



## San Leandro Housing Element Update

# HOUSING ELEMENT UPDATE

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February 15, 2022  
City Council Work Session

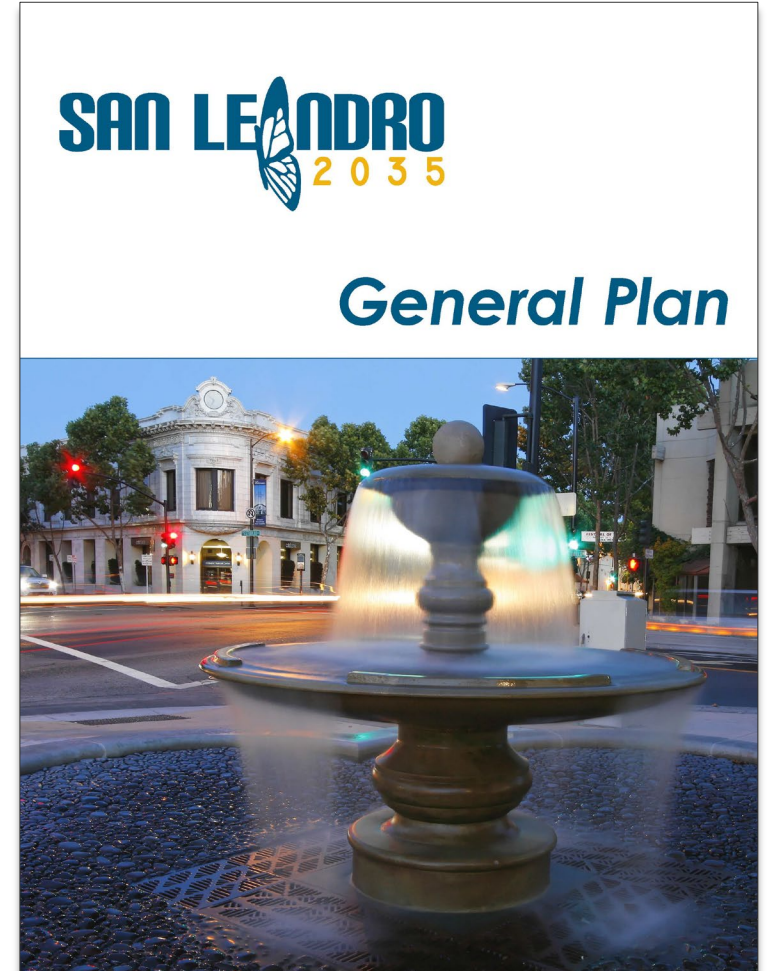
# PROJECT TEAM

- City of San Leandro
  - Long Range Planning
    - Avalon Schultz, Principal Planner
  - Housing
    - Tom Liao, Community Development Director
    - Maryann Sargent, Senior Housing Specialist
- Consultant Team
  - Rincon Consultants (Housing Element & CEQA)
    - Darcy Kremin, Emily Green, Dylan Stafforini
  - En2Action (Outreach)
    - Andrea Baker and Pooja Rajani



# What is the Housing Element?

- One of eight mandatory elements of the General Plan
- Governed by California Government Code Article 10.6 (Sections 65580-65589.11)
- Updated every 8 years in accordance with the RHNA cycle
- Only element that **MUST** be approved and certified by State
- Certified Housing Element important to:
  - Protect City from litigation
  - Maintain discretionary review over affordable housing projects
  - Maintain eligibility for State housing and grant funds



# WHAT DOES THE HOUSING ELEMENT INCLUDE?

## Housing Needs Assessment

- Demographic trends and needs

## Evaluation of Past Performance

- Review prior Housing Element

## Housing Sites Inventory

- Opportunity sites at all income levels

## Community Engagement

- Robust community engagement program

## Constraints Analysis

- Barriers to housing development

## Policies and Programs

- Address identified housing needs



# CURRENT SAN LEANDRO HOUSING PROGRAMS



## Housing Production

- Inclusionary Housing Program
- Leveraging City Affordable Housing Funding
- Long-Term Neighborhood Plans
- Marketing Sites
- Housing Streamlining (ADU, SB 35)



## Housing Preservation

- Owner-Occupied Housing Rehabilitation Program
- Rental Housing Rehabilitation Program
- Preservation of Affordable Units



## Housing Protection

- Rent Review Program
- Tenant Relocation Assistance Program
- Mobilehome Rent Stabilization Ordinance
- Tenant-Landlord Counseling
- Legal Aid Services
- Fair Housing Services



## Housing Access

- First Time Homebuyer Program
- Reasonable Accommodations for Persons with Disabilities
- Housing Vouchers
- Homelessness Prevention
- Emergency and Transitional Housing



# AFFORDABLE HOUSING UNDER CURRENT HOUSING ELEMENT



## Marea Alta

BRIDGE Housing

115 Units

*Complete*



## La Vereda

BRIDGE Housing

85 Senior Units

*Complete*



## Loro Landing

Eden Housing

62 Units

*Under Construction*



## 15101 Washington

Abode Communities

72 Units

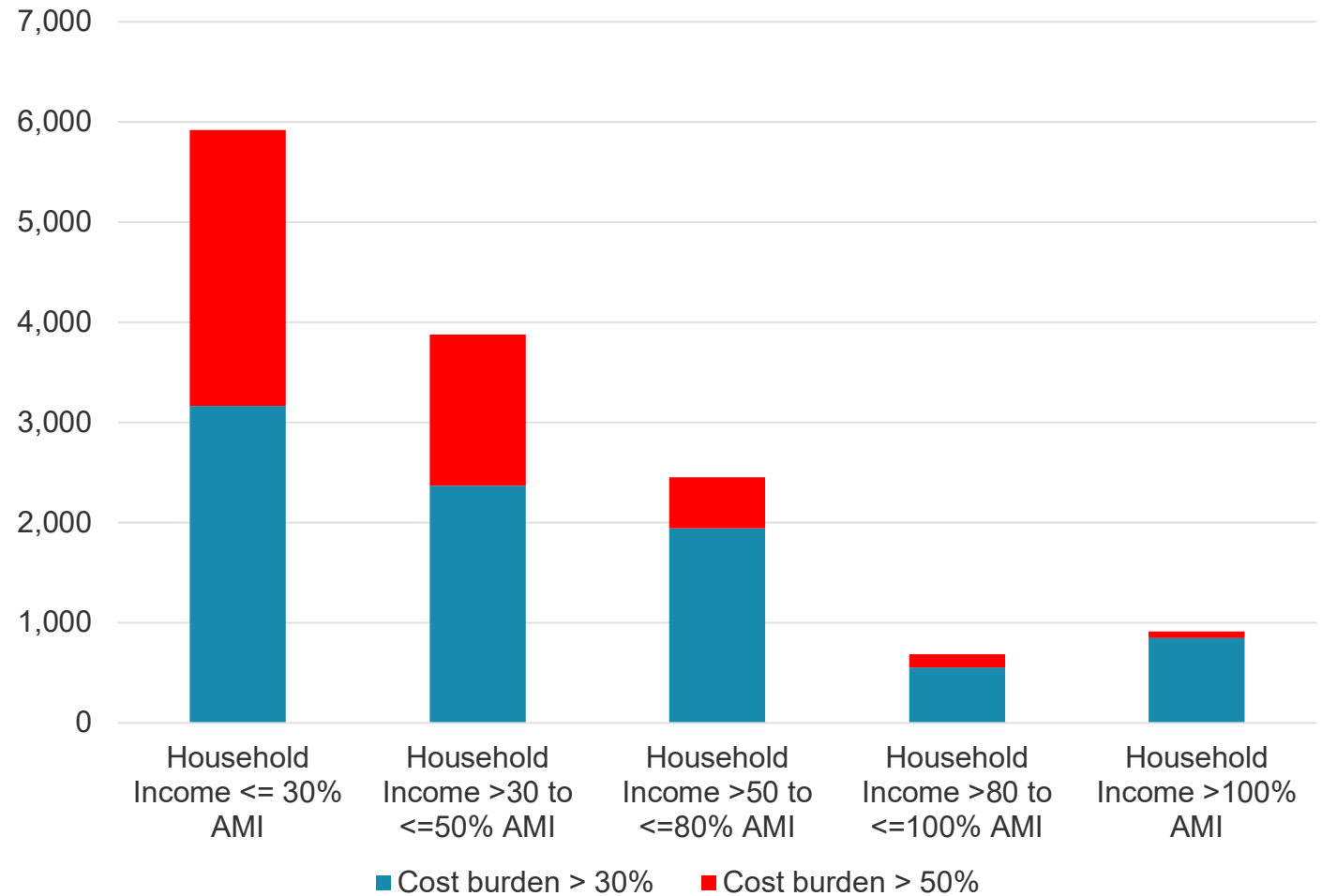
*Planning Stage*



# COST BURDEN BY INCOME

- Nearly 1 in 5 residents spend more than 50% of income on housing costs
- Nearly half of households earned <80% of Area Median Income (\$125,600)
- 67% of households making <30% of AMI spend >50% of income on housing
- Lower income households and renters more cost burdened than other economic groups

Households who are Cost Burdened by Income



Source: 2015-2019 ACS

# WORKFORCE/“MISSING MIDDLE” HOUSING

- Workforce Housing: housing affordable to households earning 60-120 % of AMI (\$75-\$151k/year)
- 2015-2019: 253 housing units issued permits, but 0 moderate-income housing (100-120% AMI)

4-person household with an annual income of \$125,600 could afford:

- monthly rent of **\$2,792**
- home purchase of **\$434,584**

Median rent on 3-bedroom unit: **\$2,830.**  
Median home price: **\$860,000.**

Average Annual Salaries in Alameda County (from Glassdoor.com):

- Teacher: \$63,307
- Firefighter: \$89,375
- Bus Driver: \$45,727
- Physical Therapist: \$91,290
- Store Manager: \$61,207
- Construction Worker: \$42,143





# AFFIRMATIVELY FURTHERING FAIR HOUSING

- **2018 CA Fair Housing Legislation based on existing federal Fair Housing Act (1968)**
- **Goal of Fair Housing: protect people from discrimination**
- **CA AFFH Law Requires the City to:**
  - Diligent effort to include all community stakeholders in policy-making,
  - Assess fair housing including segregation and exclusionary zoning,
  - Evaluate and address how sites inventory will advance integration and transform racial and ethnic concentrations into areas of opportunity
  - Adopt policies that remediate identified fair housing issues and promote fair housing practices



# HOW CAN THE HOUSING ELEMENT HELP?

## The Housing Element must:

- Identify local housing needs and constraints
- Include programs to help provide housing for all (seniors, persons with disabilities, homeless, etc.)
- Include actions to expand housing production at all income levels
- Identify sites that can accommodate the RHNA (housing units at all income levels)



# REGIONAL HOUSING NEEDS ALLOCATION (RHNA)

- Housing units each community is required to demonstrate “adequate sites” through zoning
- One of primary criteria necessary to achieve HCD certification

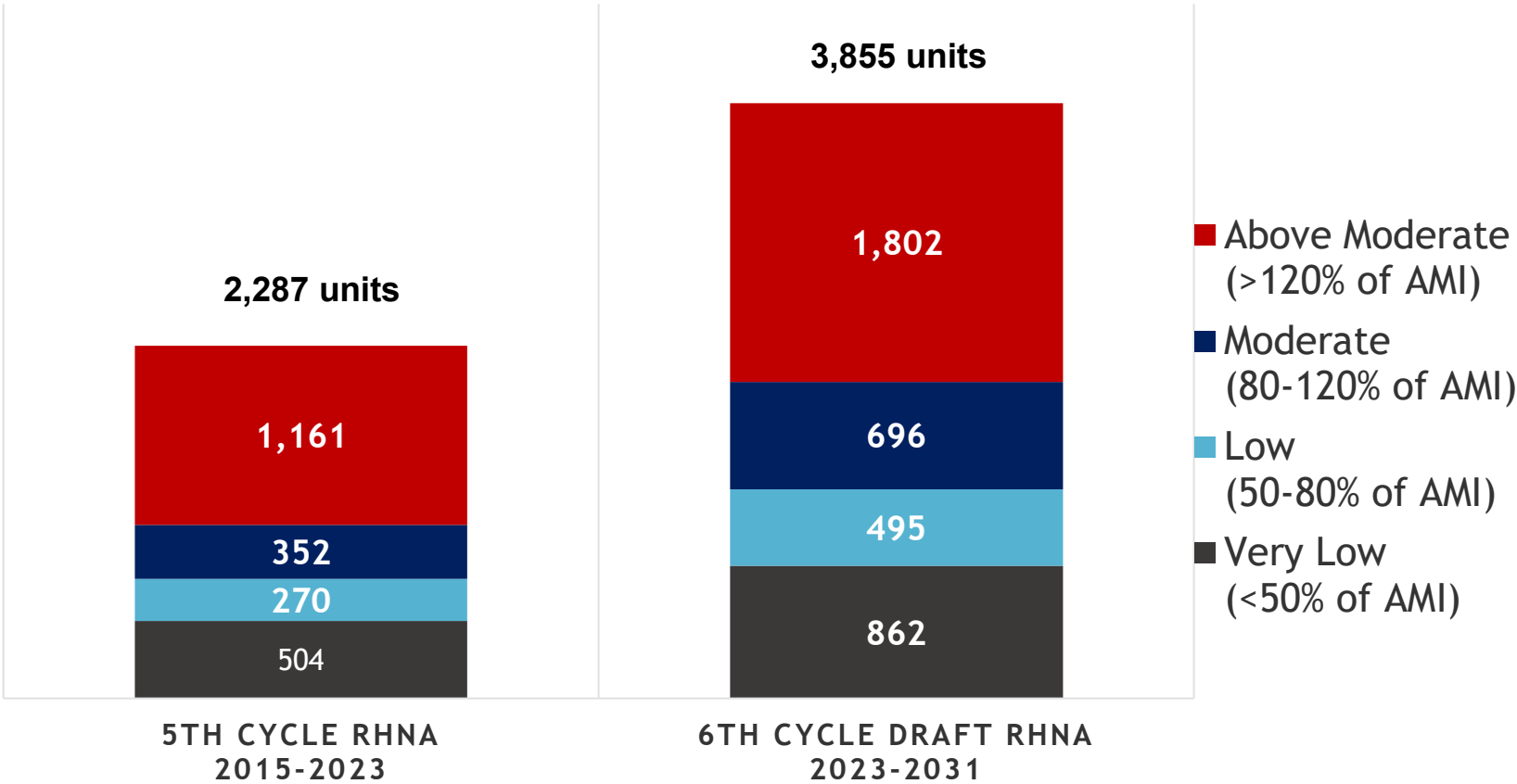
California Department of Housing and Community Development (HCD)



Association of Bay Area Governments (ABAG)



City of San Leandro



# How are We Doing? 5<sup>th</sup> Cycle Numbers

2021 Income Levels 100% AMI = \$ 125,600 (4-person household)	2015-2023 RHNA	Permits Issued 2015-2020	% Progress Permits Issued	Permits + Pipeline <sup>1</sup> 2015 - present	% Progress Permits + Pipeline
Very Low Income (<50% AMI)	504	132	26%	202	40%
Low Income (50-80% AMI)	270	126	47%	536	199%
Moderate Income (80-120% AMI)	352	0	0%	18	5%
Above Moderate (>120% AMI)	1,161	83	7%	1,490	128%
<b>Total</b>	<b>2,287</b>	<b>341</b>	<b>15%</b>	<b>2,246</b>	<b>98%</b>

<sup>1</sup> “Pipeline Projects” have been approved for entitlements but have not been issued building permits.



# ADDRESSING THE 2023-2031 RHNA

- First, we consider:
  - ✓ Planned and approved projects
  - ✓ Accessory Dwelling Units (ADUs)
- Next, we select housing opportunity sites. Preferred sites are 0.5 - 10 acres and have access to:
  - ✓ Transit
  - ✓ Schools and jobs
  - ✓ Amenities such as parks and services
  - ✓ Grocery stores
  - ✓ Infrastructure and utilities



Planned  
and  
Approved  
Projects

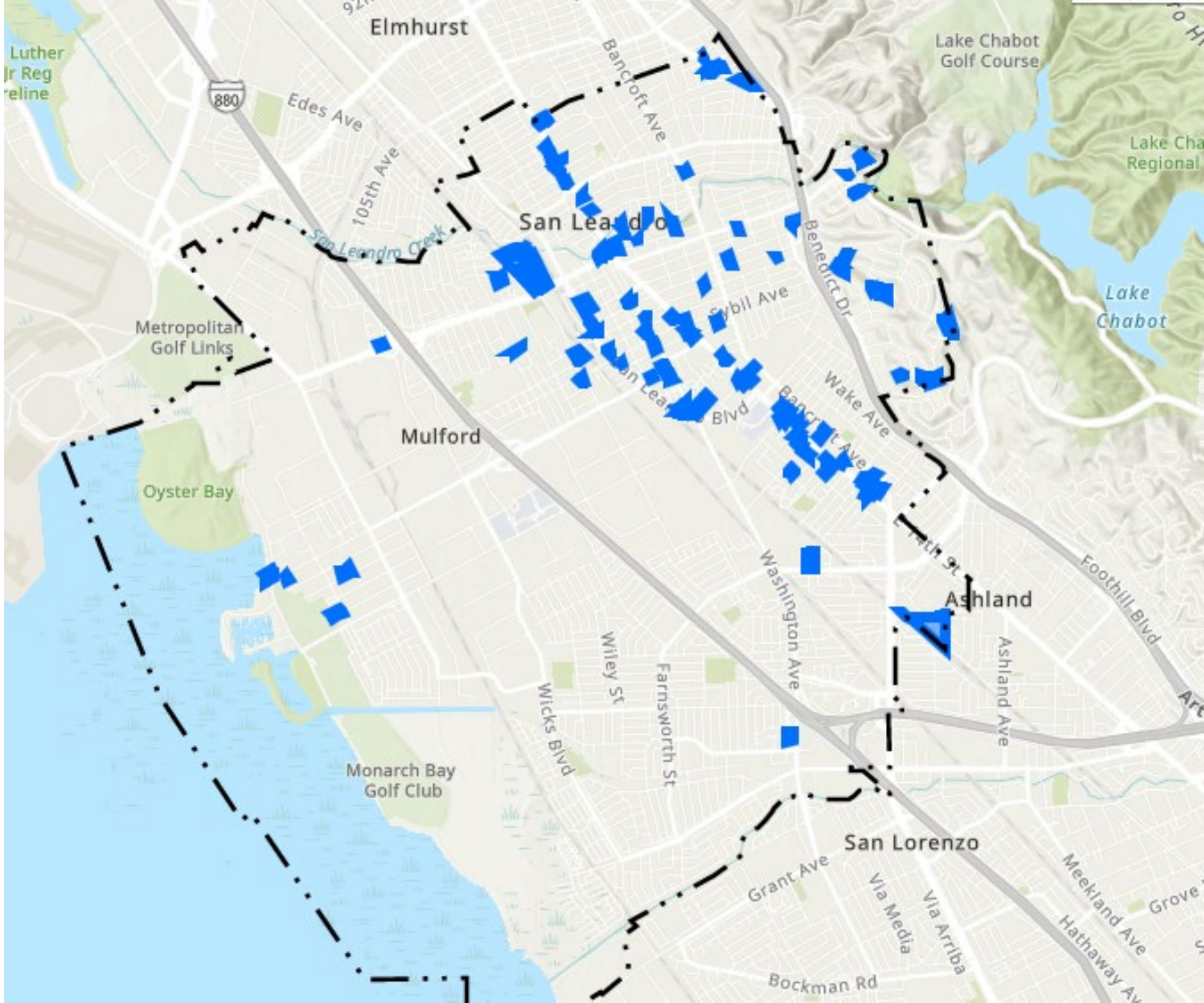
ADUs



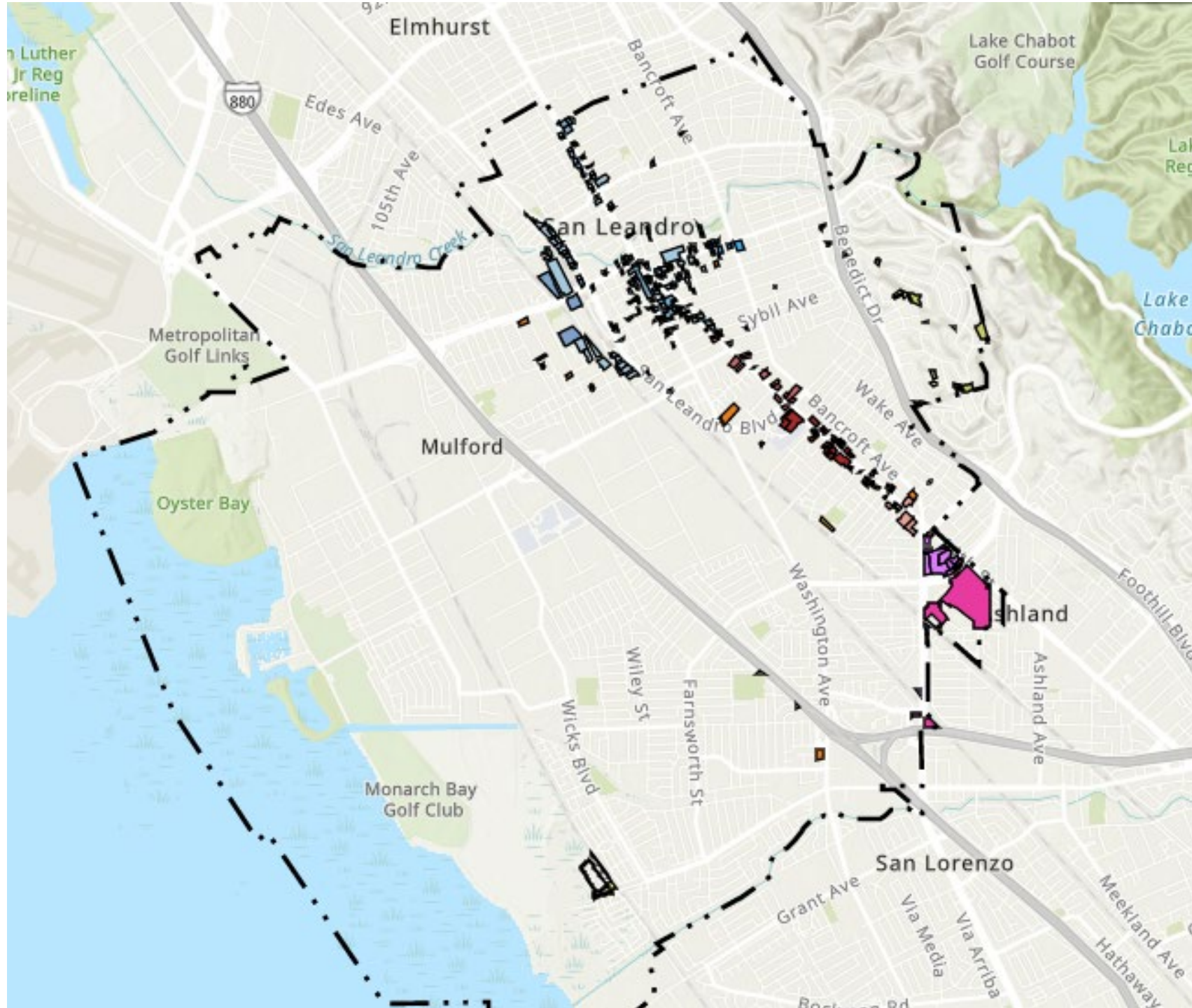
Housing  
Opportunity  
Sites



# Current Housing Opportunity Sites



# Potential Housing Opportunity Sites



# ZONING CODE AMENDMENTS

- Update Zoning Code to implement *current* Housing Element. Allow for a variety of housing types and reduce barriers to housing production:
  - Micro units
  - Co-living
  - Mobile homes
  - Amend Planned Development (PD) minimum thresholds to allow flexibility
  - Increase Floor Area Ratio (FAR) and Densities in key locations to accommodate mid-rise housing





# ZONING ORDINANCE AND GENERAL PLAN AMENDMENTS

General Plan Vision: Multi-story apartments and mixed-use buildings in downtown and E. 14th Street Corridor



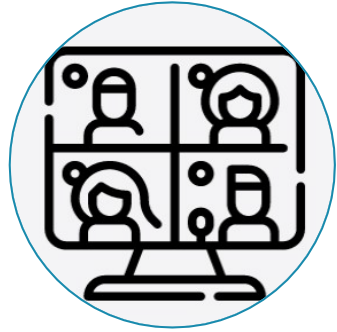
Current Density and Floor Area Ratio Limits: Support townhome development



Proposed: Adjust density, Floor Area Ratio, and heights to support multi-story apartments and mixed-use buildings Downtown and along E. 14th Street



# COMMUNITY ENGAGEMENT TO DATE



## Community Workshop Series:

- Oct./Nov. '21: Housing Element Introduction
- Dec. '21: Housing Policies
- Jan. '22: Housing Opportunity Sites & CEQA



## Opportunity Sites Selection:

- Balancing Act tool
- Draft list online



## Project Website, Email Newsletters, and Social Media:

- [www.SLHousingElement.com](http://www.SLHousingElement.com)



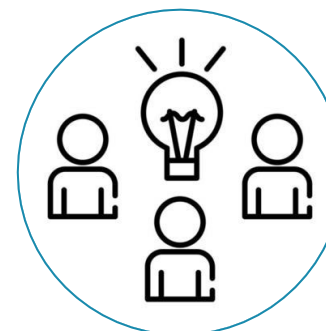
## Online Housing Needs Survey:

- English
- Spanish
- Chinese



## Digital and Non-Digital Outreach:

- English
- Spanish
- Chinese



## Stakeholder Interviews & Group Meetings



# SELECT COMMUNITY AND STAKEHOLDER FEEDBACK

- **Housing Production:**

- More housing is needed in general
- Located near transit and services
- Distribute housing sites using Fair Housing data - particularly in areas where exclusionary tactics (redlining, racially restrictive covenants, etc.) were historically used to segregate community
- Opportunities to redevelop underutilized and outdated commercial uses
- Consider “alternative housing” developments such as micro-units, tiny homes, shared amenities to reduce rental costs
- Promote and incentivize ADU development
- Streamline approvals, reduce impact fees, and/or create incentives to make housing financially feasible

- **Affordable Housing:**

- Especially needed for low-income, homeless, workforce/middle income, seniors, and special needs populations
- Review and update City’s inclusionary housing and in-lieu fee requirements

- **Displacement/Equity:**

- Protect residents vulnerable to displacement from rent increases or foreclosures
- Promote homeownership opportunities as important to long-term, multi-generational wealth

- **Individuals Experiencing Homelessness**

- Focus on housing needs and services
- Navigation center
- Transitional and permanent supportive housing



# DRAFT GOALS TO GUIDE POLICIES AND IMPLEMENTATION

**Increasing Overall Housing Production**

**Increasing Affordable & Workforce Housing**

**Preserving Existing Housing Stock**

**Protecting Residents from Displacement**

**Advancing Equity & Inclusion**

**Housing Homeless & Formerly Homeless Individuals & Families**

**Housing for Those with Special Needs**



# HOUSING ELEMENT TIMELINE



2021

2022

# QUESTIONS





## San Leandro Housing Element Update

# CONTACT US

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