



Municipal Critical Facility Procurement

PRESENTED BY: EBCE

DATE: May 2021



San Leandro Portfolio: Background

GOAL: On behalf of its JPA members, EBCE delivery / operation of a cost-effective portfolio of solar and battery energy storage systems (BES) to enhance resilience

- Step 1
 - Sites identified by City; shared with EBCE
 - Site hazard, solar potential and service analysis
 - Results: narrowed portfolio
- Step 2
 - EBCE site and economic analysis: System size, load profile, tariff,
 - Results: not all sites are 1) feasible and 2) cost effective
- Step 3
 - EBCE integrated *Solar Only* sites into portfolio
 - Reviewed all other City accounts
 - 9 facilities can sustain >50kW solar system (e.g., threshold to achieve cost effectiveness)
 - Detailed portfolio review (following slides)
- Next Steps
 - Independent Engineer assessment
 - City review of EBCE PPA + commitment to procurement process
 - EBCE issues solicitation for Phase I cities (Berkeley, Hayward, Fremont, San Leandro)

Critical Facilities: Solar + Storage

Fire Station #12



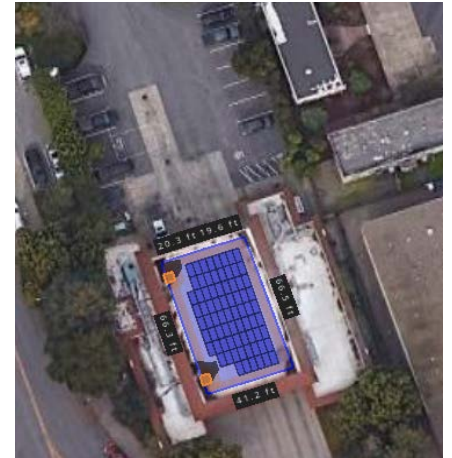
Fire Station #10



Fire Station #11



Fire Station #9



Critical Facilities: Solar + Storage

Fire Station #13



Marina Community Center

- additional area for solar?
- future EV fast charge load?



Main Library

- potential roof issues



Critical Facilities: Solar + Storage

Senior Center Option 1:

- Roof
- 134kW



Police
Headquarters



Senior Center Option 1:

- Carport
- 257kW



City Hall



Solar Only Sites

3000 Davis St.

- Existing solar @ water treatment, open to additional on-site solar?



122 Estudillo
(Parking Garage)

- Ample space for solar PV, not a lot of load.
- Potential EV fast charging



1241 Manor
Blvd



14200 Chapman
(Public Works)

- City fleet EV charging?

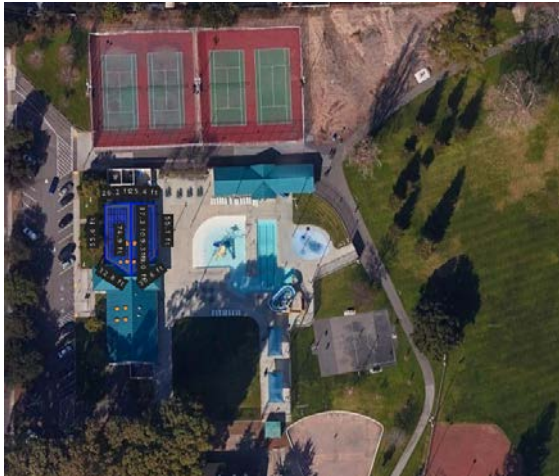


Solar Only Sites

14900 Zelma Street

- Rooftop is limited; plenty of load at site.
- A larger system will improve project economics
- Also enables transition to a better solar rate

Option 1 - roof mount



Option 2 - ground mount



Next Steps: De-risking Sites for Developers

EBCE hiring Independent Engineers (IE)

- IE will complete review of facility portfolio to confirm the most technically viable sites
 - Review will focus on structural stability, roof condition, electrical capacity
 - EBCE will fund IE and collect investment back through PPA rate

Intent: reduce portfolio risk to developers at time of RFP

- IE assessment will eliminate sites with significant upgrade expenses.
- The more developers know about sites the better PPA pricing they can offer.

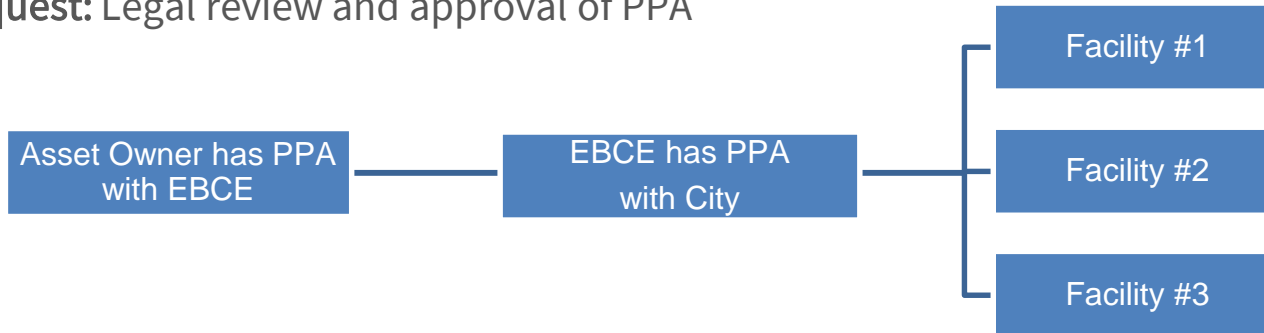
City Request: Assist EBCE and IE to efficiently schedule site visits

Next Steps: PPA Review

EBCE standard PPA with City

- Single PPA will reduce costs by limiting legal expenses
- Third-party ownership allows access to federal tax credits = better pricing
- EBCE will stand behind system operation; minimize electricity bills + resilience for 5 days
- EBCE will hold PPA with City, be counter signatory with developer(s)
- EBCE is exploring on-bill repayment of PPA by City

City Request: Legal review and approval of PPA



Discussion and Proposed Timeline

EBCE needs confirmation of City commitment to Phase I procurement projects and process

- Standard PPA review/approval (June)
- IE site visits (June-August)
- Final sites selected / agreed upon (August)
- EBCE develops RFP (July / Aug)
- EBCE issues RFP (Goal: Sept. 2021)