BOX TREE: 30" soil depth

PLANT IMAGERY



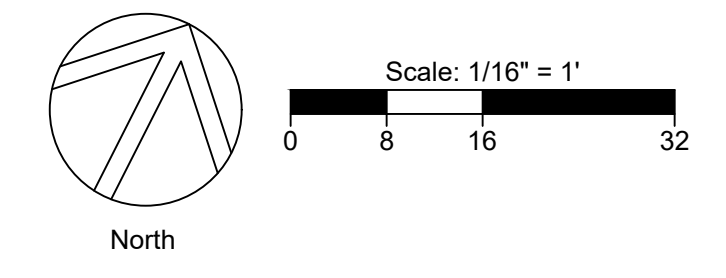


E 14TH STREET

WATER USE LEGEND

	WUCOLS Low: 4643 SQ FT
	WUCOLS Moderate: 1027 SQ FT
	WUCOLS High: 0 SQ FT
	Water Features: 35 SQ FT
	Special Landscape Area: N/A

* Based upon total PLANTING area of 5670 SF



DAVIS STREET

BLDG 7th FLOOR
W/ OVERHANG SHOWN

WATER CALCULATIONS

Base Schedule	PRECIP	Ka	Kd	Kmc	AKC	RUN TIME	CYC	CYC TIME	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
STA																				
Spray Turf	1.80	0.70	0.83	1.20	0.70	19	4	5	0	0	3	5	9	9	11	10	8	5	1	0
Rotor Turf	0.55	0.50	0.83	1.20	0.50	58	4	16	0	0	2	4	6	7	8	7	6	3	1	0
Spray GC/Shrub	1.80	0.30	0.83	1.20	0.30	57	11	5	0	0	0	1	1	1	1	2	1	1	1	0
Rotor GC/Shrub	0.55	0.30	0.83	1.20	0.30	175	11	16	0	0	0	1	1	1	2	1	1	1	1	0
Subsurface-GC/Shrubs	1.10	0.30	0.83	1.20	0.30	97	12	8	0	0	0	1	1	1	1	1	1	1	0	0
Sub-Trees in planting	8.00	0.50	0.83	1.20	0.50	35	31	11	0	0	0	0	1	1	1	1	1	1	0	0
Sub-Trees in wells	12.00	0.30	0.83	1.20	0.30	35	47	1	0	0	0	0	0	0	0	0	0	0	0	0

NOTES OF DESIGN / BUILD INTENT	PROPOSED EQUIPMENT LIST
<ol style="list-style-type: none"> IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE. IRRIGATION CONTROLLER SHALL BE "SMART" SELF ADJUSTING BASED ON DAILY ET REQUIREMENTS OF THE PLANT MATERIAL. DEDICATED IRRIGATION SYSTEM WATER METER SHALL CONNECT TO A LOOPED IRRIGATION SYSTEM SUPPLYLINE. LOW PRECIPITATION RATE IRRIGATION SPRAY HEADS SHALL BE USED WHEREVER PLANTING MATERIAL AND WATER EFFICIENT LANDSCAPE ORDINANCE WILL ALLOW. HIGH EFFICIENCY DRIP IRRIGATION SHALL BE USED WHEREVER PRACTICABLE WITHIN GROUND COVER AND SHRUB AREAS. DEDICATED IRRIGATION ZONES FOR TREES SHALL BE DESIGNED WITH BUBBLER IRRIGATION. VALVE BOX LOCATIONS SHALL BE IN GROUND COVER AREAS WHEREVER POSSIBLE. 	<p>DOMESTIC WATER METER-2" --BY OTHER SECTION OF CONTRACT</p> <p>IRRIGATION BACKFLOW PREVENTION DEVICE --WILKINS-975-XLU-2"</p> <p>MASTER CONTROL VALVE --TORO-220-27-09 -2"</p> <p>FLOW SENSOR --DATA INDUSTRIAL-P220-1"</p> <p>ELECTRIC CONTROLLER ASSEMBLIES --HUNTER ACC WITH SOLAR SYNC</p> <p>REMOTE CONTROL VALVES --RAINBIRD ECV SERIES, ANTI-SIPHON</p> <p>DRIP REMOTE CONTROL VALVES --RAINBIRD ECV SERIES, ANTI-SIPHON</p> <p>QUICK COUPLING VALVES --RAINBIRD-33DRC</p> <p>GATE VALVES --LINE SIZE</p> <p>DIGITAL SOIL MOISTURE SENSOR --BASELINE-BL BISENSOR</p> <p>RAIN SENSOR --HUNTER SOLAR SYNC</p> <p>FLUSH VALVE</p> <p>PLANTER POT IRRIGATION</p> <p>TREE BUBBLERS --TORO-FB-100-PC</p> <p>IRRIGATION SUPPLYLINE --DOMESTIC SYSTEM --1120/SCHEDULE 40 PVC PIPE --24" COVER</p> <p>IRRIGATION LATERAL LINE --1120/SCHEDULE 40 PVC PIPE --12" COVER</p> <p>ELECTRICAL CONDUIT--SIZE AS INDICATED --1120/SCHEDULE 40 PVC PIPE --24" COVER</p> <p>SLEEVING--SIZE AS INDICATED --1120/SCHEDULE 40 PVC PIPE --24" COVER</p> <p>IRRIGATION SUBSURFACE EMITTERLINE --NETAFIM-TLCV4-12 --4" COVER</p>

WATER EFFICIENT LANDSCAPE WORKSHEET
This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) **45.3**

Hydrozone # /Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
Low Water-Use Plants	0.30	Drip	0.81	0.37	4,643	1,718	48,249
Moderate Water-Use Plants	0.50	Drip	0.81	0.62	1,027	637	17,883
High Water-Use Plants	0.80	Drip	0.81	0.99	0	0	0
Moderate Water-Use Turf EVA	0.50	Spray	0.75	0.67	0	0	0
					(A)	(B)	
Totals					5,670	2,355	66,133
Special Landscape Areas							
water feature					35		
					(C)	(D)	
Totals					0	0	0
ETWU Total						66,133	
Maximum Allowed Water Allowance (MAWA)^d:						71,661	
^a Hydrozone #/Planting Description		^b Irrigation Method	^c Irrigation Efficiency				
E.g.		overhead spray	0.75 for spray head				
1.) front lawn		or drip	0.81 for drip				
2.) low water use plantings							
3.) medium water use planting							
ETWU (Annual Gallons Required) = ETo x 0.62 x ETAF x Area where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.							
MAWA (Annual Gallons Allowed) = (ETo) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)] where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.							
ETAF Calculations							
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.							
Regular Landscape Areas							
Total ETAF x Area (B)					2,355		
Total Area (A)					5,670		
Average ETAF					0.415282186948854		
All Landscape Areas							
Total ETAF x Area (B+D)					2,355		
Total Area (A+C)					5,670		
Sitewide ETAF (B+D) ÷ (A+C)					0.415282186948854		

DAN NIEMI WAY

E 14TH STREET

DAVIS STREET

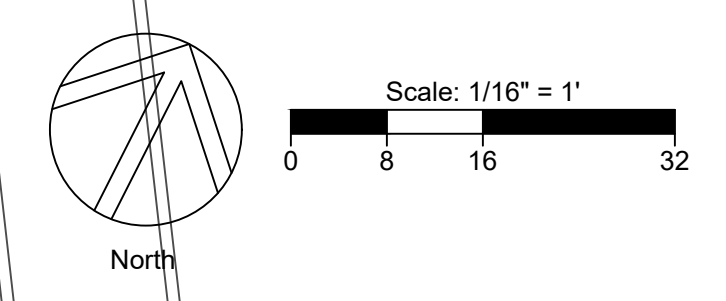
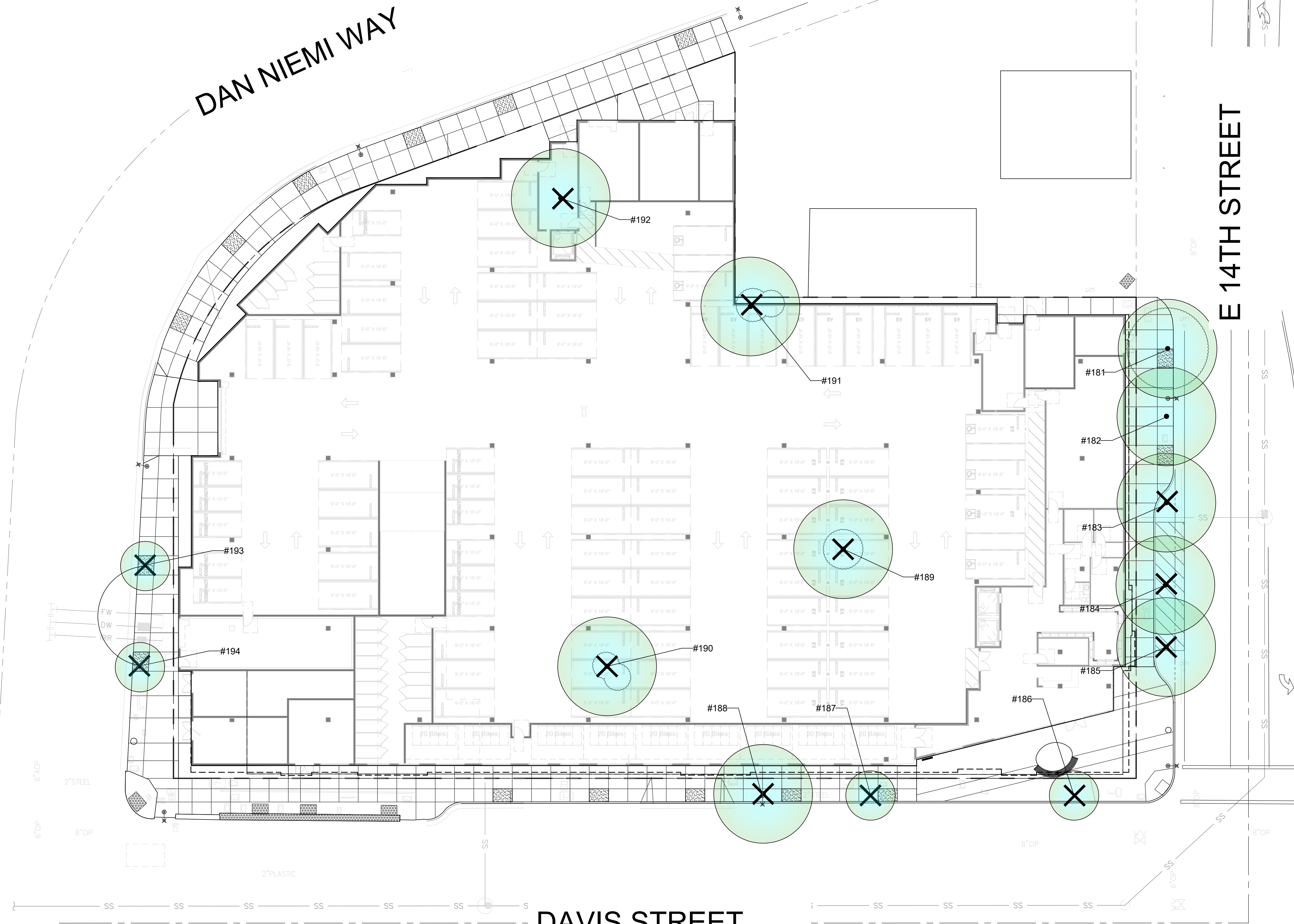
X EXISTING TREE TO BE REMOVED (# per arborist report)

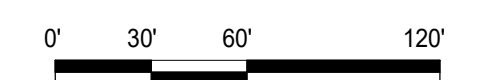
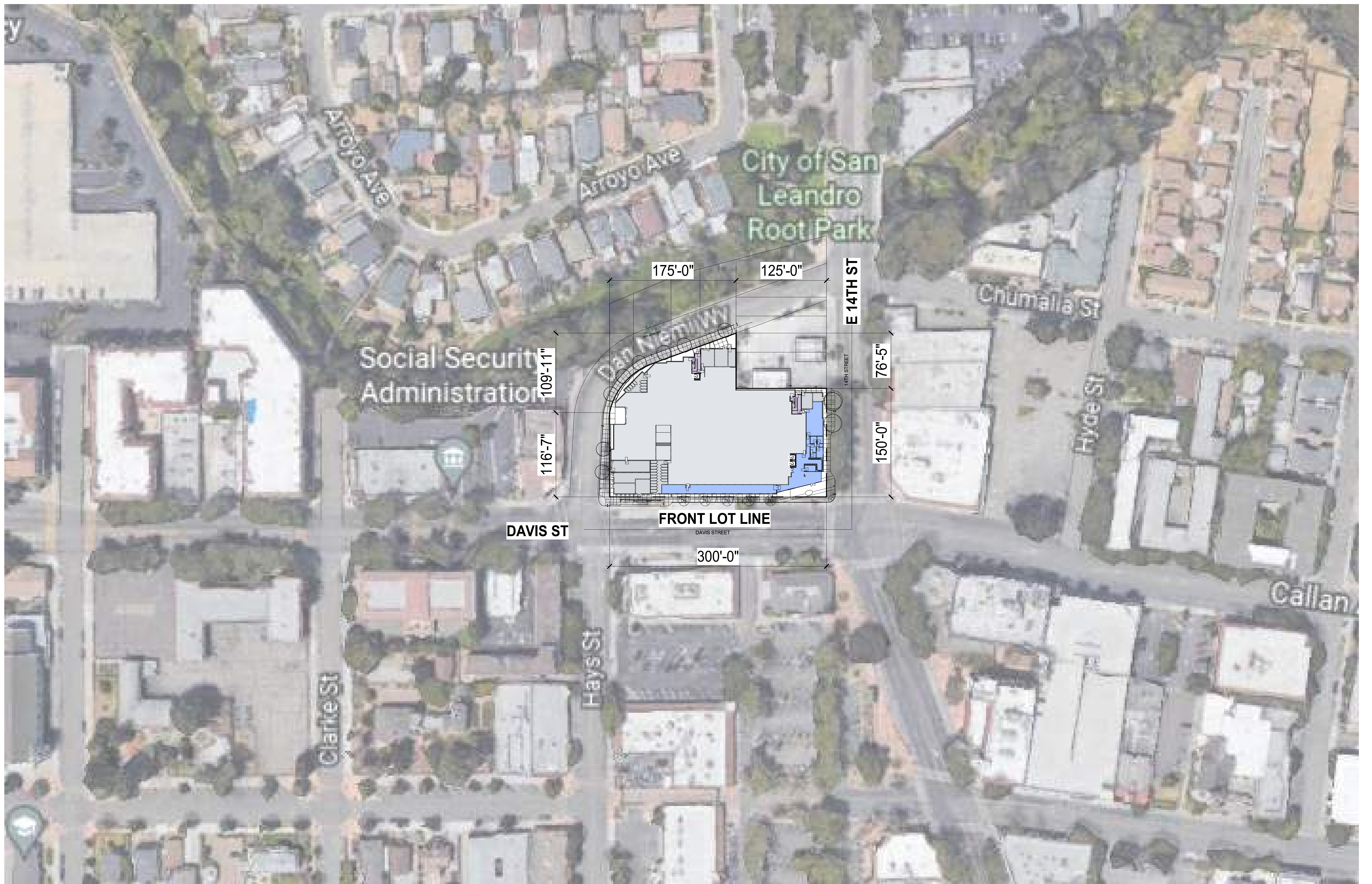
NOTES:

* ALL EXISTING TREES EVALUATED BY CERTIFIED ARBORIST: Traverso Tree, prepared on OCT 27, 2022.

SEE ARBORIST REPORT FOR DETAILS.

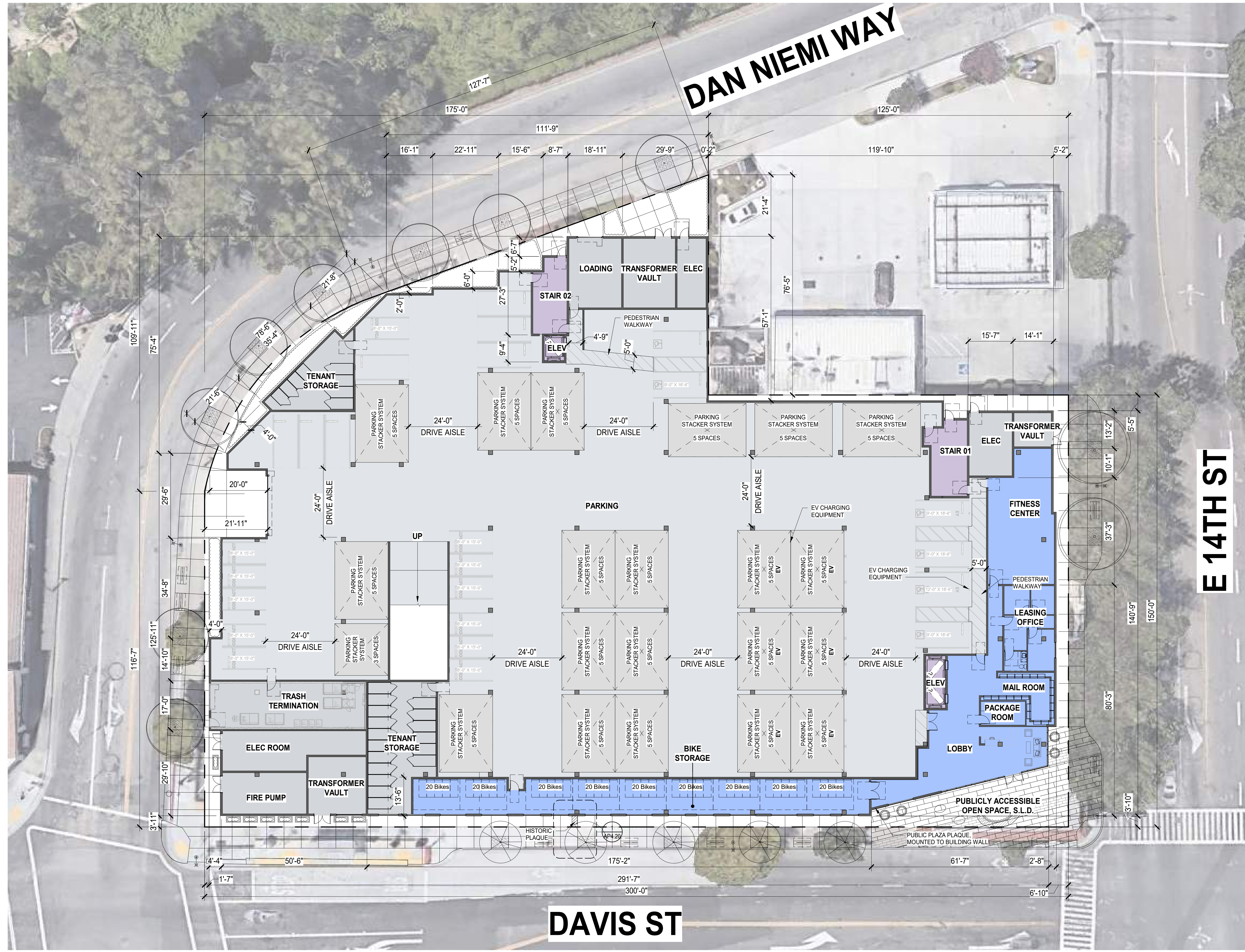
SEE PLANTING PLAN FOR PROPOSED TREE REPLACEMENT (36 SHOWN).





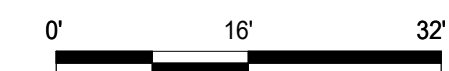
SITE PLAN - PROPOSED

AP1.00

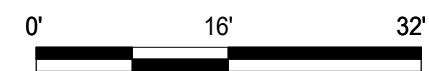
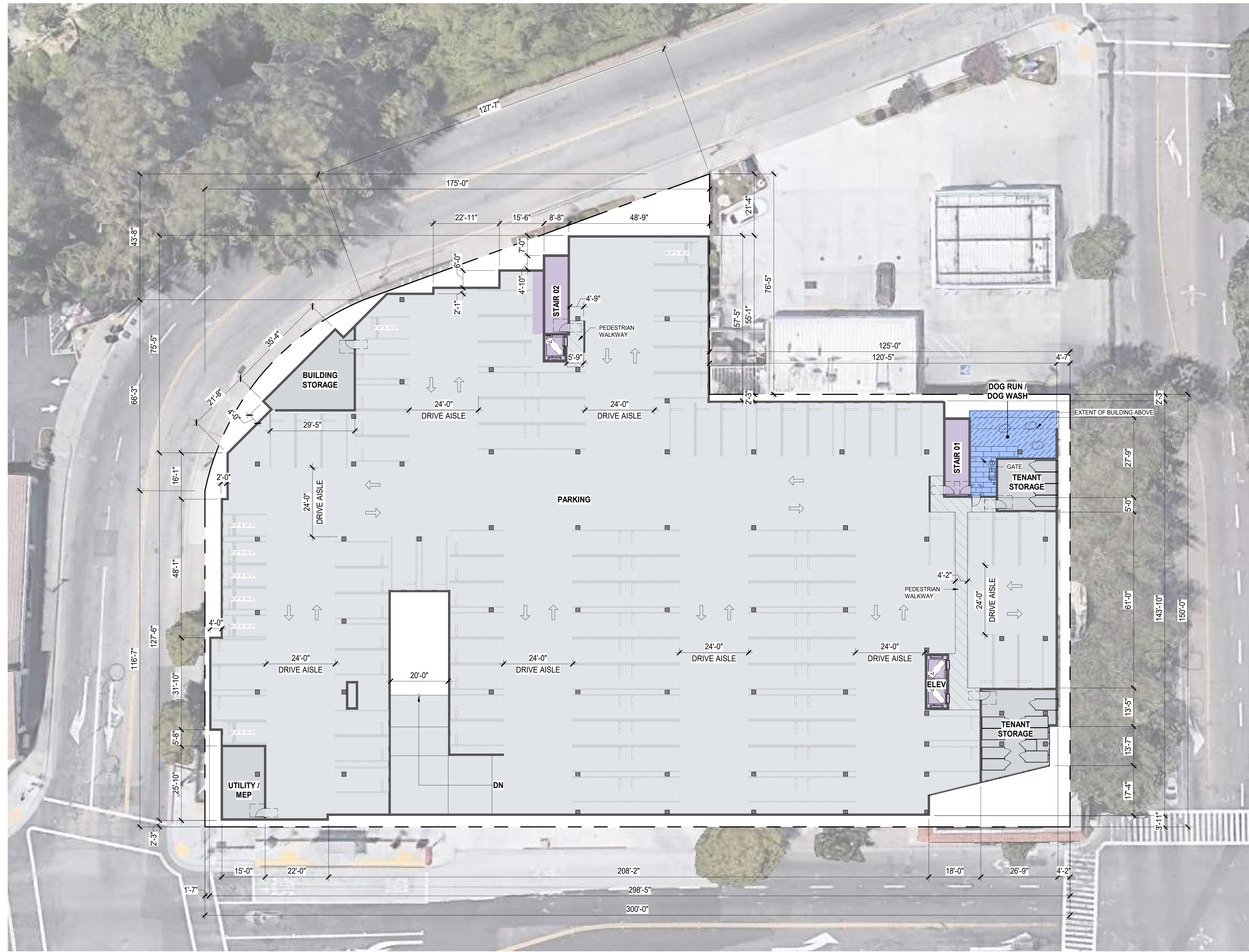


E 14TH ST

DAVIS ST

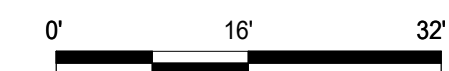


FLOOR 1 1/16" = 1' - 0" **AP2.01**

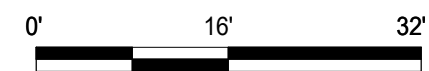
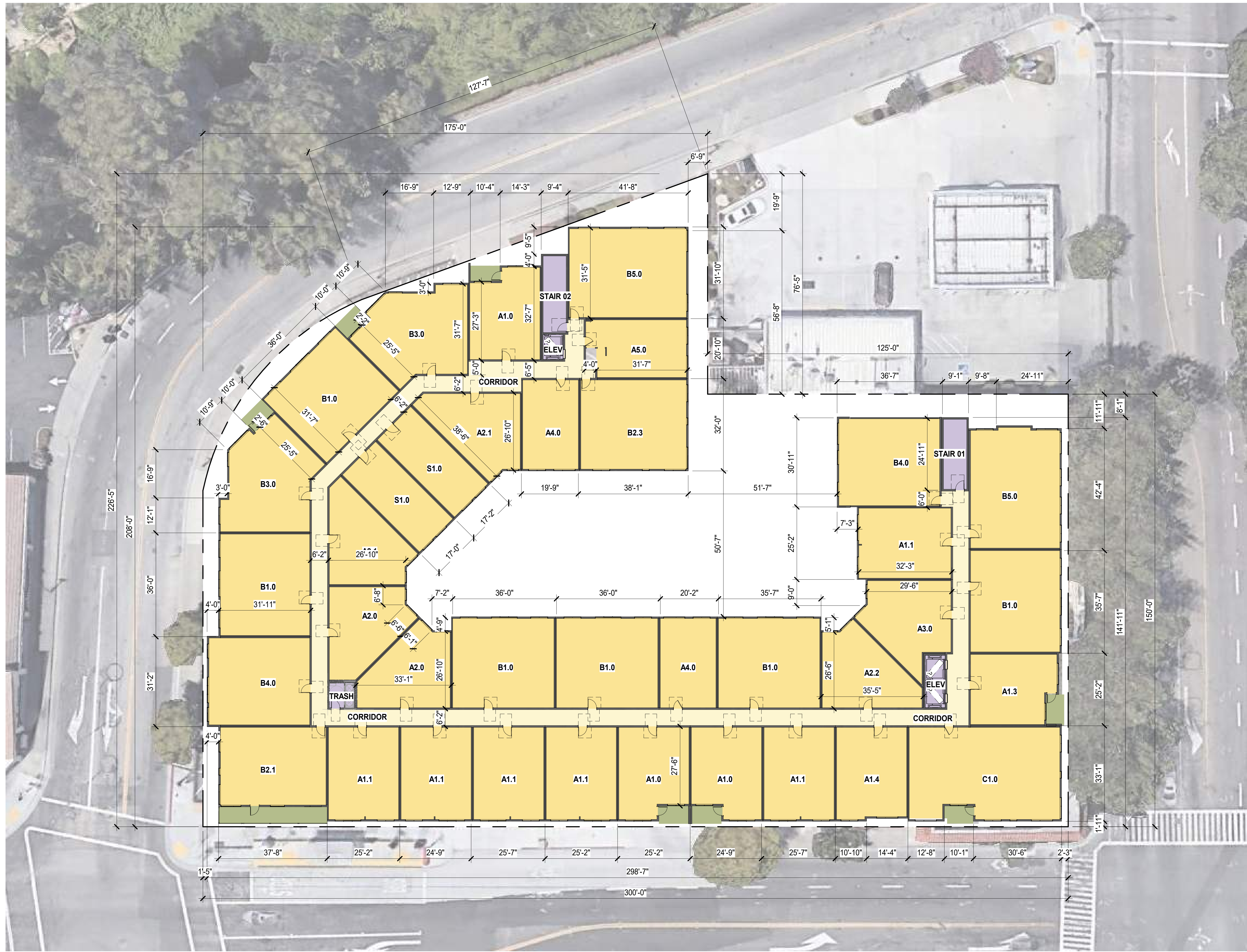


FLOOR 2 AP2.02

1/16" = 1' - 0"

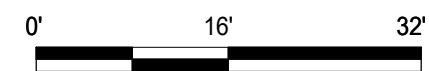
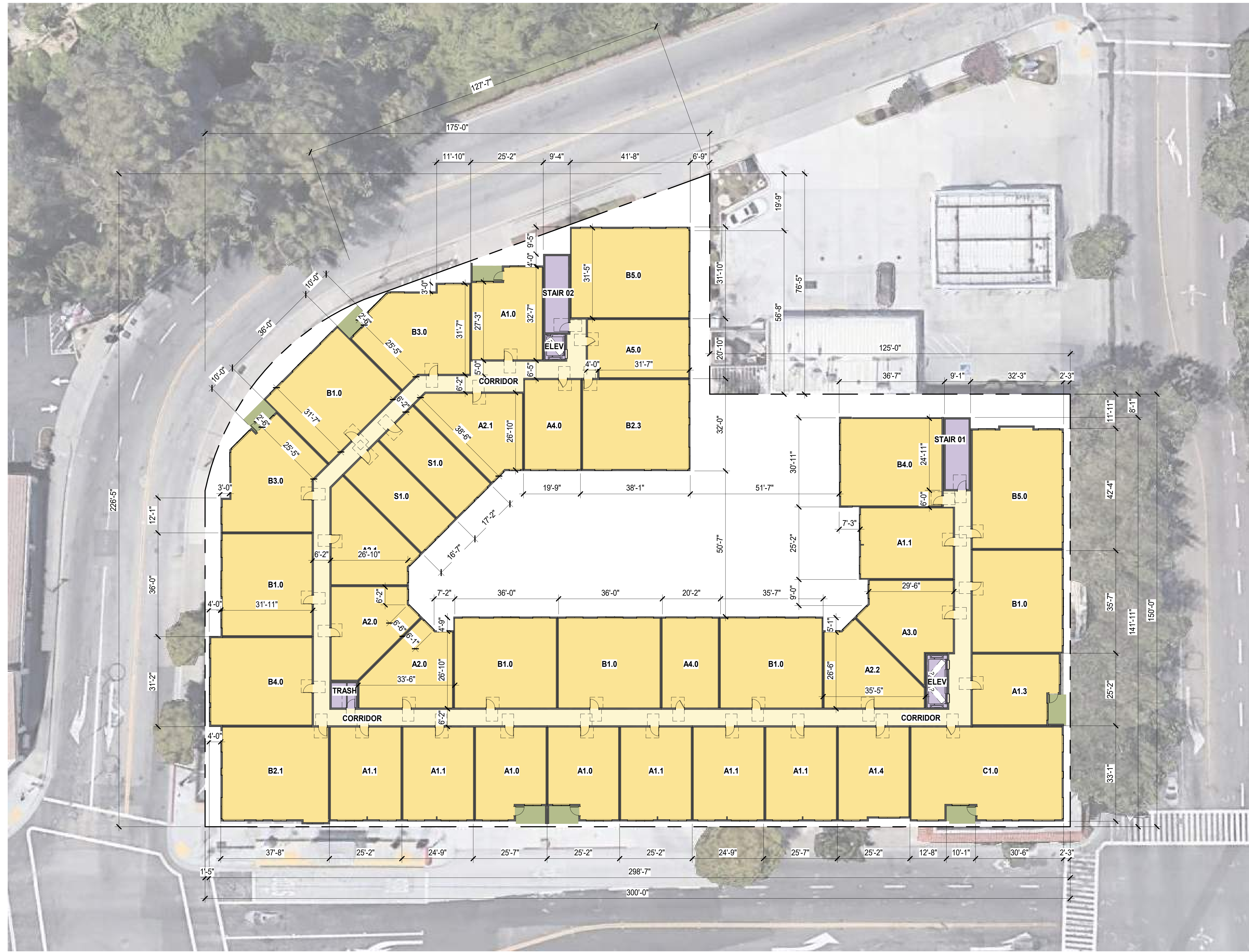


FLOOR 3 1/16" = 1' - 0" **AP2.03**

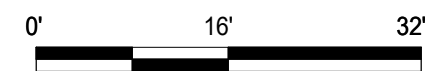


FLOOR 4

1/16" = 1' - 0" AP2.04

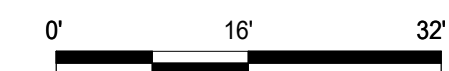


FLOOR 5 1/16" = 1' - 0" **AP2.05**

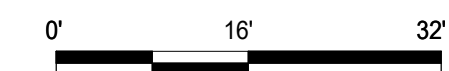
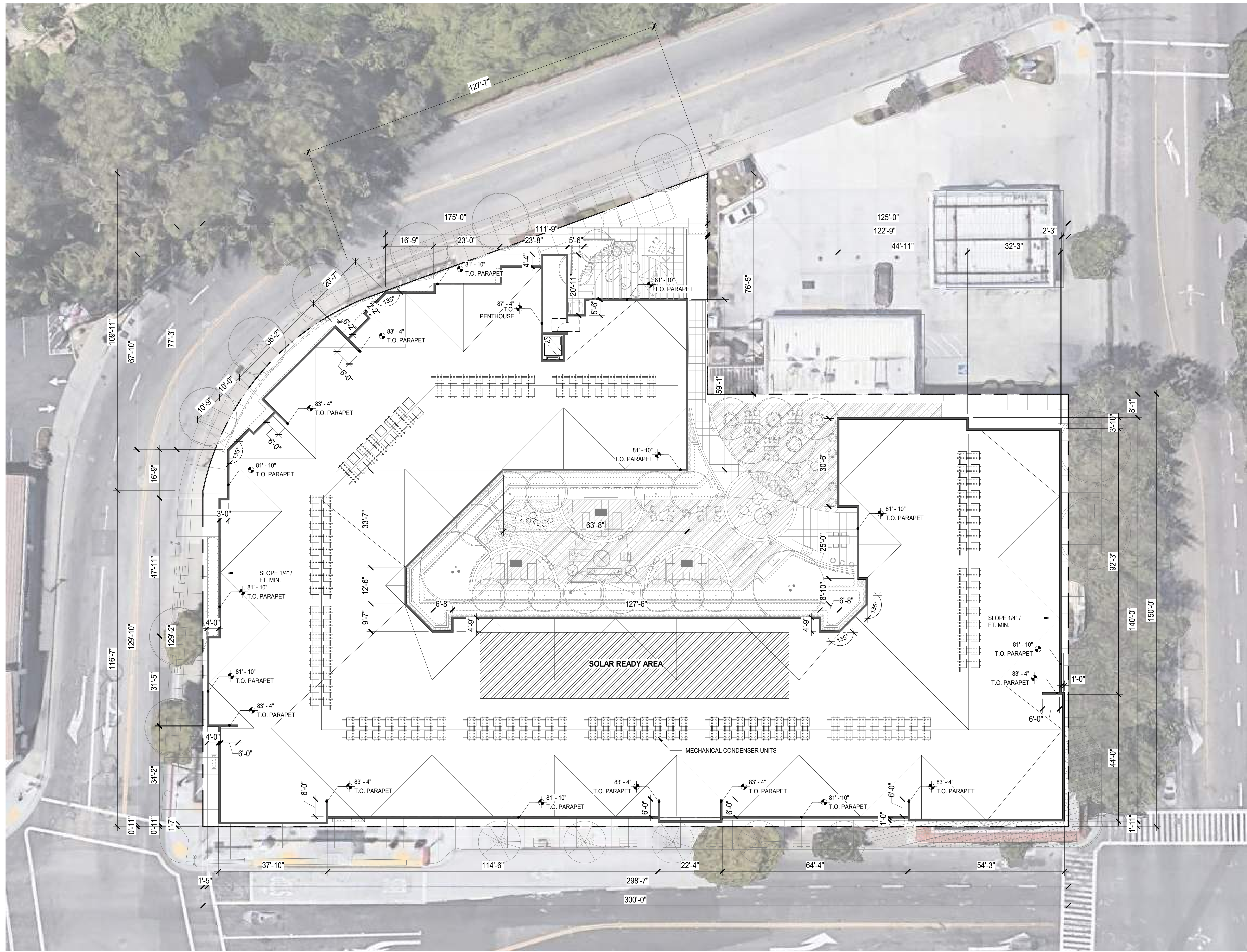


FLOOR 6

1/16" = 1' - 0" AP2.06



FLOOR 7 1/16" = 1' - 0" **AP2.07**

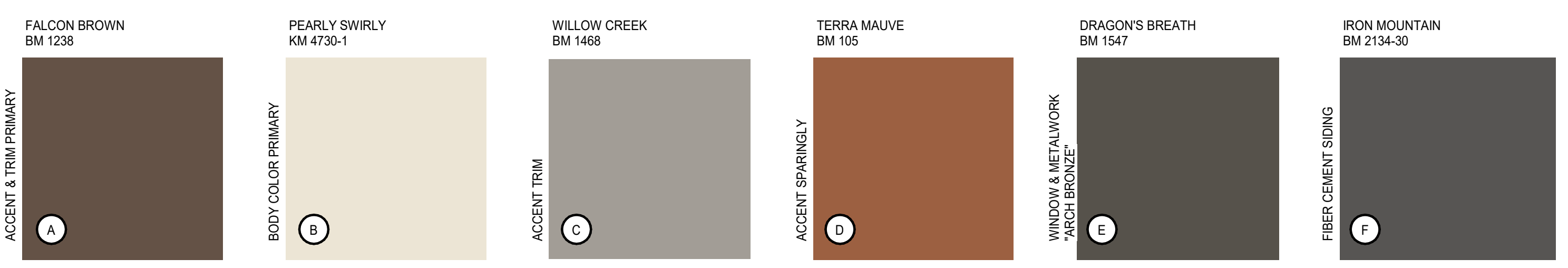




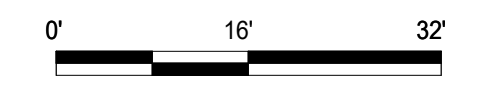
SOUTH ELEVATION



MATERIAL BOARD



COLOR BOARD



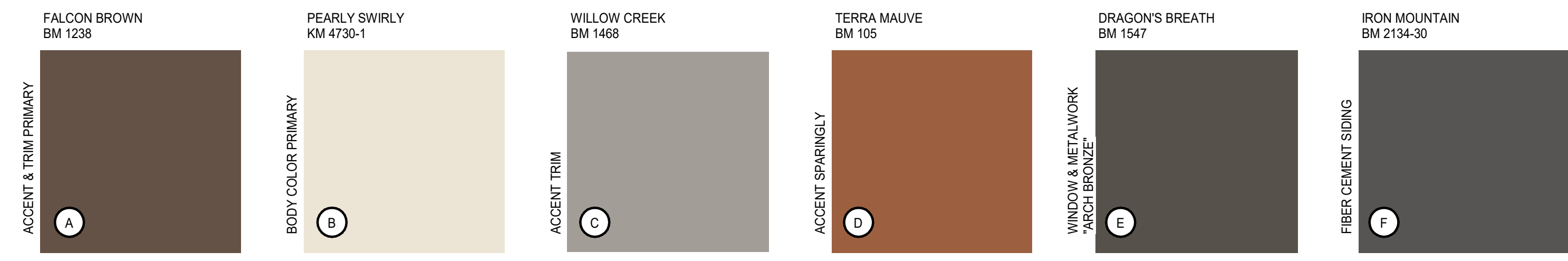
ELEVATIONS 1/16" = 1' - 0" **AP3.00**



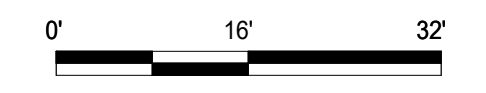
NORTH ELEVATION 1
1/16" = 1'-0"



MATERIAL BOARD



COLOR BOARD



ELEVATIONS 1/16" = 1'-0" **AP3.01**



TOWN HALL SQUARE

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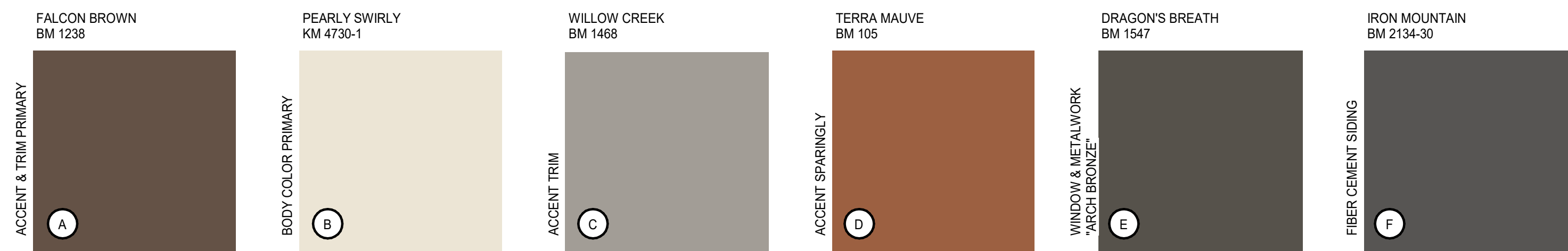


EAST ELEVATION 1

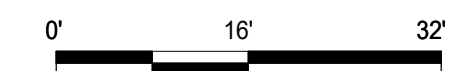
1/16" = 1'-0"



MATERIAL BOARD



COLOR BOARD



ELEVATIONS

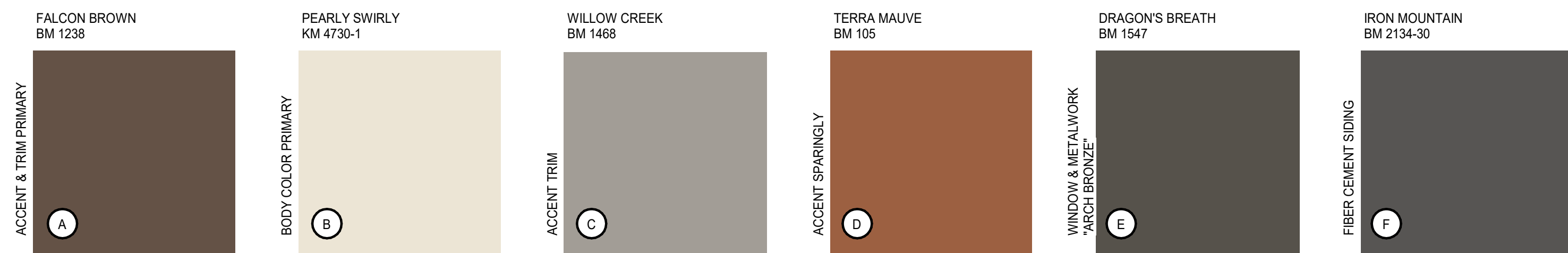
1/16" = 1'-0" **AP3.02**



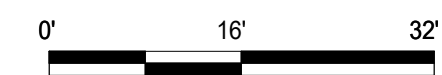
WEST ELEVATION 1
1/16" = 1'-0"



MATERIAL BOARD



COLOR BOARD





VIEW FROM CORNER OF E 14TH ST & DAVIS ST

RENDERINGS

AP3.10



VIEW FROM CORNER OF DAN NIEMI WAY & DAVIS ST

RENDERINGS

AP3.11



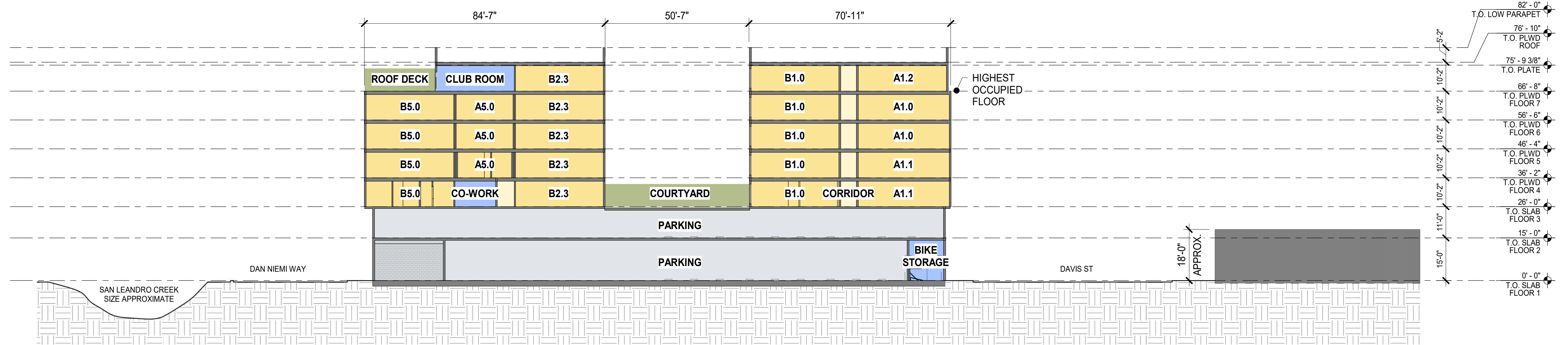
VIEW OF PUBLIC PLAZA - TOWARDS DAVIS ST

RENDERINGS

AP3.12

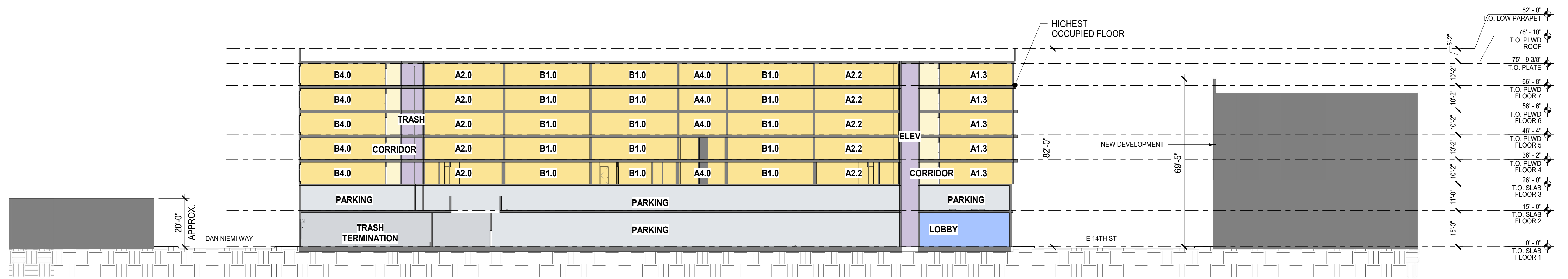


VIEW OF PUBLIC PLAZA - TOWARDS E 14TH ST



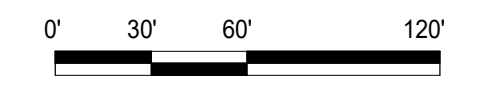
BUILDING / SITE SECTION 2

3/64" = 1'-0"



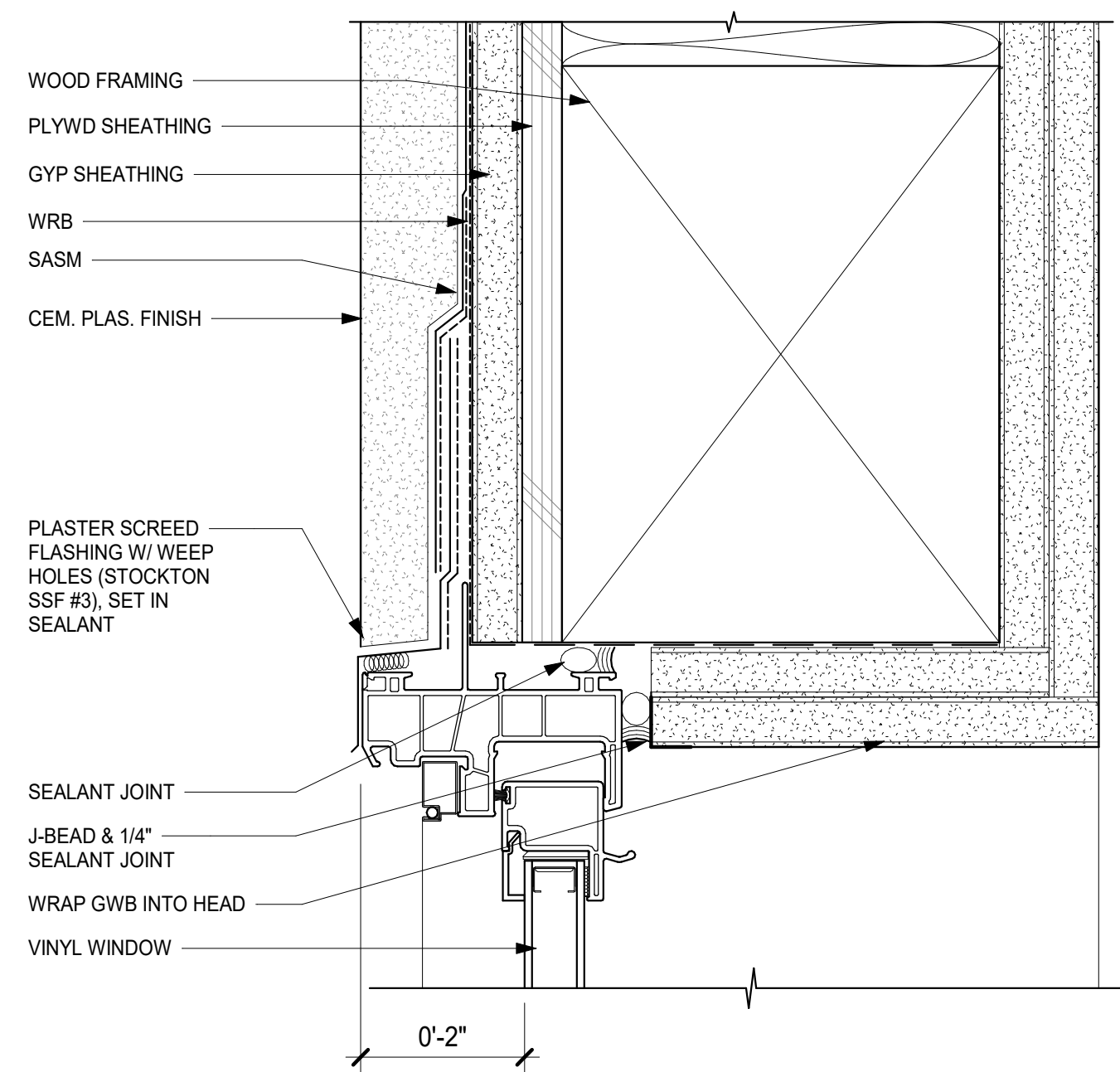
BUILDING / SITE SECTION 1

3/64" = 1'-0"

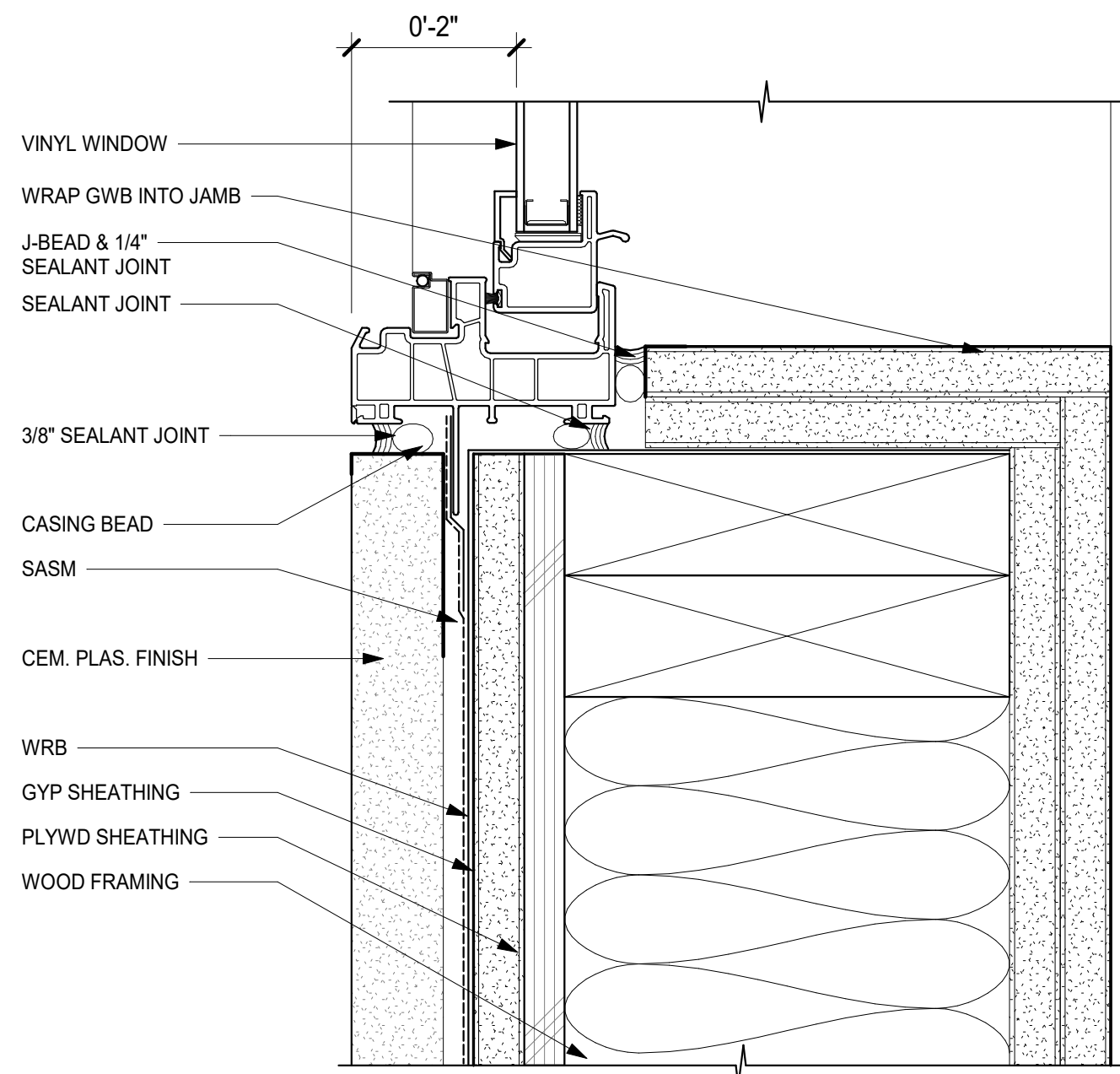


SECTIONS

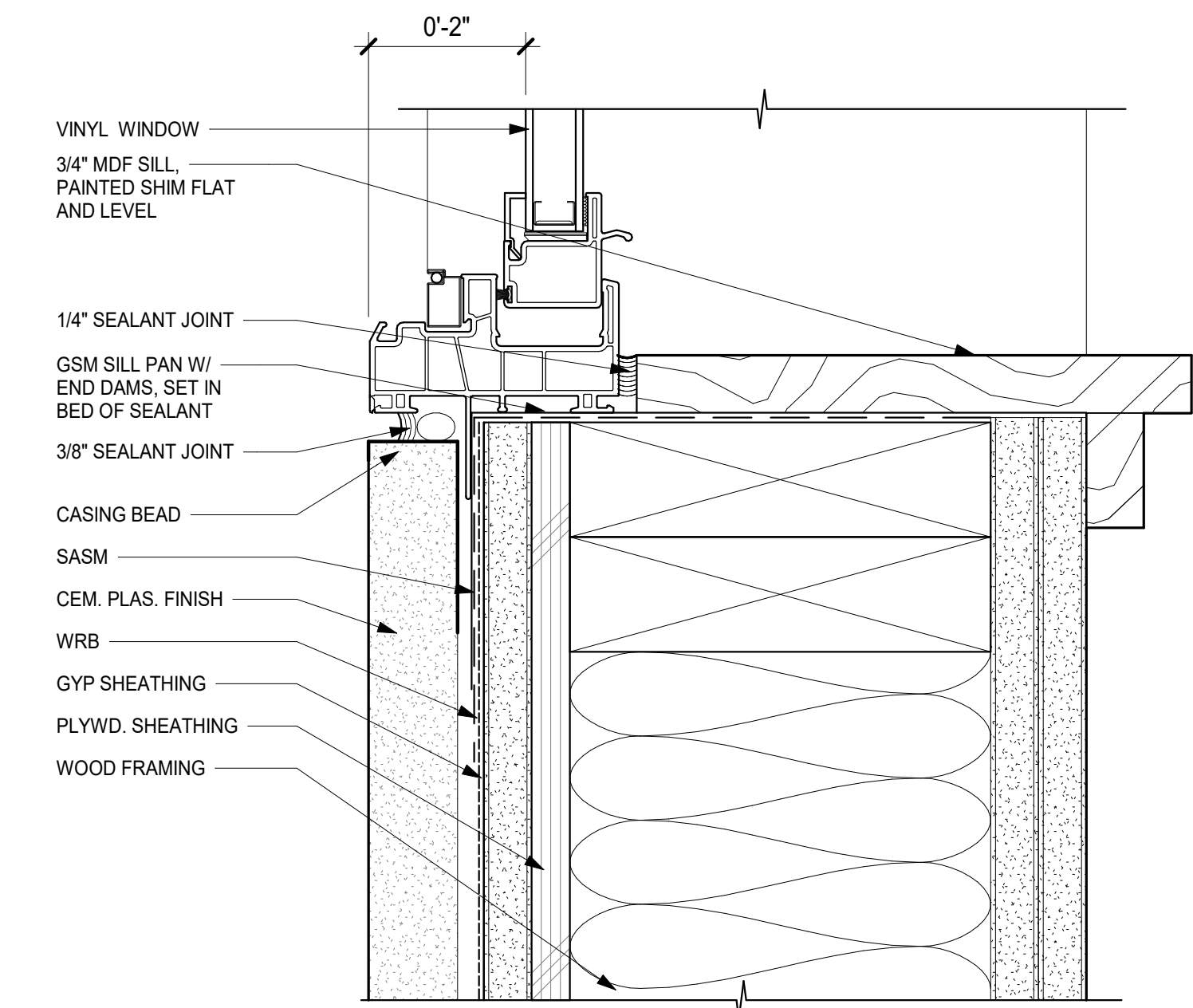
AP3.20



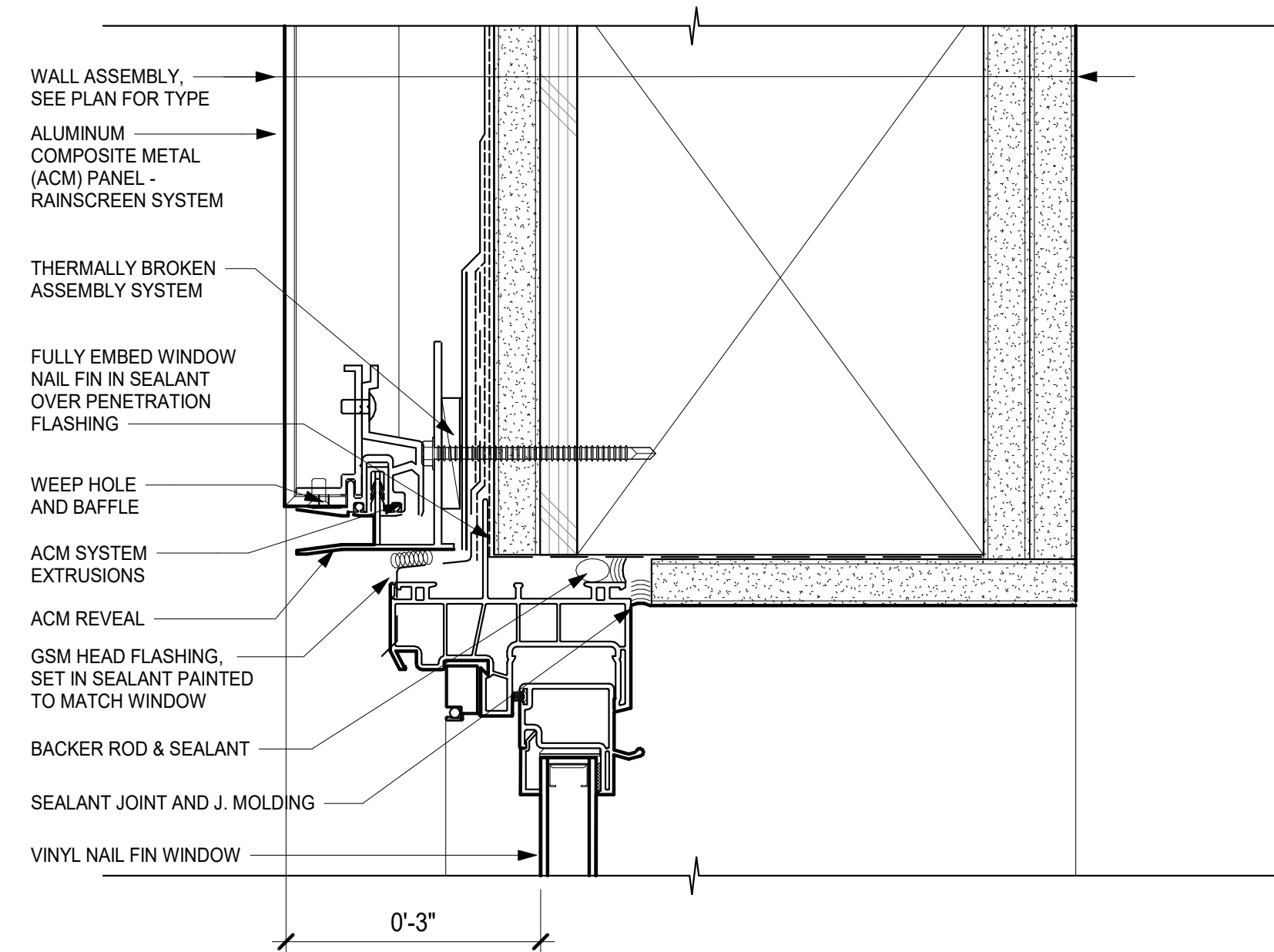
VINYL WINDOW HEAD - CEMENT PLASTER 6
6" = 1'-0"



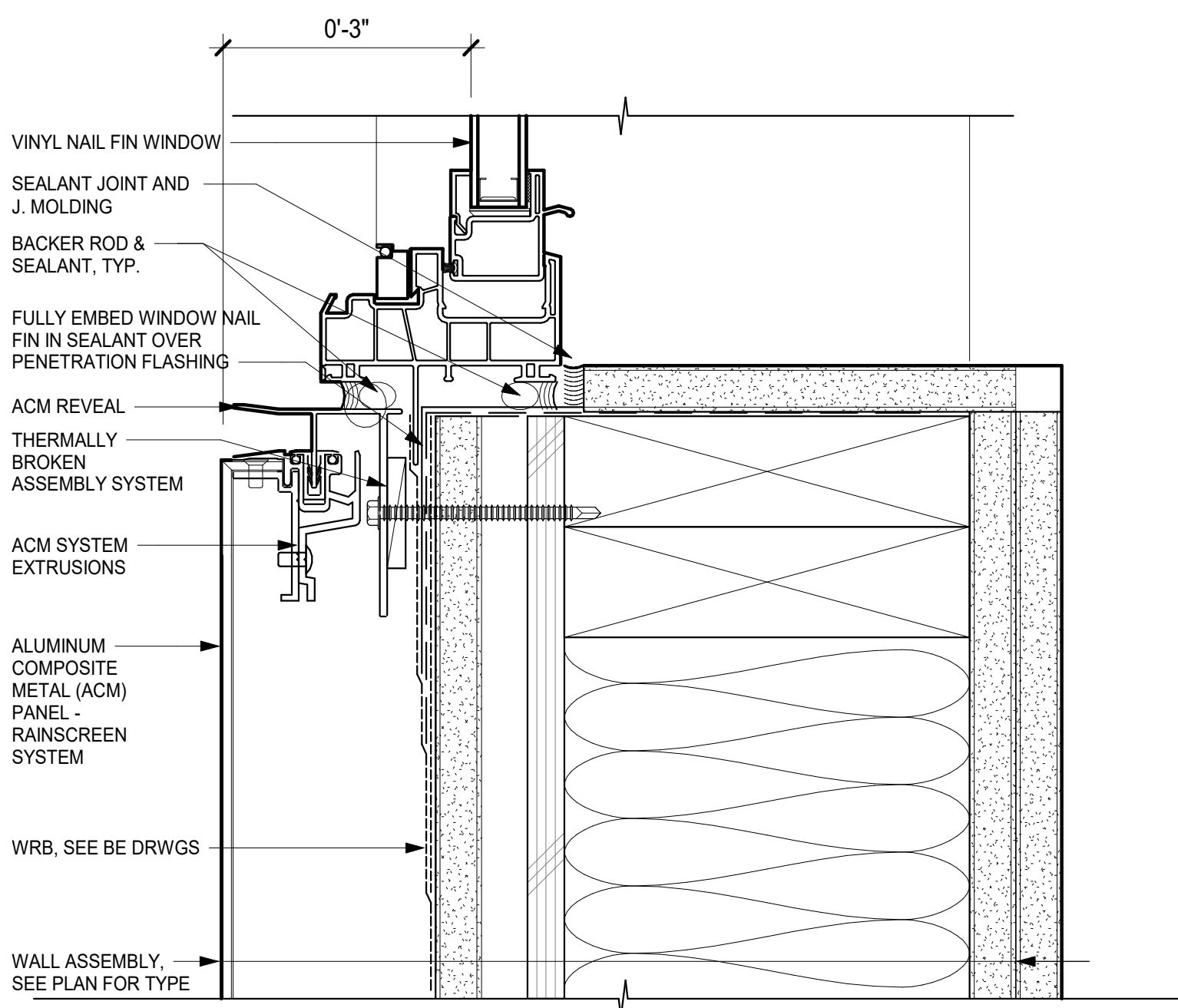
VINYL WINDOW JAMB - CEMENT PLASTER 5
6" = 1'-0"



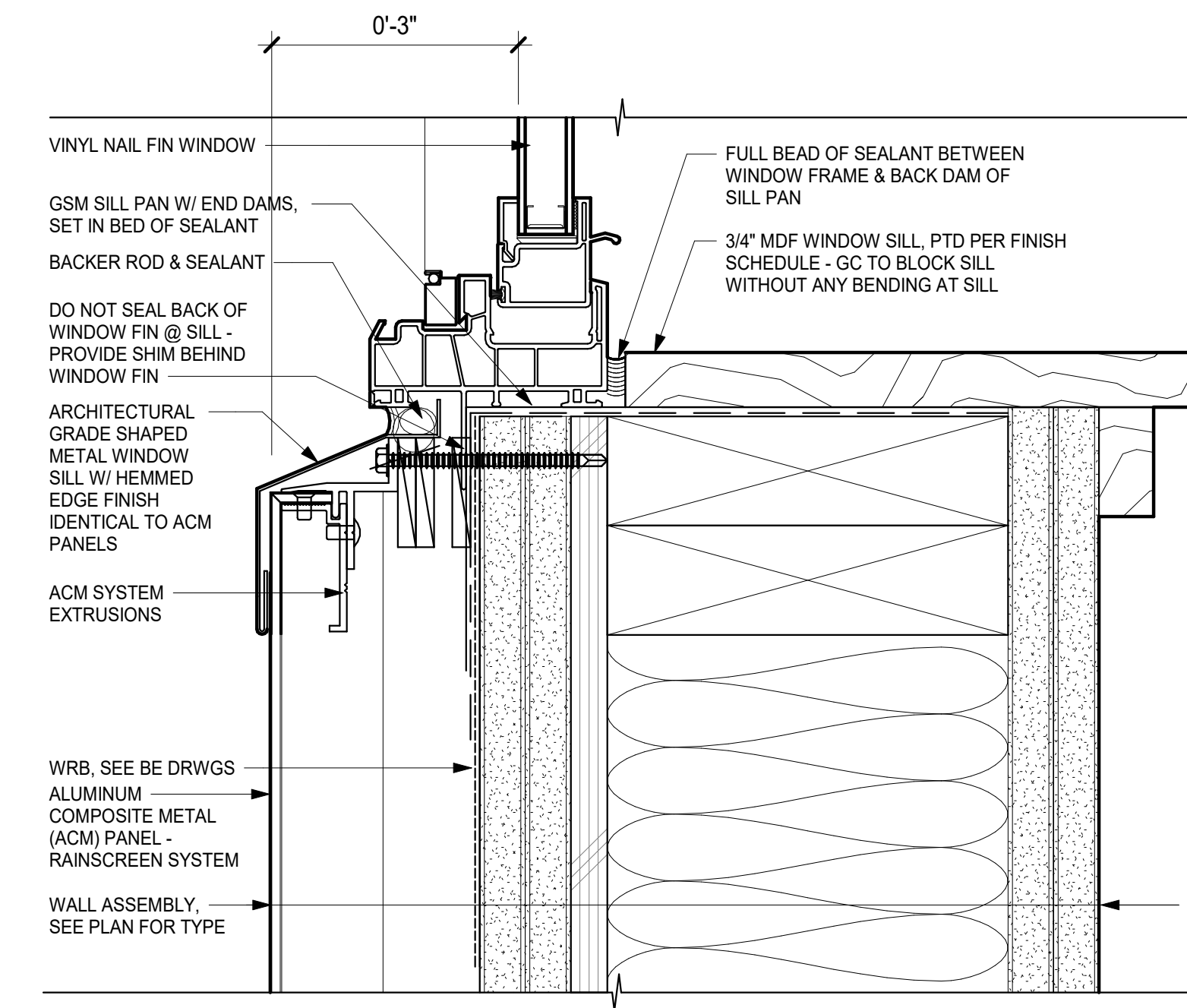
VINYL WINDOW SILL - CEMENT PLASTER 4
6" = 1'-0"



VINYL WINDOW HEAD - PANEL / SIDING 3
6" = 1'-0"



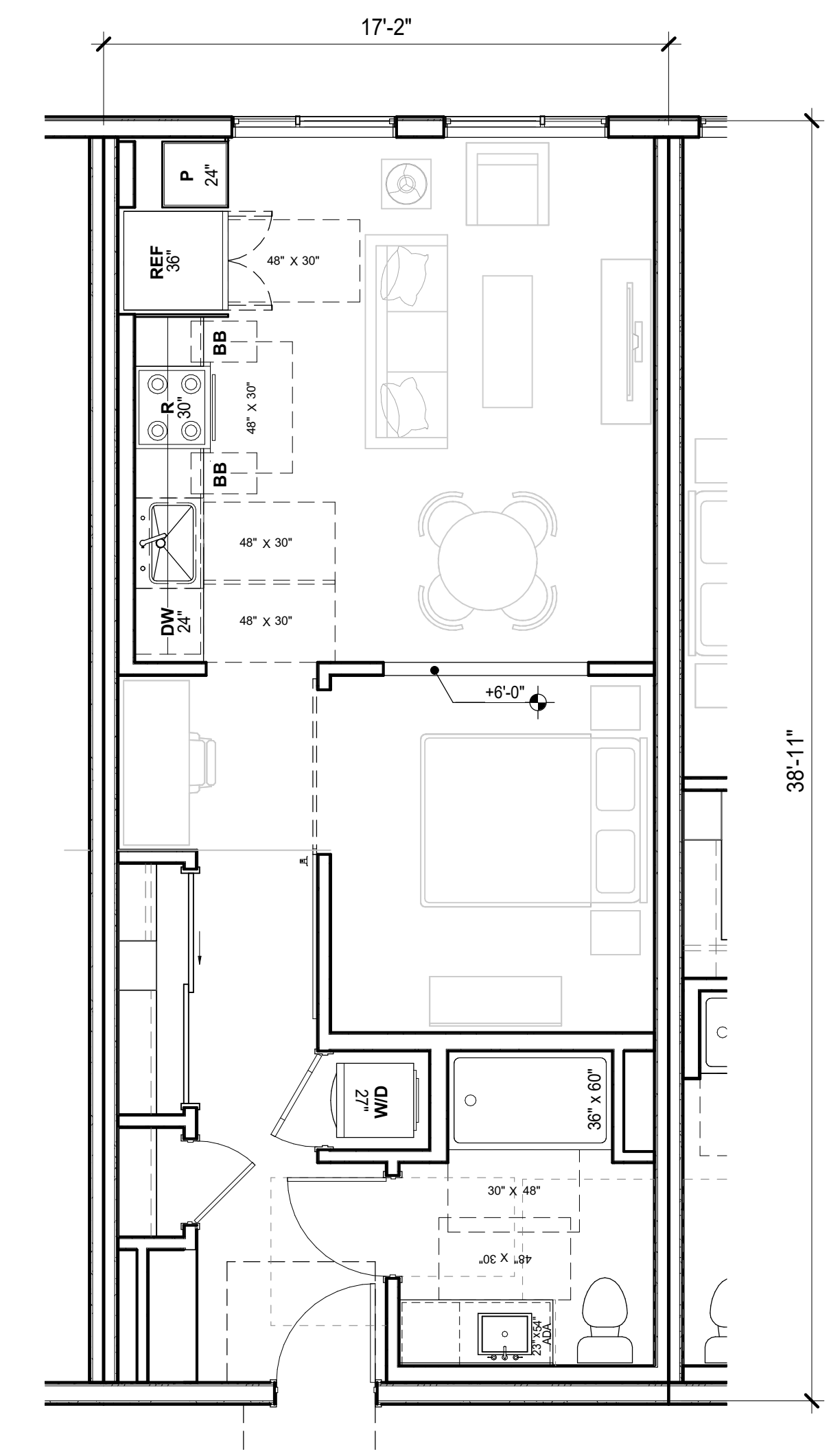
VINYL WINDOW JAMB - PANEL / SIDING 2
6" = 1'-0"



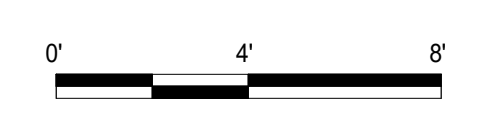
VINYL WINDOW SILL - PANEL / SIDING 1
6" = 1'-0"

EXTERIOR WINDOW DETAILS

AP3.22

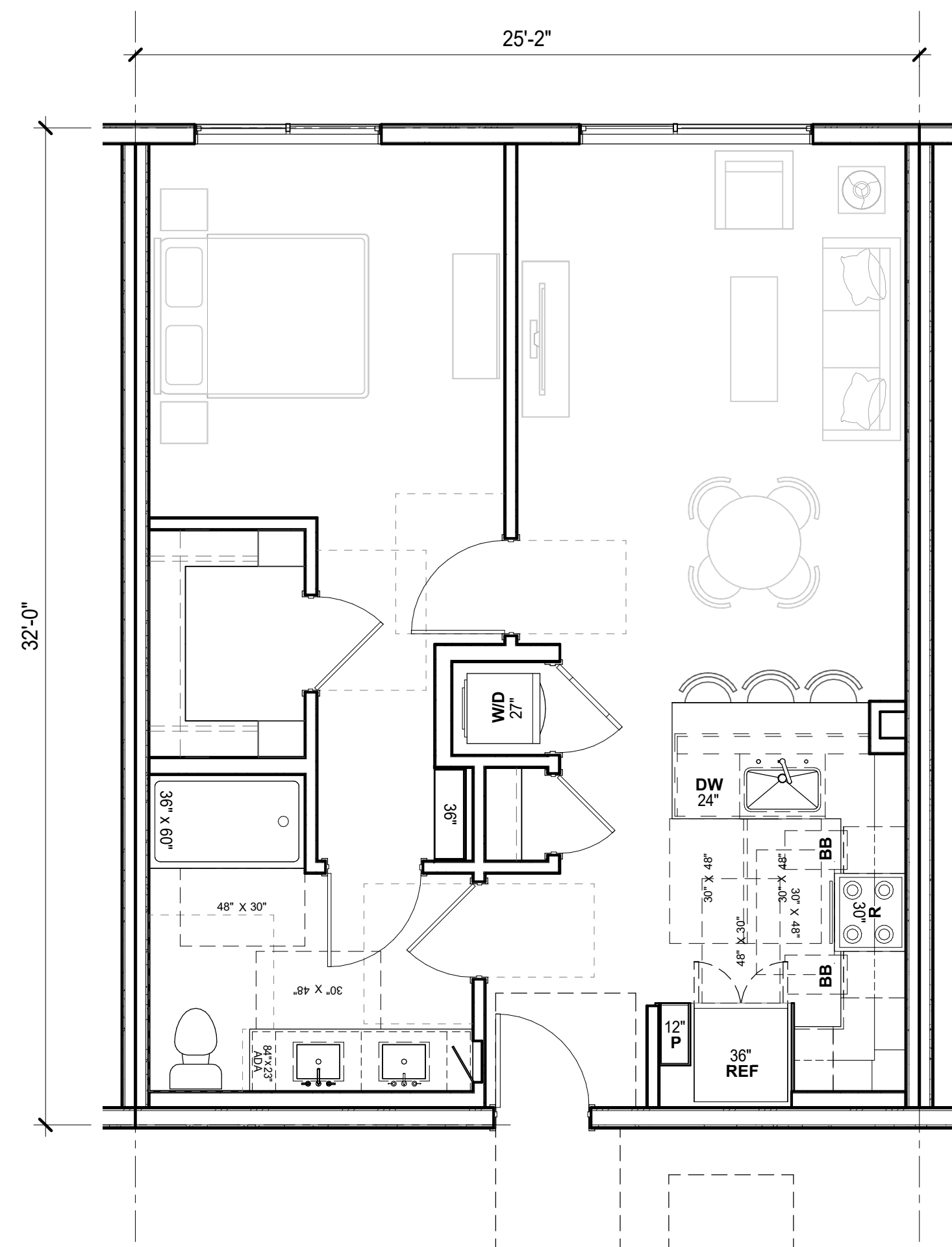


UNIT S1.0 3
668 SF 1/4" = 1'-0"



UNIT PLANS 1/4" = 1'-0" **AP4.00**

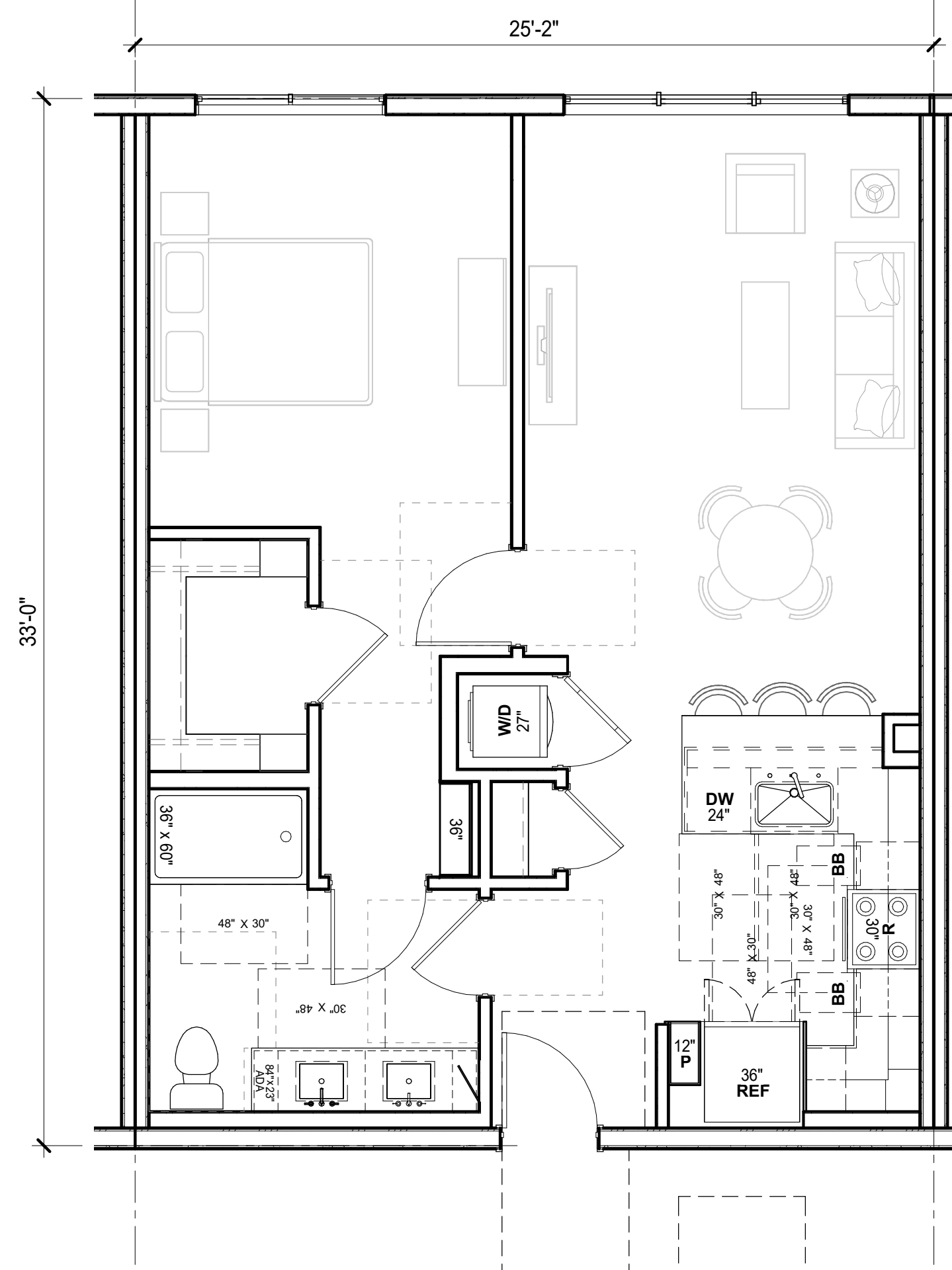
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UNIT A1.2 (A1.4 SIM.) 3

805 SF

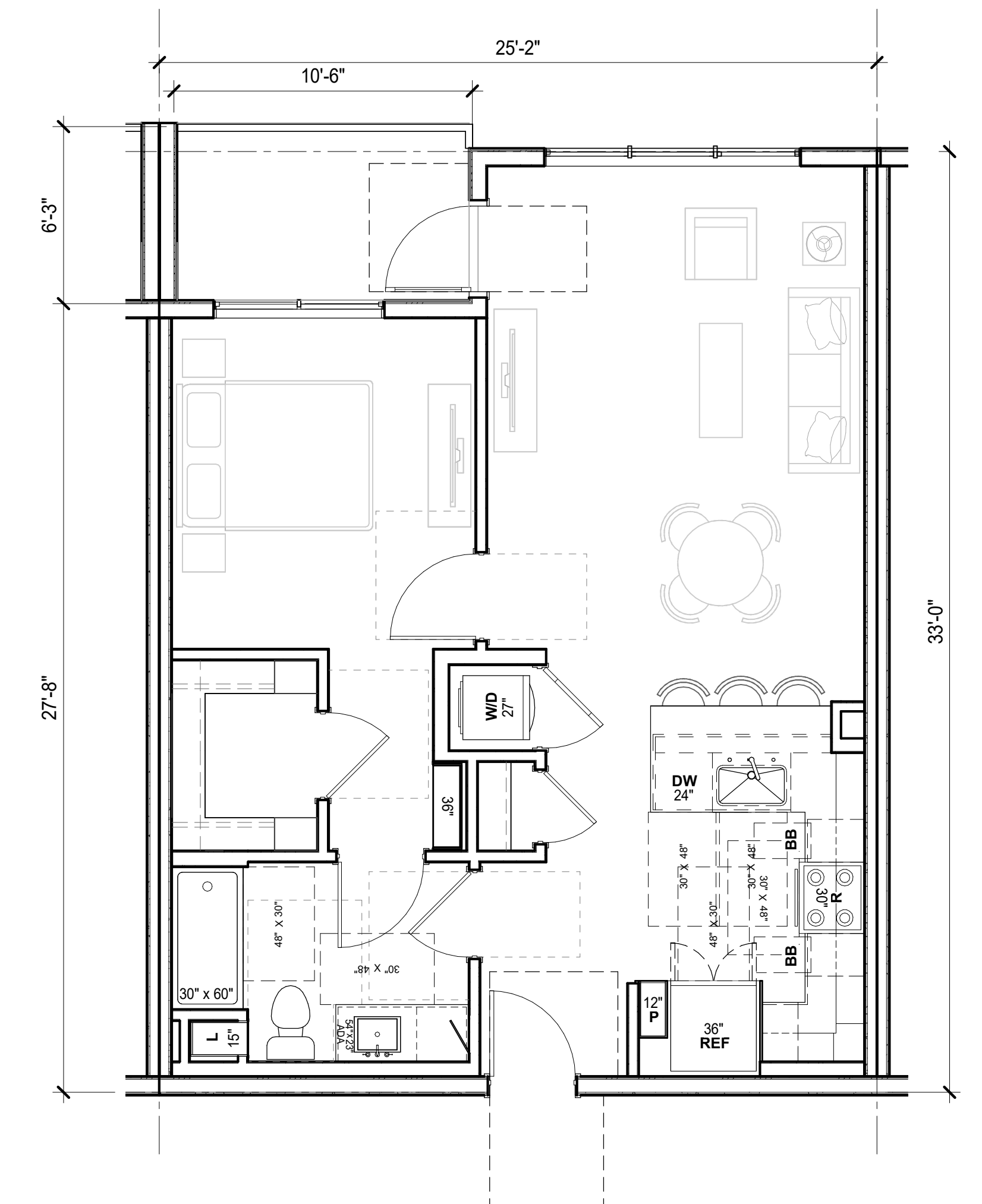
1/4" = 1'-0"



UNIT A1.1 2

830 SF

1/4" = 1'-0"



UNIT A1.0 (A1.3 SIM.) 1

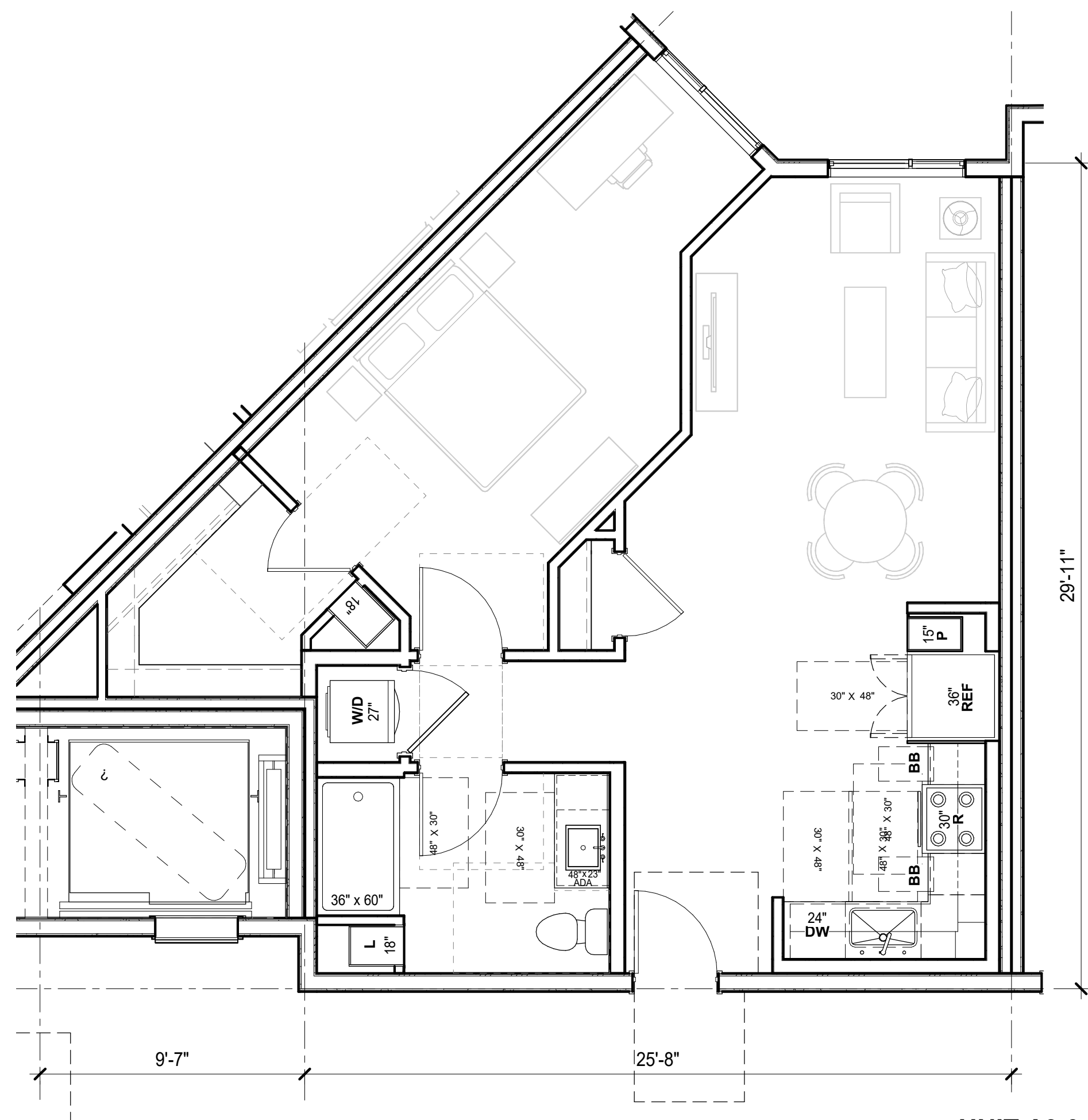
772 SF

1/4" = 1'-0"



UNIT PLANS

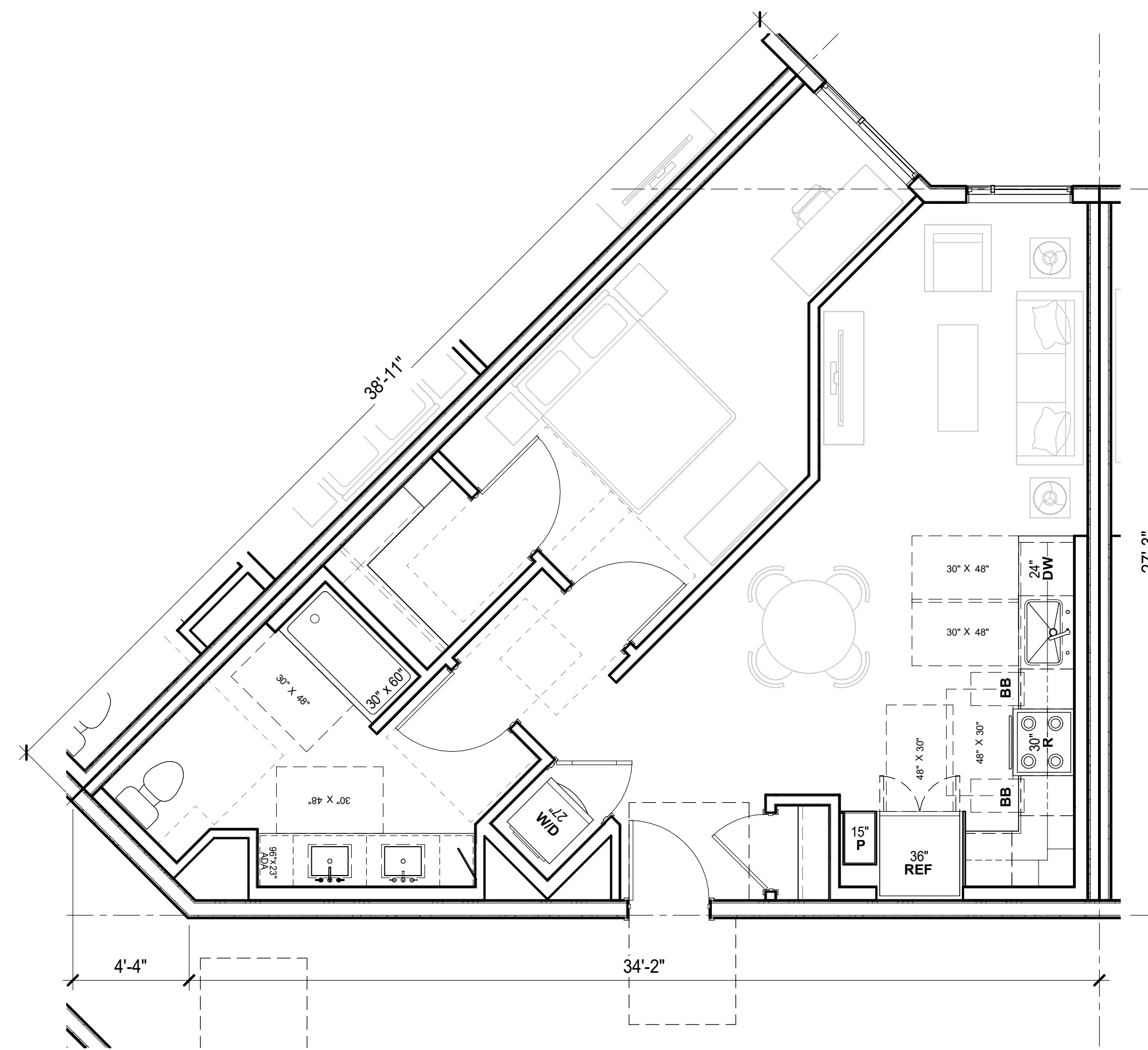
1/4" = 1'-0" AP4.01



UNIT A3.0 4

828 SF

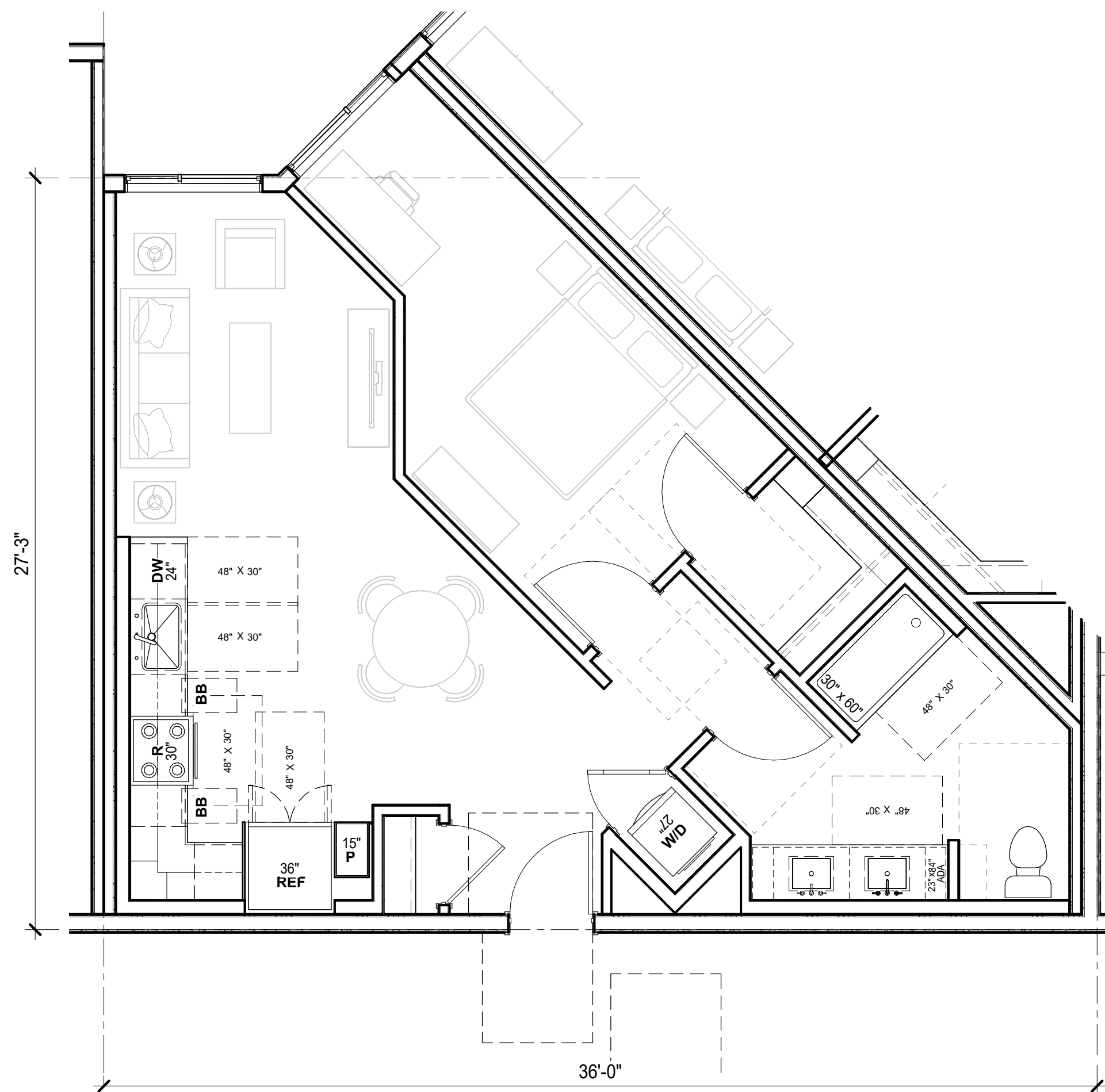
1/4" = 1'-0"



UNIT A2.1 2

800 SF

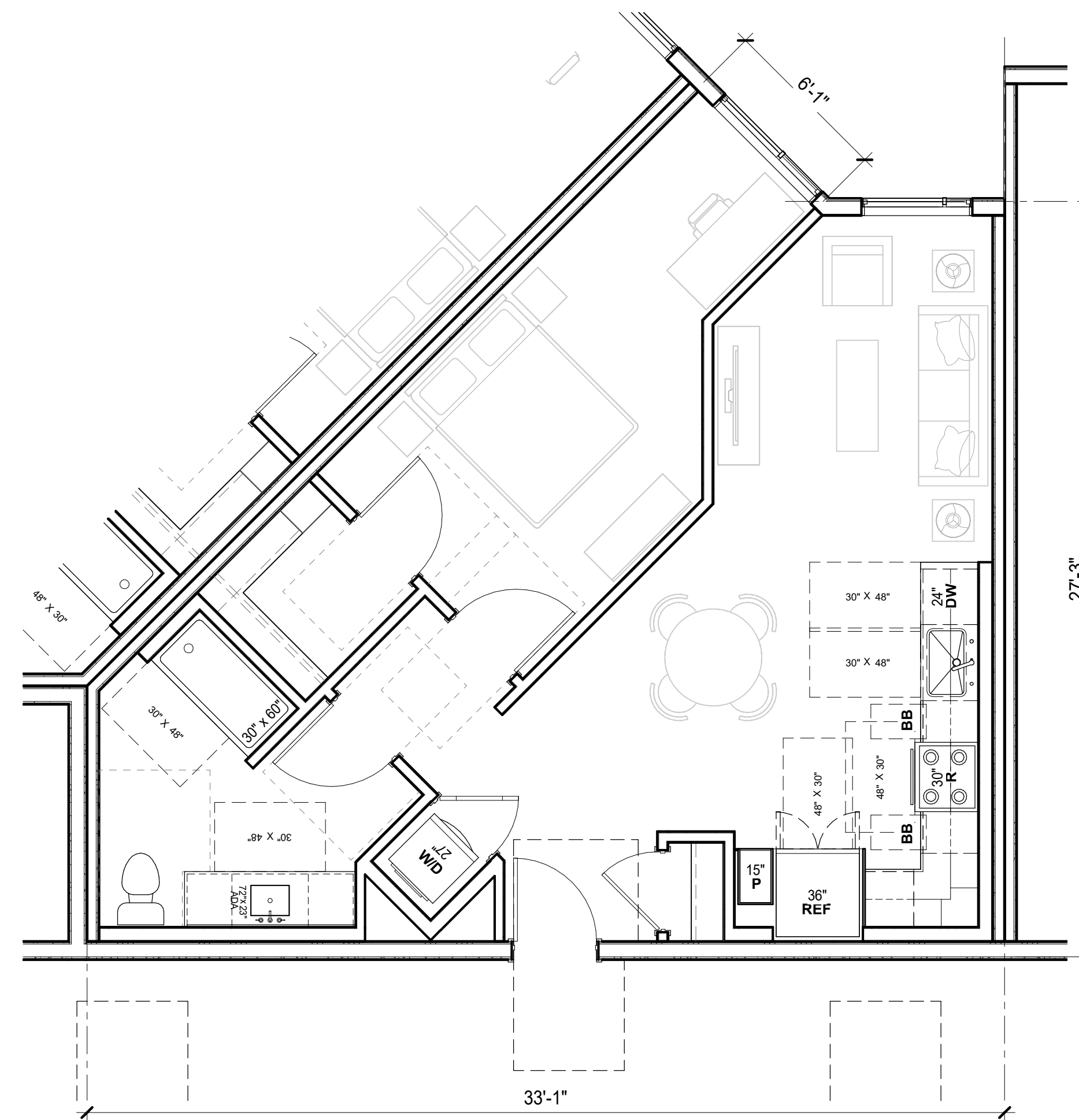
1/4" = 1'-0"



UNIT A2.2 3

793 SF

1/4" = 1'-0"

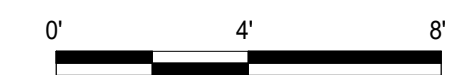
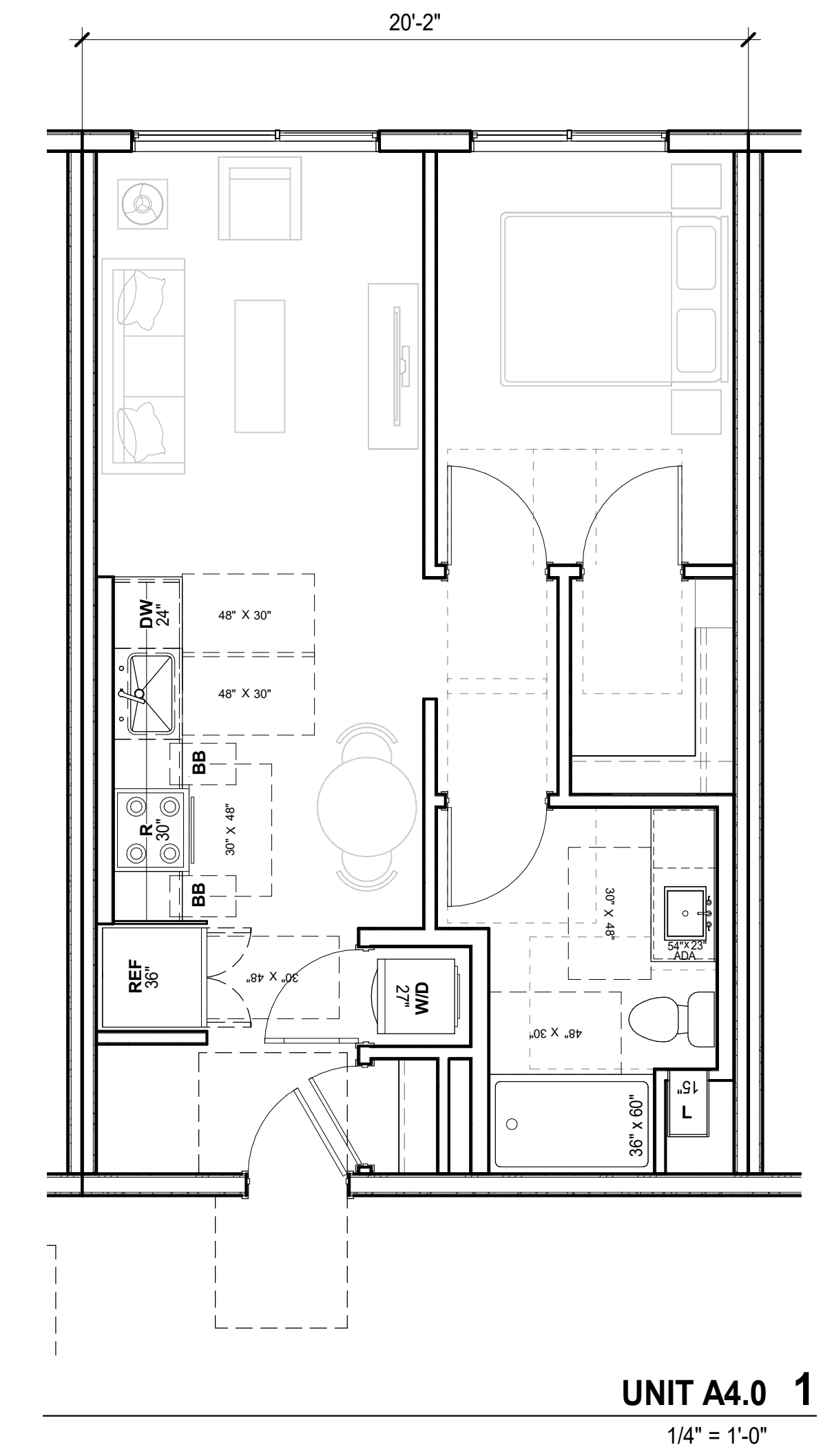
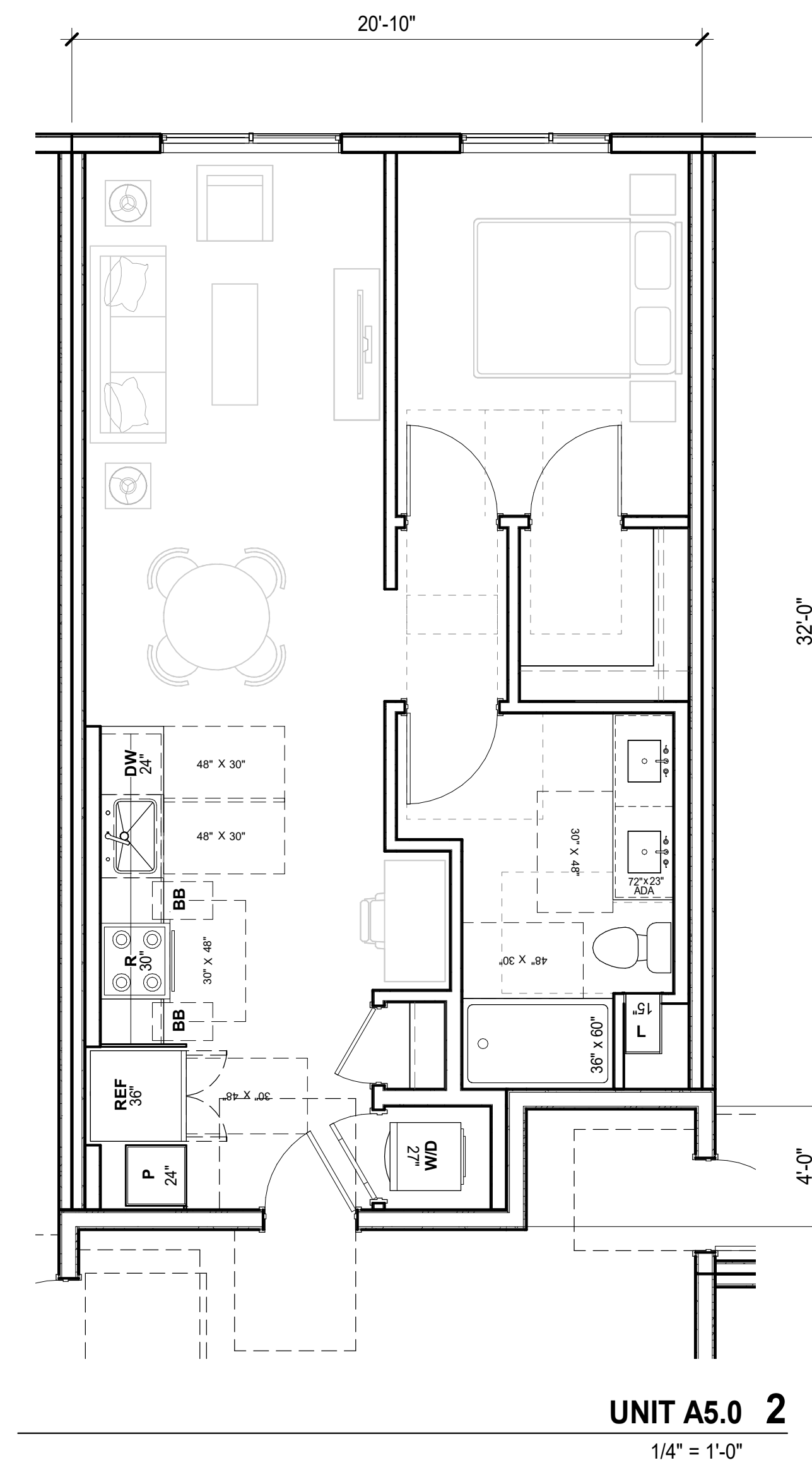


UNIT A2.0 1

770 SF

1/4" = 1'-0"





UNIT PLANS

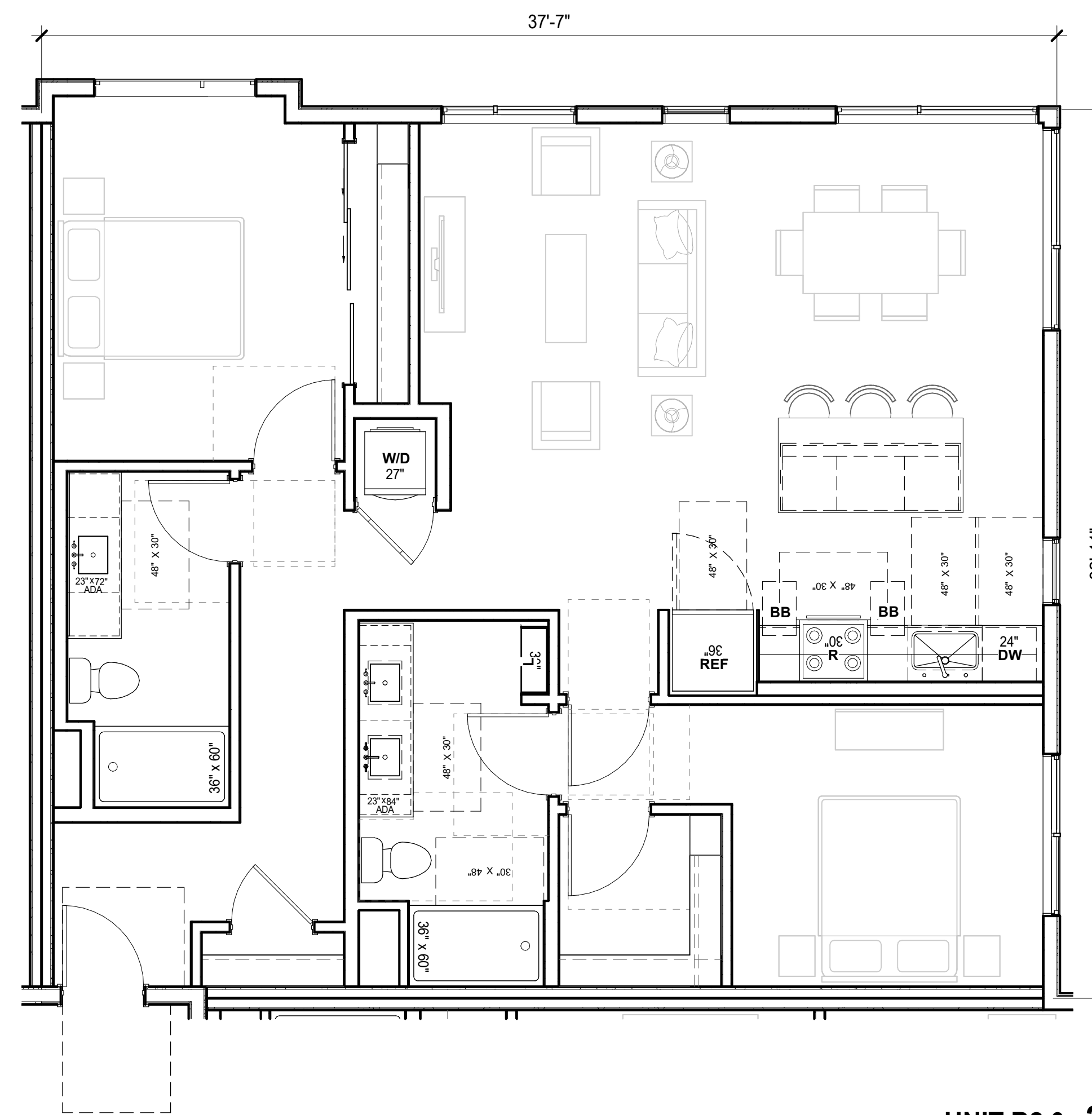
1/4" = 1'-0"

AP4.03

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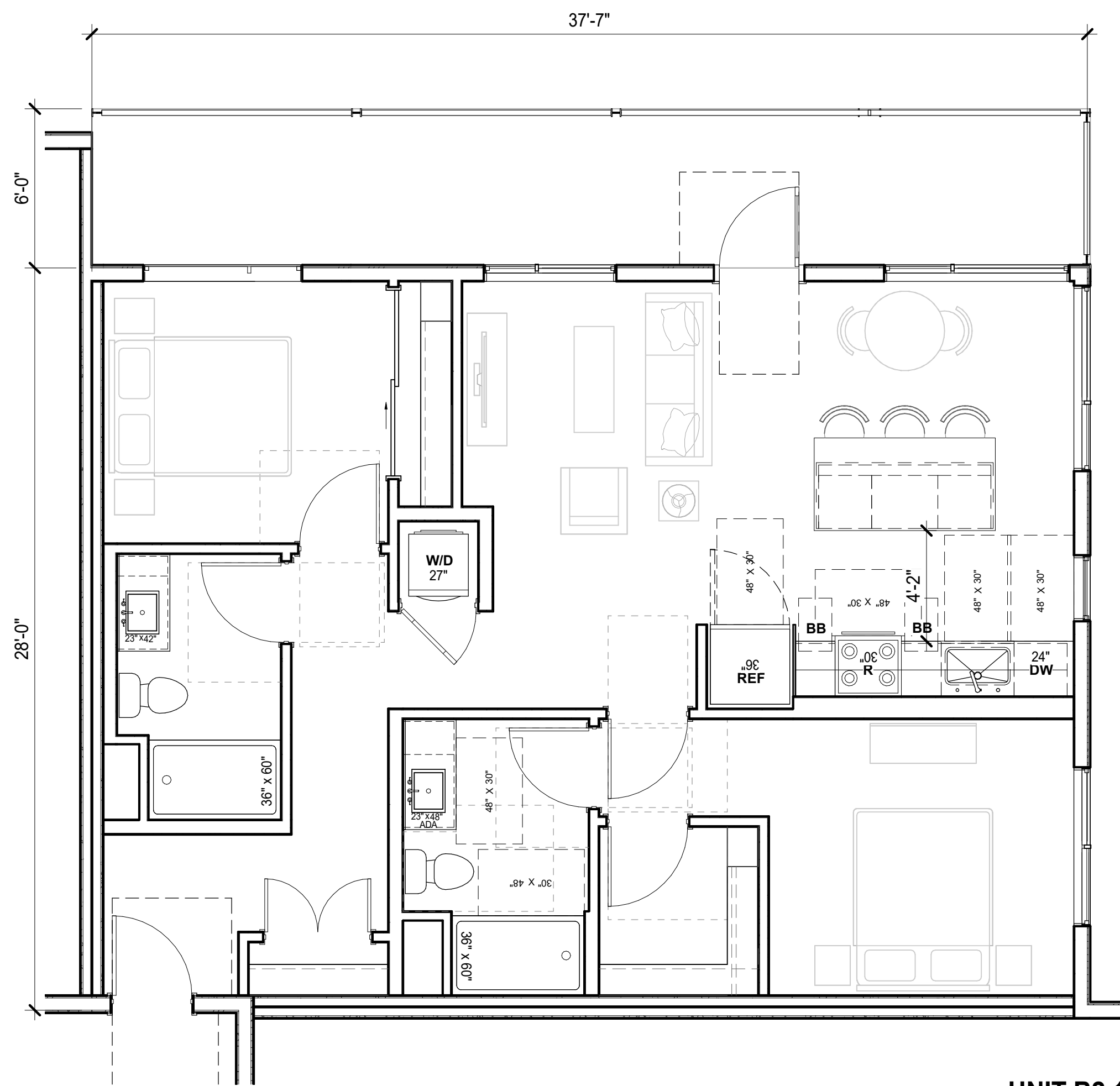
793 SF



UNIT B2.0 2

1242 SF

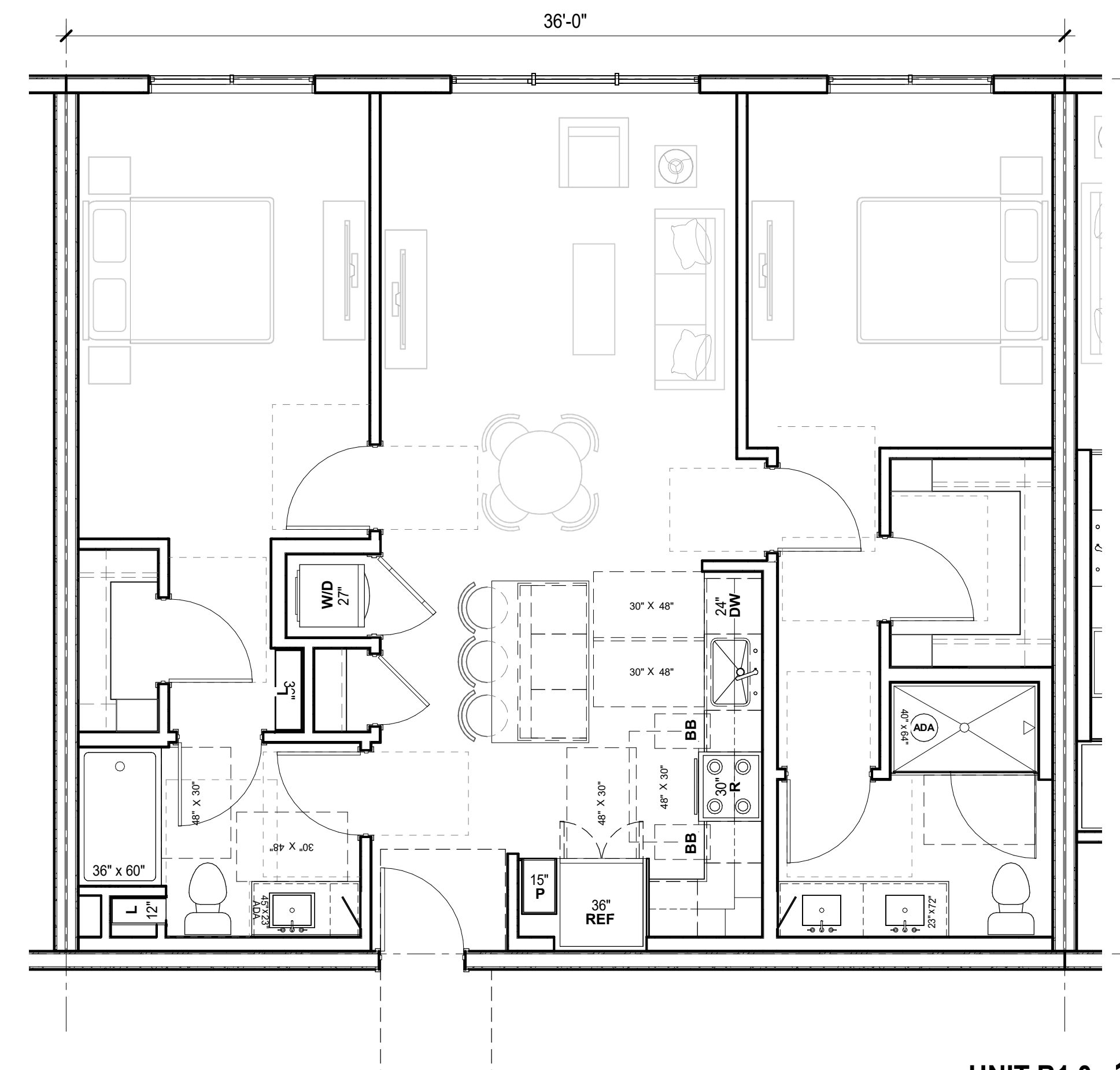
1/4" = 1'-0"



UNIT B2.1 3

1046 SF

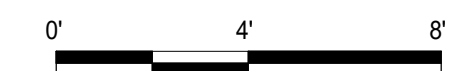
1/4" = 1'-0"



UNIT B1.0 1

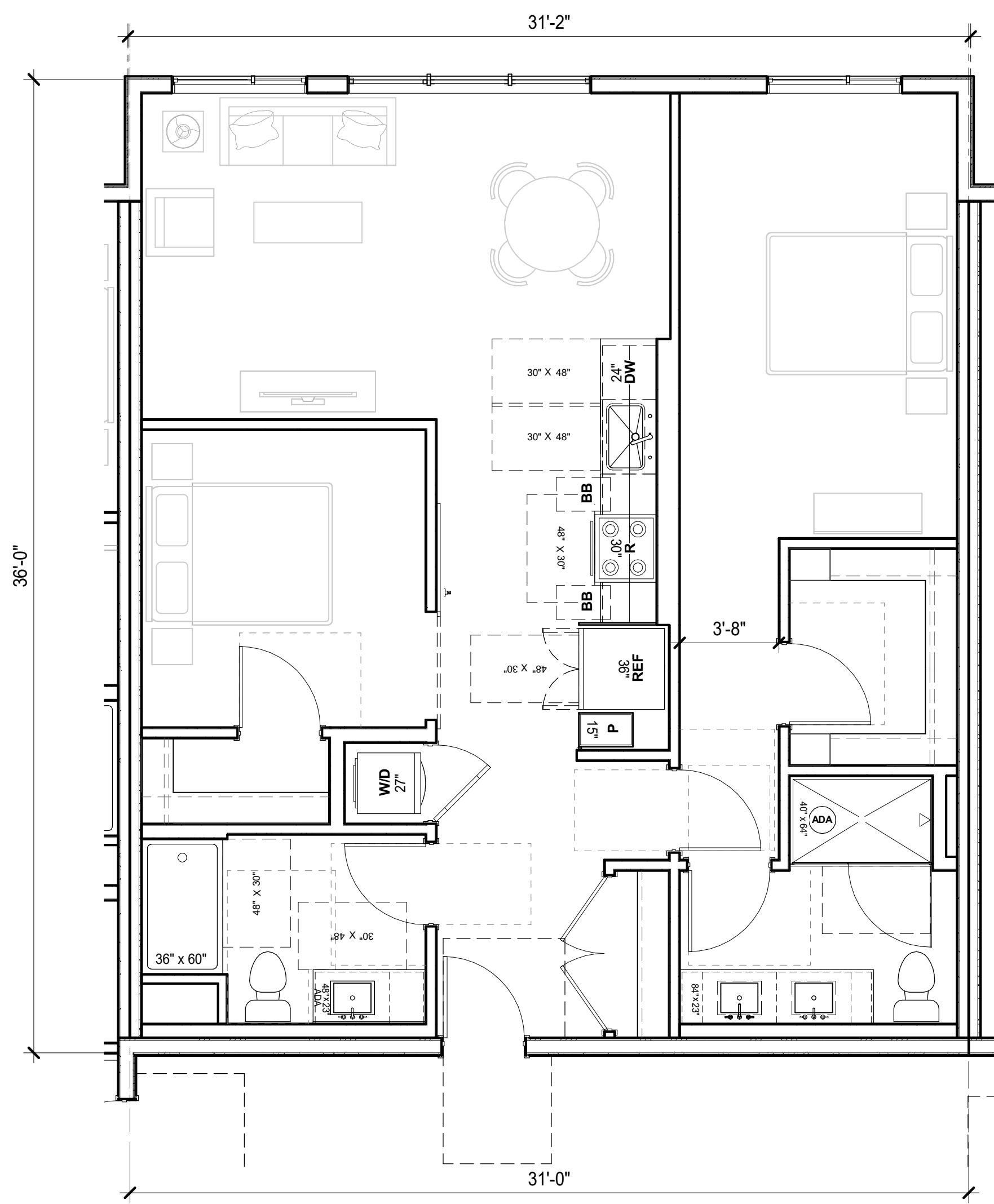
1152 SF

1/4" = 1'-0"



UNIT PLANS

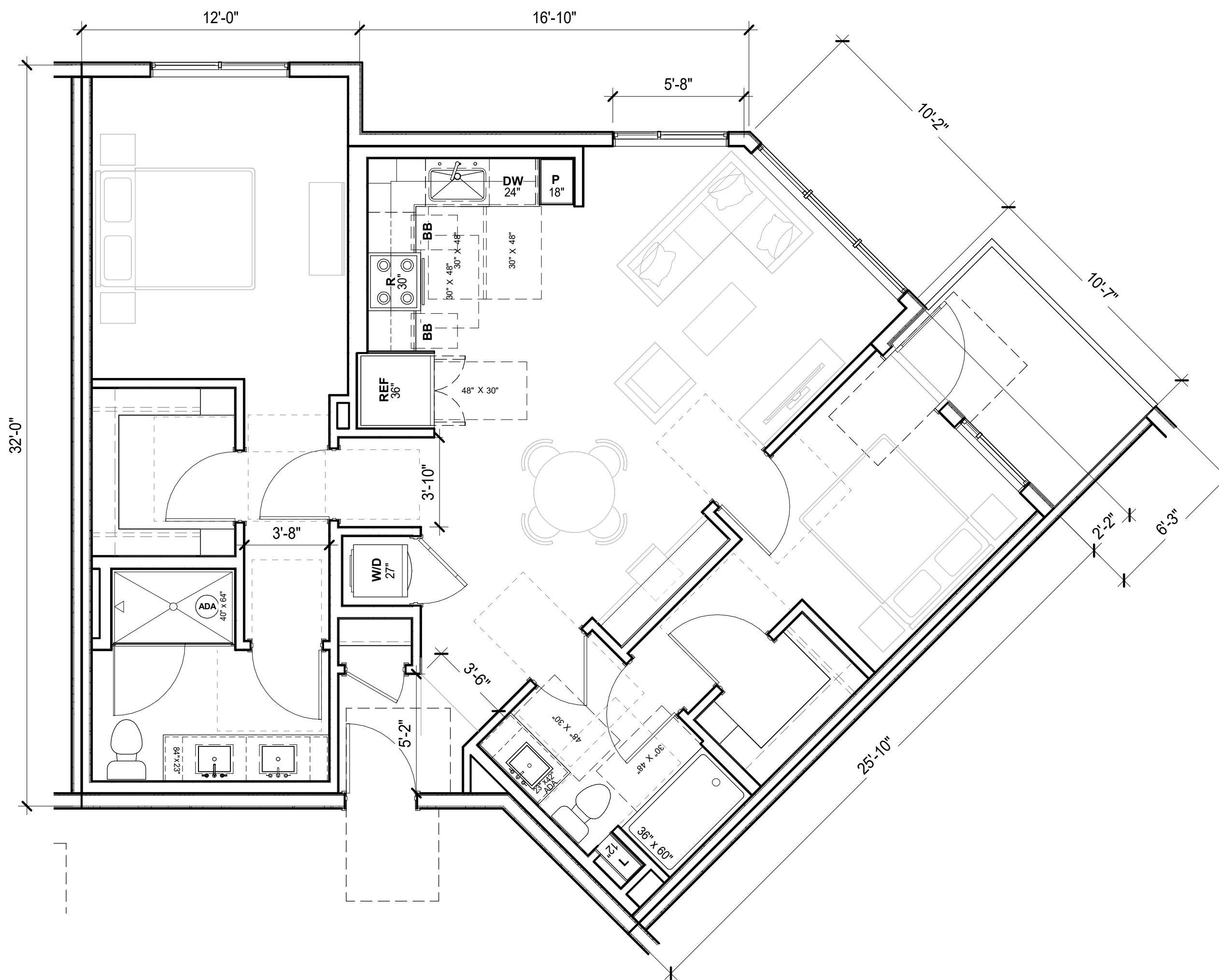
1/4" = 1'-0" **AP4.04**



UNIT B4.0 2

1117 SF

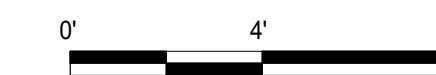
1/4" = 1'-0"



UNIT B3.0 1

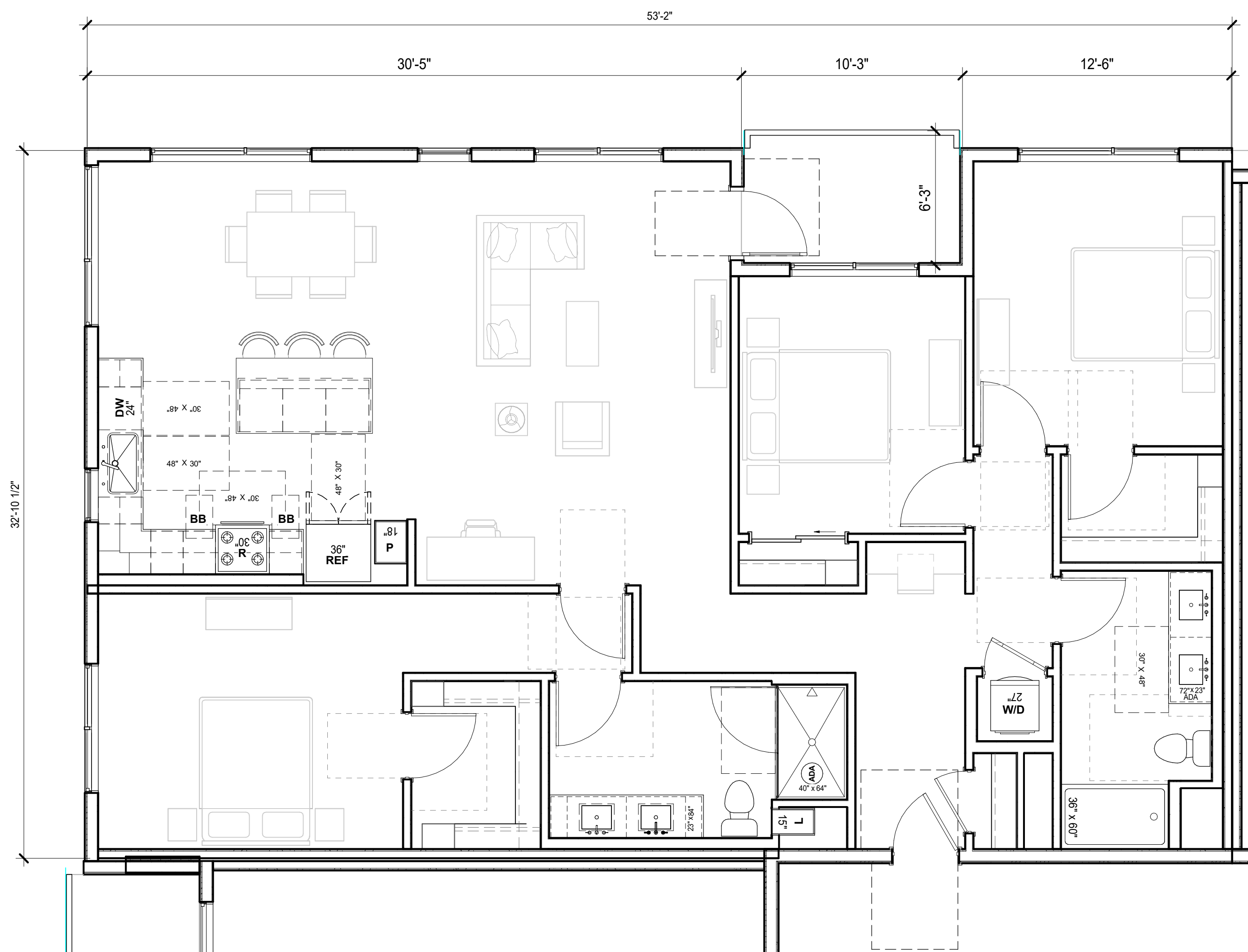
1094 SF

1/4" = 1'-0"



UNIT PLANS

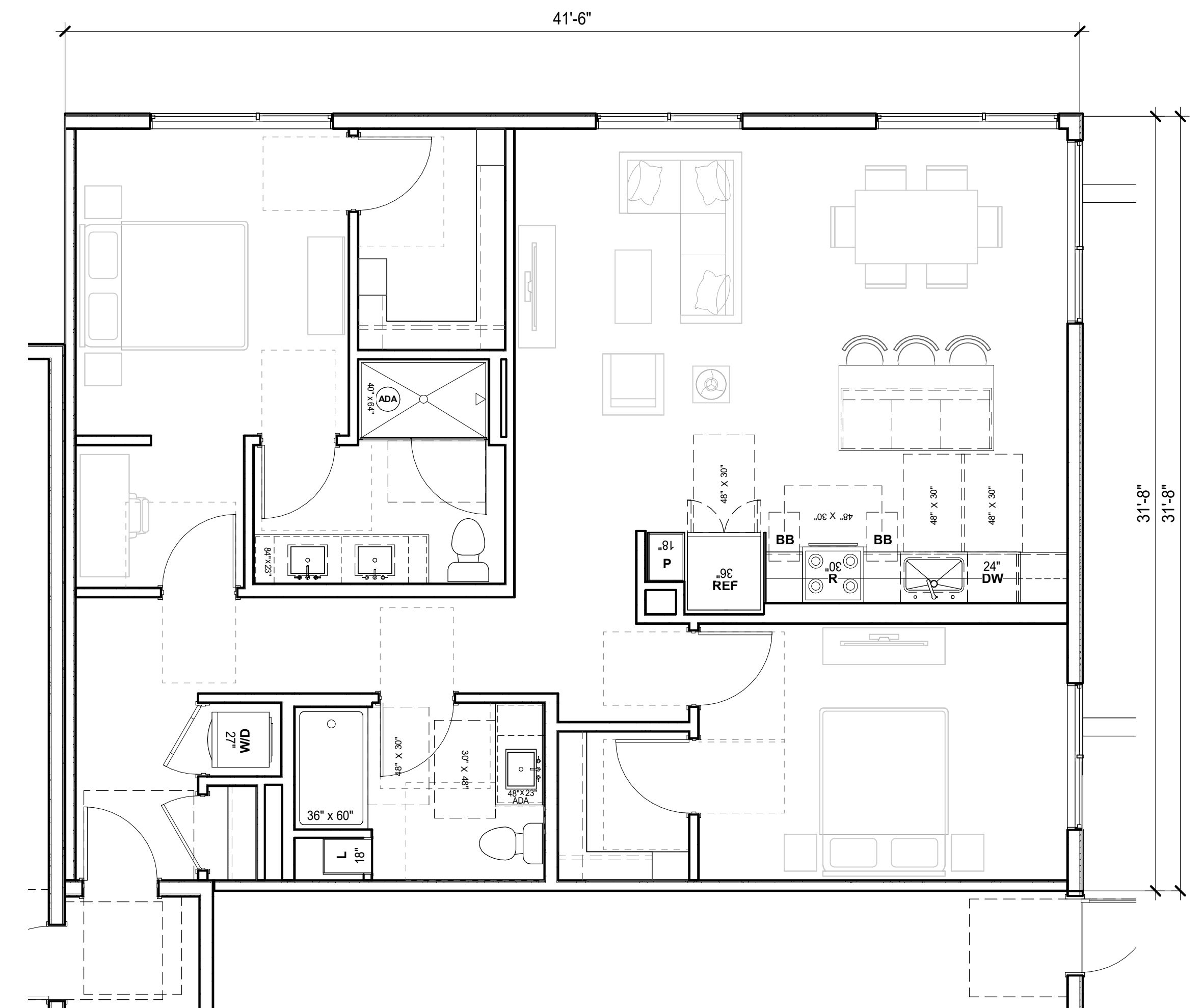
1/4" = 1'-0" **AP4.05**



1678 SF

UNIT C1.0 2

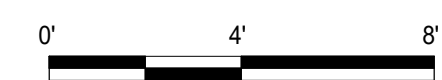
1/4" = 1'-0"



1315 SF

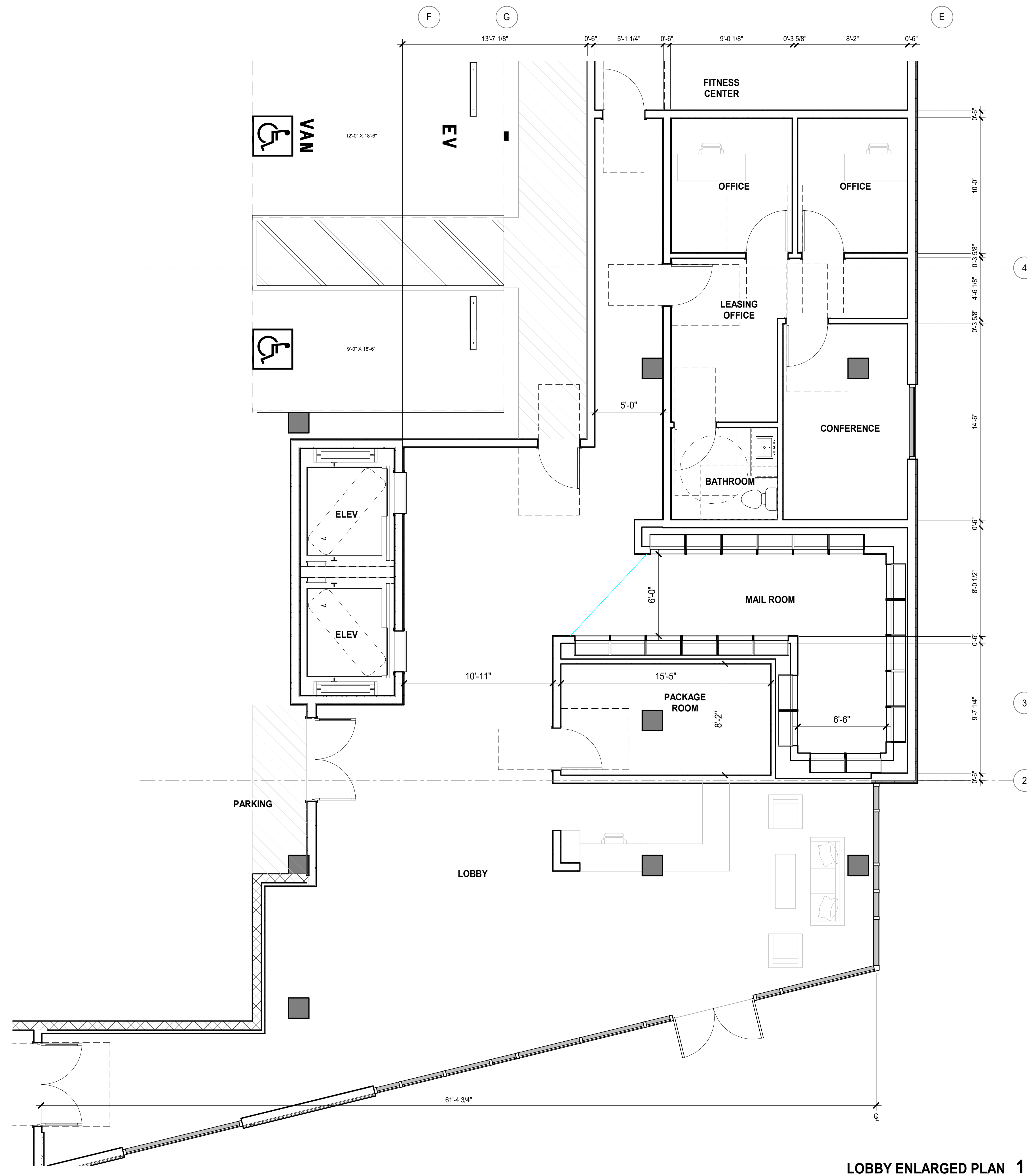
UNIT B5.0 1

1/4" = 1'-0"



UNIT PLANS

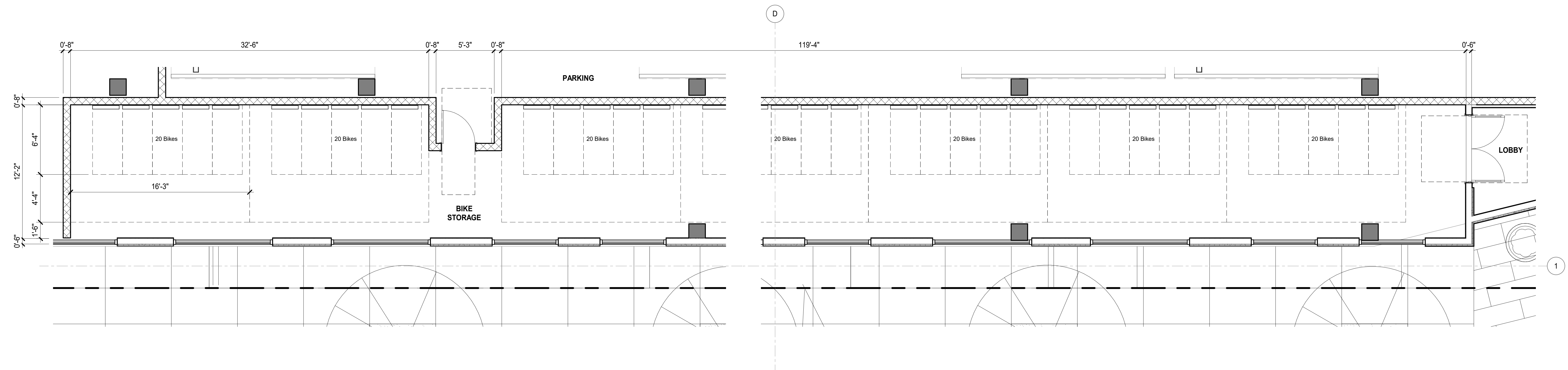
1/4" = 1'-0" AP4.06



LOBBY ENLARGED PLAN 1
1/4" = 1'-0"

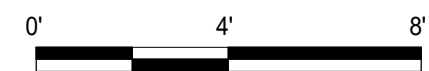
AMENITY HIGHLIGHTS

1/4" = 1'-0" **AP4.10**



BIKE STORAGE ROOM 1

1/4" = 1'-0"



AMENITY HIGHLIGHTS

1/4" = 1'-0" **AP4.11**

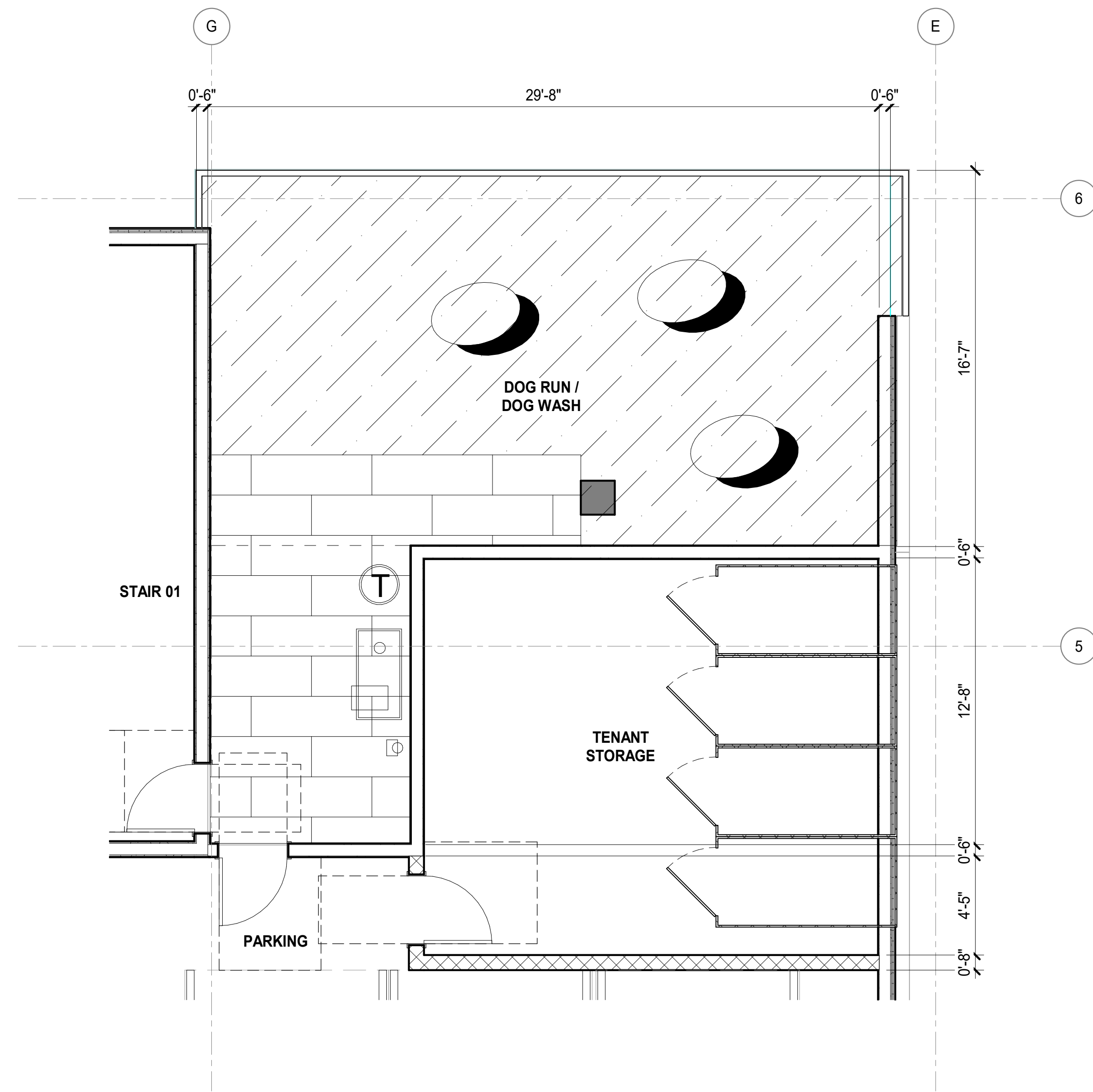


TOWN HALL SQUARE

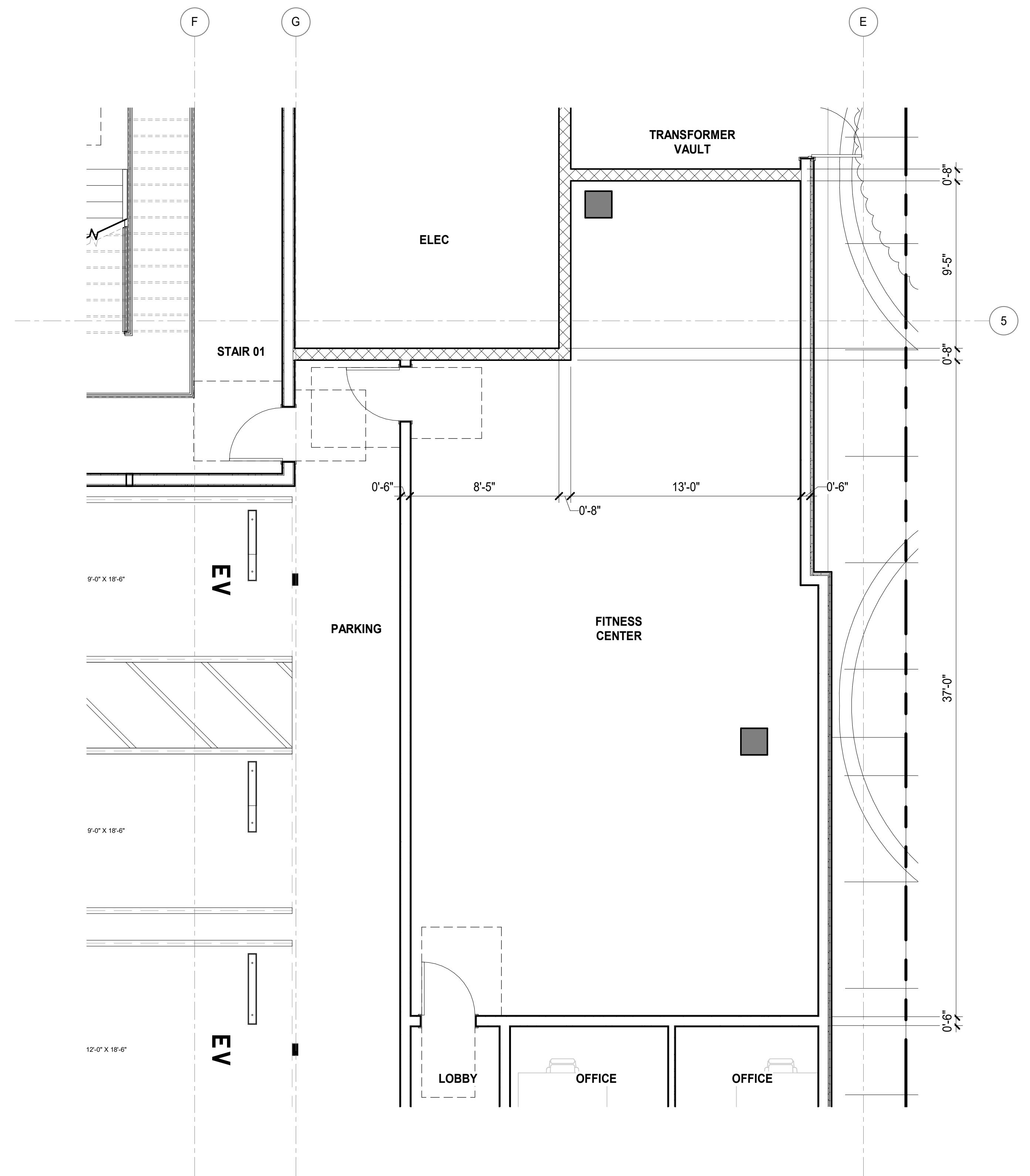
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August 25, 2023

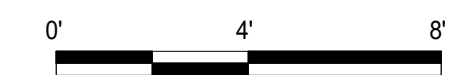
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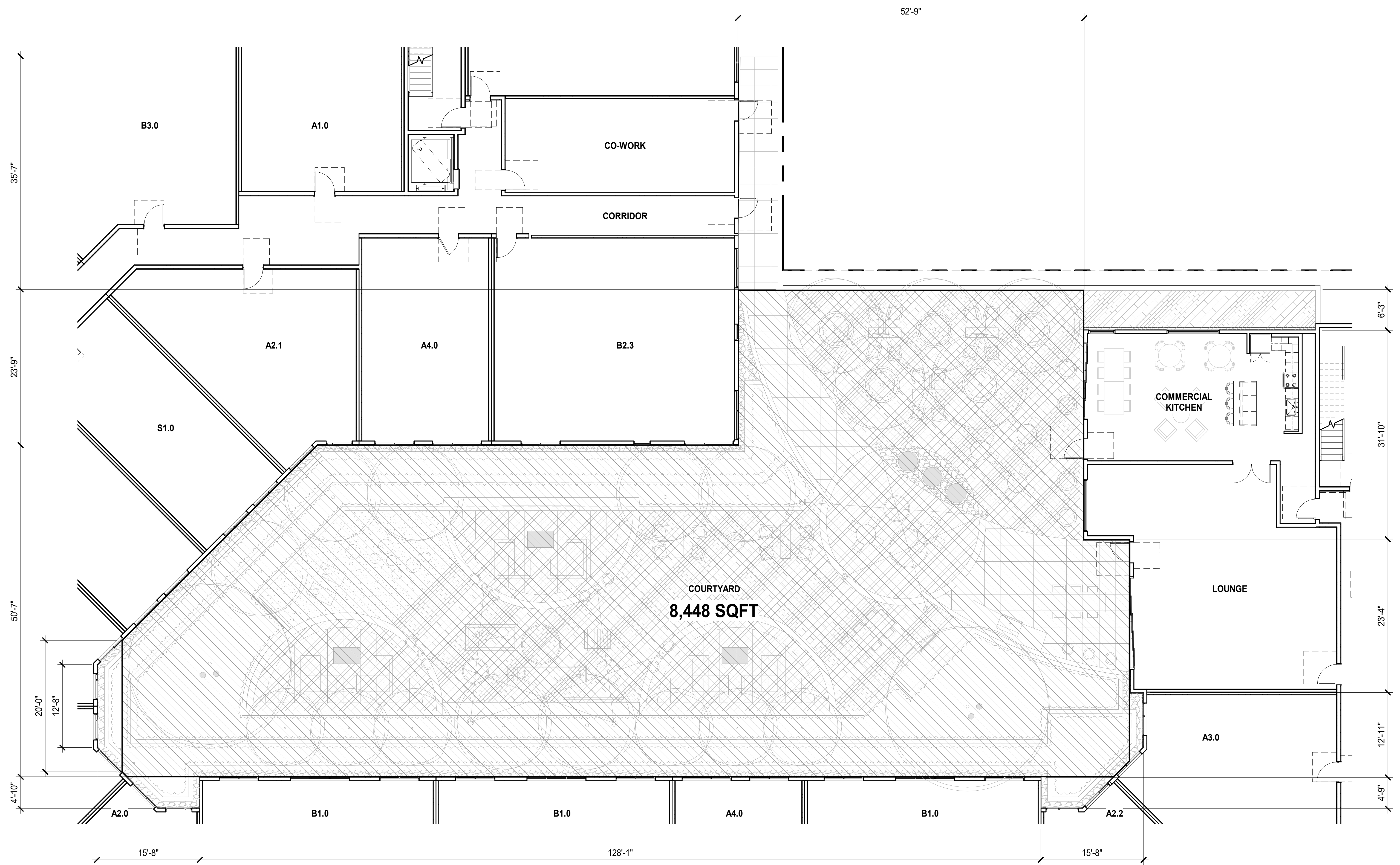


REQUIRED AMENITY - DOG RUN & DOG WASH 2
1/4" = 1'-0"

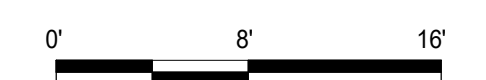


REQUIRED AMENITY - FITNESS CENTER 1
1/4" = 1'-0"





REQUIRED AMENITIES - LOUNGE, COMMERCIAL KITCHEN, CO-WORK 1
 1/8" = 1'-0"



AMENITY HIGHLIGHTS AP4.13



TOWN HALL SQUARE

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