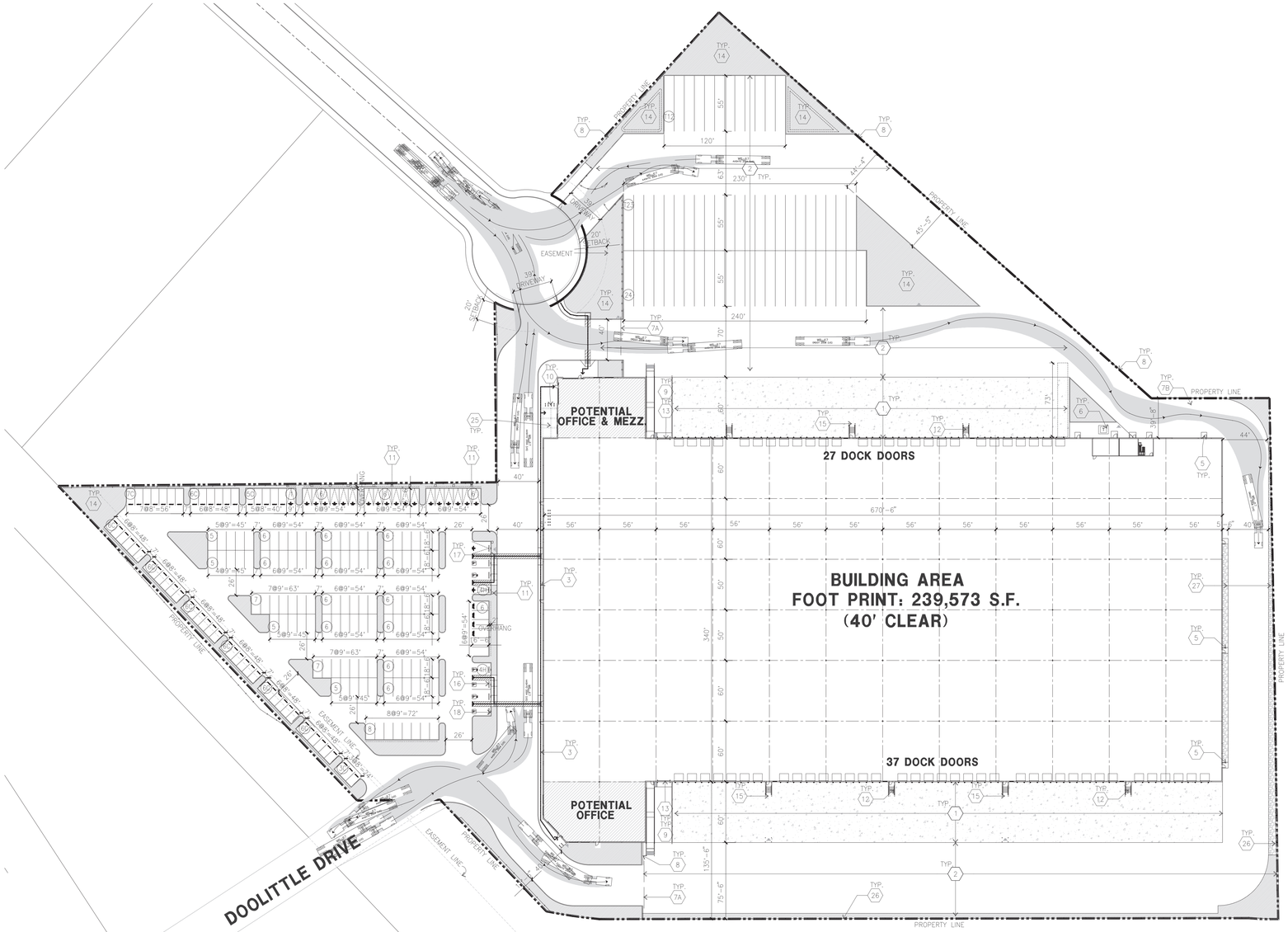


OVERALL SITE PLAN

scale: 1" = 50'-0"

A

SCALE: 1" = 50'-0"

0 50' 100' 150'

PLAN NORTH

TRUE NORTH

SITE PLAN KEYNOTES

1. HEAVY BROOM FINISH CONCRETE PAVEMENT.
2. ASPHALT CONCRETE (AC) PAVING
3. ACCESSIBLE PATH OF TRAVEL
4. DRIVEWAY APRONS
5. 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
6. APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY
7A. SLIDING GATE
7B. SWING GATE
8. 8' HIGH METAL FENCE
9. CONCRETE RAMP WITH CONCRETE GUARD WALL.
10. BIKE RACK.
11. FUTURE ELECTRIC VEHICLE CHARGER.
12. EXTERIOR METAL STEEL STAIR.
13. 12' x 14' DRIVE-IN DOOR
14. LANDSCAPE.
15. CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
16. PRE-CAST CONC. WHEEL STOP.
17. TRUNCATED DOMES.
18. ACCESSIBLE PARKING STALL SIGN.
19. HARDSCAPE AT ENTRANCE.
20. ACCESSIBLE ENTRY SIGN.
21. PUMP ROOM.
22. 8' HIGH METAL GATE
23. ELECTRICAL ROOM.
24. NOT USED
25. OUTDOOR BREAK AREA W/ CANOPY AND POST
26. EXISTING FENCE
27. GRAVEL, SEE CIVIL DRAWINGS

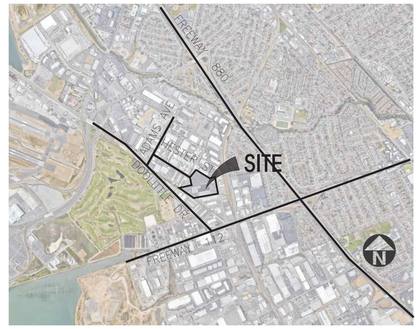
SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER, DATE, PROJECT NUMBER #
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH
11. U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE

SITE LEGEND

- CONCRETE PAVING. SEE "C" DRWGS. FOR THICKNESS
- LANDSCAPED AREA
- STANDARD PARKING STALL (9' X 16.5') W/ 2 FT OVERHANG
- CLEAN AIR/VANPOOL/EV CONDUIT STUB FOR FUTURE EV
- CLEAN AIR/ VANPOOL/EV WITHOUT CONDUIT STUB FOR FUTURE EV
- COMPACT PARKING STALL 8' X 15'
- ACCESSIBLE PARKING STALL (9' X 18.5') + 5' W/ ACCESSIBLE AISLE
- ACCESSIBLE PARKING (VAN) STALL (12' X 18.5') + 5' W/ ACCESSIBLE AISLE
- ACCESSIBLE PATH OF TRAVEL MIN. WIDTH TO BE 48" SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2 % - SEE CIVIL DRAWINGS FOR GRADING PLAN

AERIAL MAP



PROJECT DATA

SITE AREA	**BLDG**	
In s.f.	615,775	s.f.
In acres	14.14	ac
BUILDING AREA		
Office	10,000	s.f.
Office - Mezzanine	5,000	s.f.
Warehouse	229,573	s.f.
TOTAL	244,573	s.f.
footprint	239,573	s.f.
COVERAGE		
Maximum	75%	
Actual	38.9%	
FLOOR AREA RATIO		
Maximum	1.0	
Actual	0.4	
AUTO PARKING REQUIRED		
Office: 1/300 s.f.	50	stalls
Whse: 1/1500 s.f.	153	stalls
TOTAL	203	stalls
AUTO PARKING PROVIDED		
Standard (9' x 18'-6")	116	stalls
Compact (8' x 15' & 8'x 16'-6")	57	stalls
Accessible standard (9' x18'-6")	3	stalls
Accessible Van (12' x 18'-6")	3	stalls
Clean air	4	stalls
-EV standard	19	stalls
-EV van accessible	1	stalls
-EV standard accessible	1	stalls
Total	204	stalls
TRAILER PARKING PROVIDED		
Trailer (10' x 53')	59	stalls
BICYCLE PARKING REQUIRED		
Short term (5% of total stalls)	11	stalls
Long term (5% of total stalls)	11	stalls
BICYCLE PARKING PROVIDED		
Short term (5% of total stalls)	12	stalls
Long term (5% of total stalls)	12	stalls

ZONING ORDINANCE FOR CITY

Zoning Designation - Industrial General (IG)

MAXIMUM BUILDING HEIGHT ALLOWED

35' *(Maximum building height of fifty feet (50') may be approved by the Zoning Enforcement Official)

PROPOSED BUILDING HEIGHT

50'

LANDSCAPE REQUIREMENT

Percentage - 5%

SETBACKS

Building	Landscape
Front-10' Plus 10' for additional 20' height	10'
Side - 0' corner side - 10'	0'
Rear - 0'	0'

The site falls within the Oakland Airport Influence Area. Driven by the distance from the runway, the total building height may not exceed 43' and construction including the use of cranes will have to be permitted through the FAA.

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LICENSED ARCHITECT YONG H. NAM C-29451 3-31-23 RENEWAL DATE STATE OF CALIFORNIA

Owner:

PROLOGIS® Ahead of what's next

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Project:

880 DOOLITTLE DR.

San Leandro, CA

Consultants:

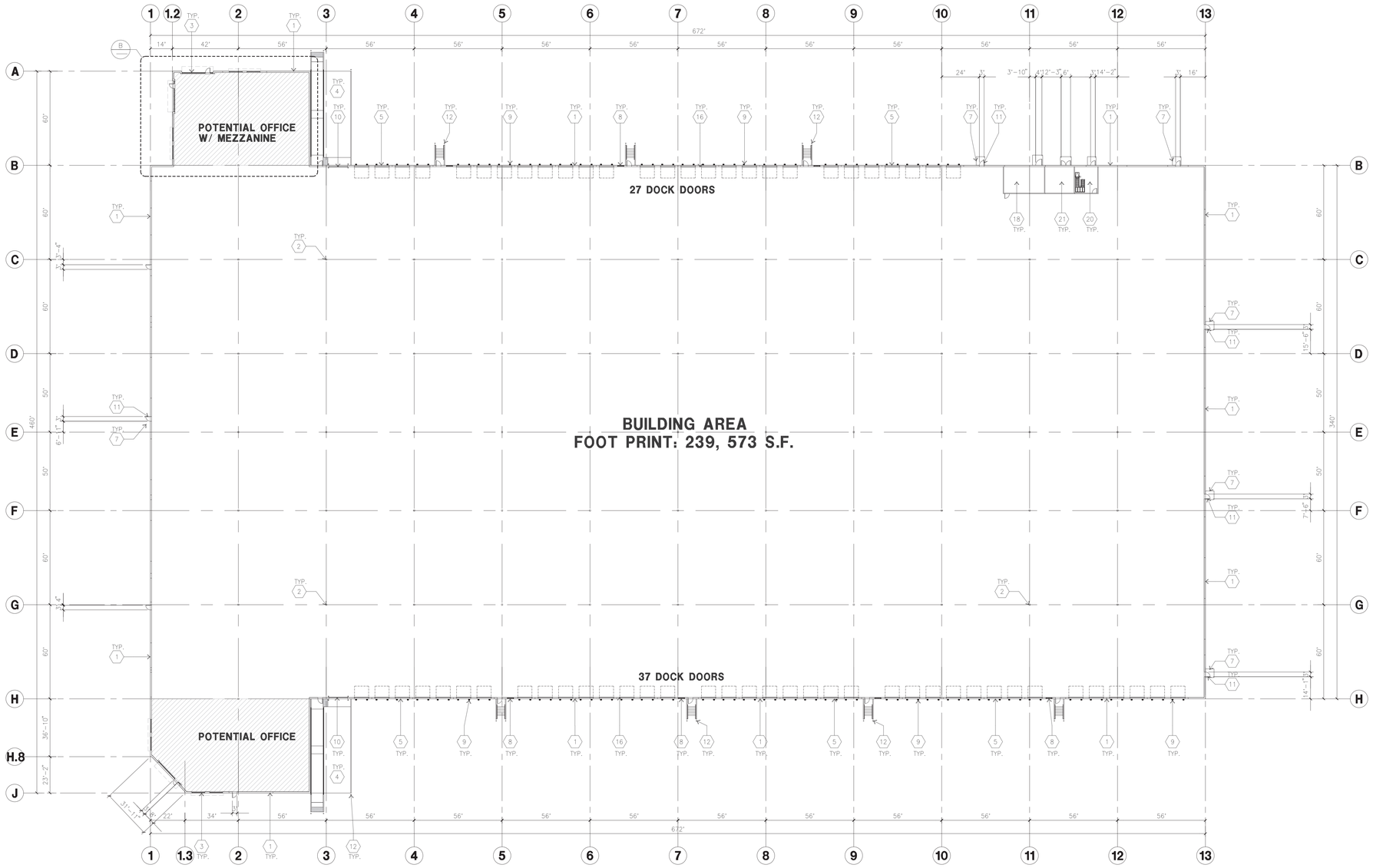
CIVIL	K&W
STRUCTURAL	HSA
MECHANICAL	KRAEMER
PLUMBING	KRAEMER
ELECTRICAL	KRAEMER
LANDSCAPE	GREEN DESIGN
FIRE PROTECTION	HARRINGTON
SOILS ENGINEER	ENGEO

Title: OVERALL SITE PLAN

Project Number: 22493
Drawn by: AH
Date: 07/21/2021
Revision:

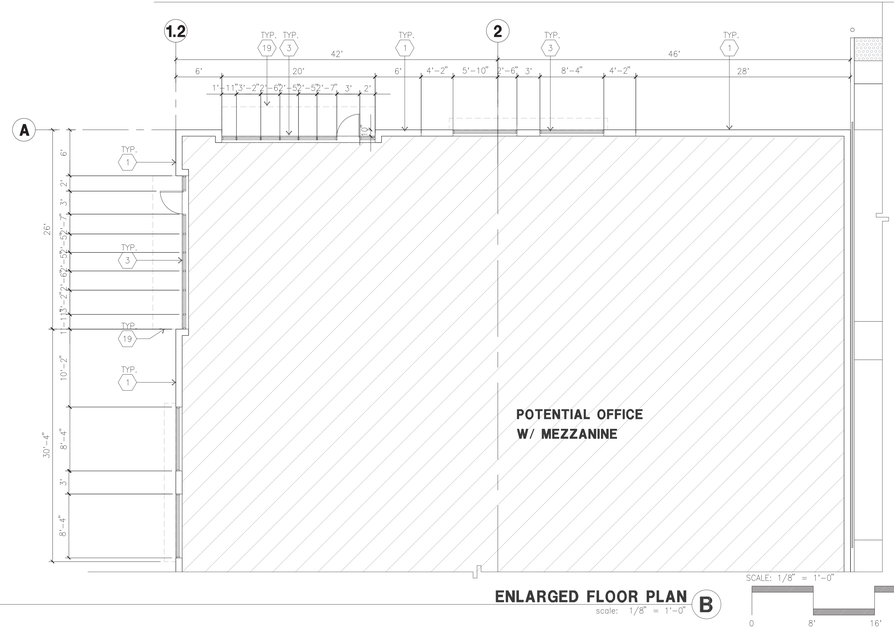
Sheet:

DAB-A1.1



OVERALL FLOOR PLAN A
scale: 1" = 30'-0"

SCALE: 1" = 30'-0"
0 30' 60' 90' TRUE NORTH



ENLARGED FLOOR PLAN B
scale: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"
0 8' 16' 24' TRUE NORTH

KEYNOTES - FLOOR PLAN

1. CONCRETE TILT-UP PANEL.
2. STRUCTURAL STEEL COLUMN.
3. TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
4. CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
5. 9' X 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
6. EXTERIOR CONCRETE STAIR AND GUARDRAIL PAINTED METAL HANDRAIL
7. 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA, FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX.
8. 4'X8' METAL LOUVER.
9. DOCK DOOR BUMPER.
10. 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
11. 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
12. CONC. FILLED GUARD POST, 6" DIA. U.N.O., 48"H.
13. EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
14. INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
15. INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
16. Z GUARD.
17. LONG TERM BIKE RACK. SEE TABULATION FOR CALCULATION. SEE DAB-AD.1 FOR ENLARGED PLAN AND DETAILS
18. ELECTRICAL ROOM.
19. METAL CANOPY ABOVE.
20. ROOF ACCESS LADDER.
21. FIRE PUMP ROOM.

GENERAL NOTES - FLOOR PLAN

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 125' O.C. MAX. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED, SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET A5.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 11B-216.6
17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE

FLOOR SLAB AND POUR STRIPS REQ.

THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS

1. FLOOR COMPACTION – 95%
2. TRENCH COMPACTION – 90%
3. BUILDING FLOOR SLAB: SEE STRUCTURAL DRAWINGS FOR DETAILS.
4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-R-96
5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
9. SLAB TO BE FF50 FL35 MEASURED WITHIN 24 HOURS.
10. NO FLY ASH IN THE CONCRETE
11. WHERE [ ] INDICATED, PROVIDE VAPOR BARRIER (15 MIL STEGO OR EQUAL) CONFORMING TO ASTM E 1745 UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION. CONCRETE SLAB IN OFFICE AREAS, WHERE SAND OVER VISQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLENE, CURING COMPOUND, OR RELEASE AGENTS.
12. SEAL CONCRETE SLAB W/ "LAPIDOLITH" SEALER
13. SHURESEAL/LAPIDOLITH OR APPROVED EQUAL FLOOR SEALER APPLIED ONE COAT AT END OF JOB IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
14. NO PERMANENT GREASE PEN PANEL MARKS ON FLOOR SLAB. NO RED CAULK MARKS. ALL CONSTRUCTION MARKS TO BE REMOVED BEFORE SEALING.
15. 10' POUR STRIP AT TRUCK DOOR, 4FT. MAX. ELSEWHERE.
16. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PECA BOND LV 2000,BURKE EPOXY INJECTION RESIN OR EQUAL.
17. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
18. MM-80 AT SPEED BAY ONLY, PRICE AS ADDITIONAL ALTERNATE

PAINT NOTES

INTERIOR GYP. BD. WALLS : SINGLE COAT OF ACRYLIC PAINT FRAZEE "WHITE" ON INTERIOR WALLS.

ALL STRUCTURAL STEEL MEMBER INC. COLUMNS, LEDGERS, JOISTS, & GIRDERS SHALL HAVE LIGHT GRAY SHOP PRIMER.

INTERIOR STEEL COLUMNS : PAINT OSHA YELLOW 10' A.F.F. ABOVE 12' APPLY ONE COAT OF WHITE PAINT

PIPE BOLLARDS SHALL HAVE TWO COATS OF ENAMEL "OSHA YELLOW".

EXTERIOR CONCRETE WALLS WILL HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.

ALL EXTERIOR HOLLOW METAL DOORS AND DOCK DOORS TO HAVE ONE COAT OF EXTERIOR PRIMER AND TWO COATS OF ACRYLIC PAINT TO MATCH ADJACENT SURFACE COLORS. PIPE STEEL HANDRAILS SHALL HAVE TWO COATS OF LATEX PAINT.

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LICENSED ARCHITECT YONG H. NAM C-29451 3-31-23 RENEWAL DATE STATE OF CALIFORNIA

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LANDSCAPE	GREEN DESIGN
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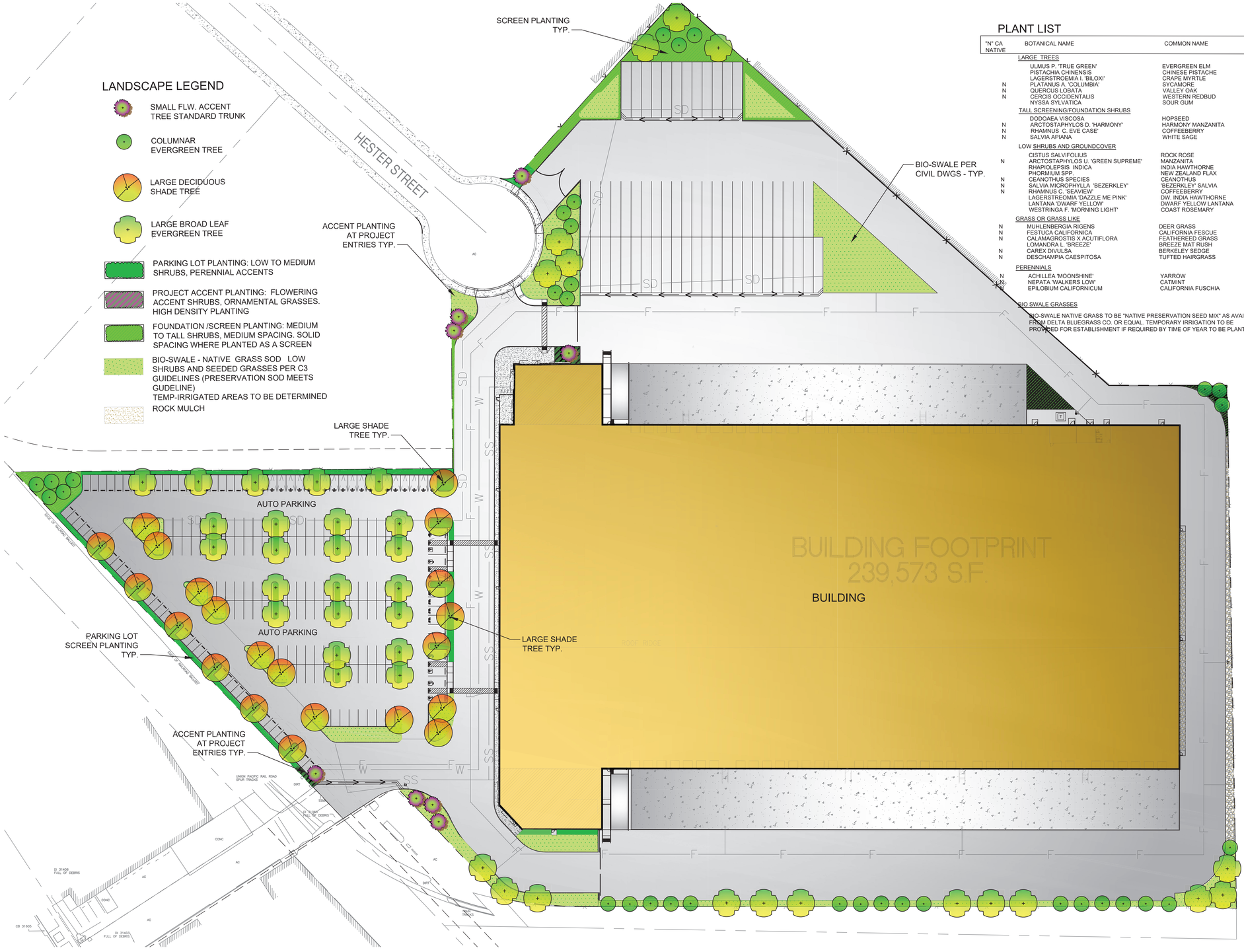
SOILS ENGINEER	ENGEO

Title: OVERALL FLOOR PLAN

Project Number: 22493
Drawn by: AH
Date: 07/21/2021
Revision:

Sheet:

DAB-A2.1



PLANT LIST

"N" CA NATIVE	BOTANICAL NAME	COMMON NAME	SIZE	WATER REGIME /ZONE	MATURE HABIT H X W
	LARGE TREES				
	ULMUS P. 'TRUE GREEN'	EVERGREEN ELM	15 GAL. or B&B	L	40' X 40'
	PISTACHIA CHINENSIS	CHINESE PISTACHE	15 GAL. or B&B	L	50' X 40'
	LAGERSTROEMIA I. 'BILOXI'	CRAPE MYRTLE	15 GAL. or B&B	L	20' X 12' STANDARD
N	PLATANUS A. 'COLUMBIA'	SYCAMORE	15 GAL. or B&B	L	50' X 40'
N	QUERCUS LOBATA	VALLEY OAK	15 GAL. or B&B	L	80' X 50'
N	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL. or B&B	L	20' X 20'
	NYSSA SYLVATICA	SOUR GUM	15 GAL. or B&B	L	35' X 20'
	TALL SCREENING/FOUNDATION SHRUBS				
	DODOAEA VISCOSA	HOPSEED	5 GAL.	L	10' X 10'
N	ARCTOSTAPHYLOS D. 'HARMONY'	HARMONY MANZANITA	5 GAL.	L	7' X 5'
N	RHAMNUS C. EVE CASE'	COFFEEBERRY	5 GAL.	L	5' X 6'
N	SALVIA APIANA	WHITE SAGE	5GAL	L	3' X 5'
	LOW SHRUBS AND GROUNDCOVER				
	CISTUS SALVIFOLIUS	ROCK ROSE	5 GAL.	L	2' X 4'
N	ARCTOSTAPHYLOS U. 'GREEN SUPREME'	MANZANITA	5 GAL.	L	1' X 3'
	RHAPIOLEPSIS INDICA	INDIA HAWTHORNE	5 GAL.	L	3' X 4'
	PHORMIUM SPP.	NEW ZEALAND FLAX	5 GAL.	L	VARIES
N	CEANOTHUS SPECIES	CEANOTHUS	5 GAL.	L	VARIES'
N	SALVIA MICROPHYLLA 'BEZERKLEY'	'BEZERKLEY' SALVIA	5 GAL.	L	2' X 3'
N	RHAMNUS C. 'SEAVIEW'	COFFEEBERRY	5 GAL.	L	2' X 4'
	LAGERSTREOMIA 'DAZZLE ME PINK'	DW. INDIA HAWTHORNE	5GAL.	L	3' X 3'
	LANTANA 'DWARF YELLOW'	DWARF YELLOW LANTANA	5 GAL	L	2' X 5'
	WESTRINGA F. 'MORNING LIGHT'	COAST ROSEMARY	5 GAL	L	3' X 3'
	GRASS OR GRASS LIKE				
N	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL.	L	4' X 4'
N	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL.	L	1' X 2
N	CALAMAGROSTIS X ACUTIFLORA	FEATHEREED GRASS	1 GAL.	L	2' X 3'
	LOMANDRA L. 'BREEZE'	BREEZE MAT RUSH	1 GAL.	L	3' X 3'
N	CAREX DIVULSA	BERKELEY SEDGE	1 GAL.	L	2' X 2'
N	DESCHAMPIA CAESPITOSA	TUFTED HAIRGRASS	1 GAL.	L	2' X 2'
	PERENNIALS				
N	ACHILLEA 'MOONSHINE'	YARROW	1 GAL.	L	1' X 3'
CN	NEPATA 'WALKERS LOW'	CATMINT	1 GAL.	L	1' X 2'
N	EPILOBIUM CALIFORNICUM	CALIFORNIA FUSCHIA	1 GAL	L	1' X 3'

BIO SWALE GRASSES

BIO-SWALE NATIVE GRASS TO BE "NATIVE PRESERVATION SEED MIX" AS AVAILABLE FROM DELTA BLUEGRASS CO. OR EQUAL. TEMPORARY IRRIGATION TO BE PROVIDED FOR ESTABLISHMENT IF REQUIRED BY TIME OF YEAR TO BE PLANTED.

IRRIGATION

ALL IRRIGATION IS TO BE POINT SOURCE DRIP OR DEEP ROOT BUBBLER IRRIGATION PROVIDED PER PANT. IRRIGATION WILL MEET THE MWELO AND ARTICLE 19 OF THE ZONING CODE. IRRIGATION PLANS AND DETAILS TO BE SUBMITTED WITH PERMIT DRAWINGS.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA : 616,401 S.F. (14.15 ACRES)
LANDSCAPE AREA REQUIRED (5% OF SITE): 30,820 S.F.
LANDSCAPE AREA PROVIDED (7%): 41,592 S.F.
TOTAL AUTO PARKING SPACES PROVIDED: 205
PARKING AREA TREES REQUIRED 1/6 SPACES: 34
PARKING AREA TREES PROVIDED: 45

WATER EFFICIENT LANDSCAPE REQUIREMENTS

ALL IRRIGATION EITHER PERMANENT OR TEMPORARY
SHALL BE AUTOMATIC TIMER CONTROLLED. PERMANENTLY
IRRIGATED SHRUBS AND TREES SHALL BE DRIP IRRIGATED.
AUTOMATIC CONTROLLER w/ ET DATA, REPEAT CYCLING
IRRIGATION ZONES PER PLANT WATER REQUIREMENTS
RAIN SENSOR SENSOR TO BE SPECIFIED
SOIL AMENDMENTS TO BE INCORPORATED
PLANTER SURFACE AREAS TO BE MULCHED
WATER USAGE TO MEET STATE WATER EFFICIENT LANDSCAPE STANDARD

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLANS.

BARBARA M. HATCH RLA ASLA

north

1" = 40'

0 40 80 120

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Owner:

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PROLOGIS SAN LEANDRO

880 Doolittle Drive
San Leandro, CA

Consultants:

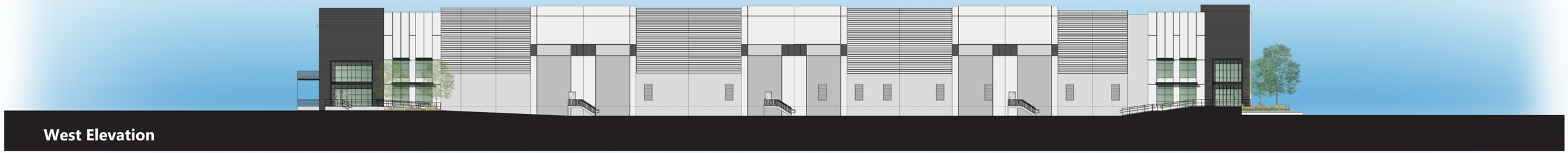
CIVIL	KIMLEY-HORN
STRUCTURAL	
MECHANICAL	
PLUMBING	
ELECTRICAL	
LANDSCAPE	GREEN DESIGN
FIRE PROTECTION	
SOILS ENGINEER	

Title:
PRELIMINARY LANDSCAPE PLAN

Project Number: 18339
Drawn by: BH
Date: 3-15-21
Revision:
REVISED 7-27-22
REVISED 9-22-22

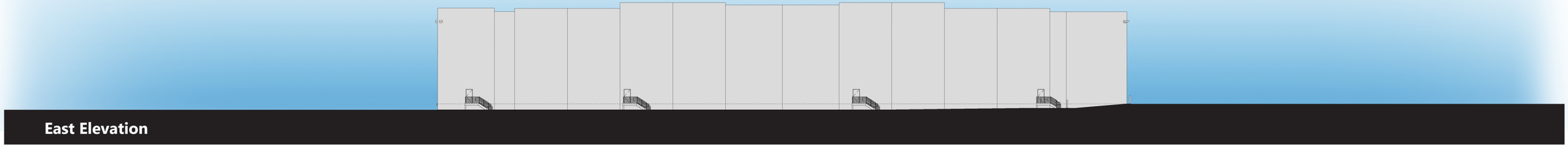
Sheet:
LC1

North Elevation



West Elevation

South Elevation



East Elevation

Conceptual Colored Elevations - 40ft clear

880 DOOLITTLE DR.

San Leandro, CA | #22493 | 06.11.2024

HPA architecture 43 Years

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