

**RECORDING REQUESTED BY:**

City of San Leandro  
Planning Services Division  
835 East 14th Street  
San Leandro, California 94577

**WHEN RECORDED MAIL TO:**

Marian Handa, Interim City Clerk  
City of San Leandro  
835 East 14th Street  
San Leandro, California 94577



2018174416

09/06/2018 02:58 PM

OFFICIAL RECORDS OF ALAMEDA COUNTY  
STEVE MANNING  
RECORDING FEE: 0.00



8 PGS

*AS 8/27*

**THIS SPACE FOR RECORDER'S USE ONLY**

*(No fee pursuant to Government Code Section 27383)*

**AGREEMENT TO CONDITIONS**

**PLN18-0030**

**2101 and 2109 West Avenue 136**

**Kingkeo Samreuang and Samone Samreuang (Property Owner)**

THIS AGREEMENT is entered into by and between the CITY OF SAN LEANDRO, a municipal corporation, hereinafter referred to as "City", Kingkeo Samreuang, an individual, and Samone Samreuang, an individual, hereinafter referred to as "Property Owner".

Property Owner applied for and received approval for a Conditional Use Permit to convert two existing single-family homes into condominiums to allow for individual ownership of the two (2) units at 2101 and 2109 West Avenue 136, also known as Alameda County Assessor's Parcel Number 79A-508-7.

NOW, THEREFORE, pursuant to the applicable provisions of the Zoning Code, it is mutually agreed as follows:

1. Property Owner agrees to comply with the Conditions of Approval adopted by the City of San Leandro Board of Zoning Adjustments, more specifically described in the list of Conditions of Approval, attached hereto, and as described in the exhibits on file in the Community Development Department, all of which are incorporated herein by this reference.
2. This agreement shall be binding upon and inure to the benefit of the parties hereto and their respective heirs, successors, and assigns.
3. City is authorized to record this agreement and any amendments thereto with the Alameda County Recorder, California. All amendments hereto must be in writing and signed by the appropriate authorities of the City and Property Owner. The Property Owner will be charged the costs of recordation and agrees to pay same. Conditions run with the land and are binding to future owners of the property.


4. Property Owner have read and fully understand all of the foregoing terms and conditions, and hereby agree that all said terms and conditions are as approved by the City of San Leandro Board of Zoning Adjustments in accordance with law, and hereby agree to comply with all of said terms and conditions.

**IN WITNESS WHEREOF**, duly executed by the parties as of the day and year below written.

This **CONDITIONAL USE PERMIT** must be exercised within **ONE YEAR** or it expires.

(Acknowledgment)

**Kingkeo Samreuang, an individual, as Property Owner**

 8-25-18  
By: **Kingkeo Samreuang** Date  
**Property Owner**

(Acknowledgment)

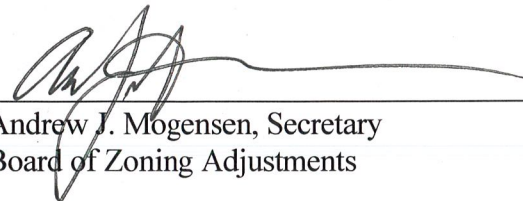
**Samone Samreuang, an individual, as Property Owner**

 8/25/18  
By: **Samone Samreuang** Date  
**Property Owner**


Receipt of Executed Approval: I hereby certify that I am the Secretary to the Board of Zoning Adjustments of the City of San Leandro and in that capacity did receive this copy of **PLN18-0030** Agreement to Conditions fully executed by all parties thereto, and that the effective date of this approval granted herein is **August 2, 2018**.

CITY OF SAN LEANDRO, a municipal corporation

Attest: Marian Handa  
Marian Handa, Interim City Clerk

  
Andrew J. Mogensen, Secretary  
Board of Zoning Adjustments

Approved as to Form:

  
Richard Pio Roda, City Attorney

# CALIFORNIA ACKNOWLEDGMENT CERTIFICATE

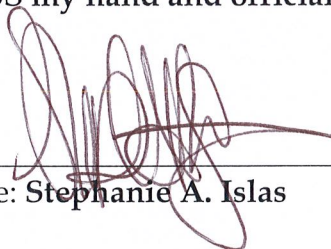
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State Of: **California**  
County Of: **Alameda**

On Aug. 25th, 2018 before me, **Stephanie A. Islas**, Notary Public, personally appeared, Samone Samreuang and Kingkeo Samreuang who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that she/he/they executed the same in her/his/their authorized capacity(ies) and that by her/his/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

  
Signature: Stephanie A. Islas, Notary Public



Seal

Title of Document: Agreement to Conditions  
Total Number of Pages including Attachment: 9: Nine  
Notary Commission Expiration Date: Jan. 16, 2020  
Notary Commission Number: 2140287

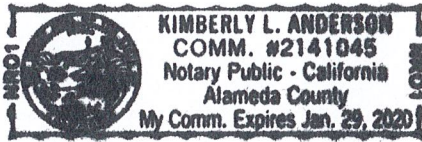
**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )  
 ) ss.  
County of Alameda )

On August 27, 2018 before me, KIMBERLY L. ANDERSON, NOTARY PUBLIC,  
personally appeared Andrew J. Mogensen,

My commission number is 2141045.



who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

My commission expires on January 29, 2020. ✓

WITNESS my hand and official seal.

*Kimberly L. Anderson, Notary Public*  
Signature of Notary Public

OPTIONAL

*Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.*

**Description of Attached Document**

Title or Type of Document: Agreement to Conditions; PLN18-0030; 2101 and 2109 West Avenue 136

Document Date: August 9, 2018

Number of Pages: 6

Signer(s) Other Than Named Above:

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: \_\_\_\_\_

- Individual
- Corporate Officer – Title(s): \_\_\_\_\_
- Partner –  Limited  General
- Attorney in Fact
- Trustee
- Guardian or Conservator
- Other: \_\_\_\_\_

Signer is Representing: \_\_\_\_\_

RIGHT THUMBPRINT OF SIGNER  
Top of thumb here

Signer's Name: \_\_\_\_\_

- Individual
- Corporate Officer – Title(s): \_\_\_\_\_
- Partner –  Limited  General
- Attorney in Fact
- Trustee
- Guardian or Conservator
- Other: \_\_\_\_\_

Signer is Representing: \_\_\_\_\_

RIGHT THUMBPRINT OF SIGNER  
Top of thumb here

## CONDITIONS OF APPROVAL

For

PLN18-0030

2101 and 2109 West Avenue 136

Kingkeo Samreuang and Samone Samreuang (Property Owner)

### I. COMPLIANCE WITH APPROVED PLANS

- A. The project shall comply with Exhibits A through F, attached to the staff report dated August 2, 2018, except as hereinafter modified. (Exhibits are on file at the City of San Leandro, Community Development Department, 835 East 14th Street, San Leandro, California, 94577).

Exhibit A–Site Plan, Map No. 10574

Exhibit B–As Built Unit 2101 First Floor Plan (Front Dwelling)

Exhibit C–As Built Unit 2101 Second Floor Plan (Front Dwelling)

Exhibit D–As Built Unit 2101 Elevations (Front Dwelling)

Exhibit E–As Built Unit 2109 Ground Floor Plan and Roof Plan (Rear Dwelling)

Exhibit F–As Built Unit 2109 Elevations (Rear Dwelling)

- B. The applicant and/or property owner shall be responsible for assuring that any successor in interest who assumes responsibility for this zoning approval is informed of its terms and conditions.

### II. PERMITTED USES

- A. This Conditional Use Permit is an approval to convert two existing single-family homes into condominiums to allow for individual ownership of the two units at 2101 and 2109 West Avenue 136, also known as Alameda County Assessor's Parcel Number 79A-508-7.
- B. Pursuant to Article 16 of the Zoning Code pertaining to fencing in the RO Residential Outer District, the maximum height of fencing on the property shall be six feet except in the required 20-foot front yard setback where the maximum height shall not exceed three feet tall.

### III. REQUIRED REPORTS

- A. Prior to approval of the Parcel Map, a Physical Elements Report shall be submitted to the Chief Building Official. A report on the physical elements of all structures and facilities shall be submitted, containing the following:
1. A report by a California-licensed structural or civil engineer detailing the structural condition, useful life, and any apparent deferred maintenance of all elements of the property, including, but not limited to, foundations, electricity, plumbing, utilities, walls, ceilings, windows, frames, recreational facilities, sound transmissions of each building, mechanical equipment, parking facilities, fire protection, drainage facilities, and parking conditions and potential problems. Such report also shall describe the

condition of refuse disposal facilities; swimming pools, saunas, and fountains; stone and brickwork; fireplaces; and exterior lighting.

2. A report by a California-licensed appliance repair contractor detailing the age, condition, expected size, and the cost of replacement for each appliance and mechanical equipment for heating and cooling. The report shall identify any defective or unsafe appliances and set forth the proposed corrective measures to be employed.
3. A report by a California-licensed structural termite and pest control specialist certifying whether or not all attached or detached structures are free of infestation and structural damage caused by pests and dry rot. The report shall describe what procedures would be necessary to eliminate infestation or damage, if present. Such report shall be updated within six (6) months after the close of escrow, and any infestation shall be remedied prior to sale.
4. Existing soils reports shall be submitted for review with a statement regarding any known evidence of soils problems relating to the structures.
5. A report by a California-licensed painting contractor verifying the condition of the painting throughout the project, including building interior and exterior surfaces, and an estimate of the remaining physical life of the paint. A statement that new paint will be applied on all building interior and exterior surfaces may take the place of such report. Such statement shall include the brand name of the paint and the exterior colors to be used.
6. A report by a California-licensed roofing contractor verifying the condition of the roofs of all structures and an estimate of the remaining physical life of the roofs and the cost of replacement. A statement that new roof material will be applied may take the place of such report. Such statement shall include the type, grade, and color of the proposed roofing material.

#### **IV. ENGINEERING REQUIREMENTS**

- A. Pursuant to Government Code Section 66020, including Section 66020 (d) (1), the City HEREBY NOTIFIES the applicant for this Project that the 90-day approval period (in which the applicant may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) will begin on the date of the conditional approval of this Project. If you fail to file a protest within this 90-day period, complying with all of the requirements of Government Code Section 66020, you will be legally barred from later challenging any such fees, dedications, reservations or other exactions.
- B. The proposed development shall comply with City ordinances, policies and regulations. All improvements shall be in accordance with the City's Design Standards, Specifications and Standard Plans unless otherwise specifically approved by the City Engineer.
- C. The applicant shall submit, obtain approval, record and pay review fees for the subdivision of the property into two condominium units. Parcel Map shall be approved by the City

Council and recorded with the County Recorder's Office. The Parcel Map application can be found at the following link, on City website: <https://www.sanleandro.org/civicax/filebank/blobdload.aspx?blobid=3778>

- D. The owner shall send each tenant written notification of intention to convert at least 60 days prior to the filing of a Parcel Map, consistent with Section 66427.1(a)(2)(A).
- E. The owner shall send each tenant of the proposed condominium a written notification within 10 days after approval of a final map for the proposed conversion.
- F. The owner shall send each tenant written one hundred and eighty (180) days' notice of intention to convert, provided prior to termination of tenancy due to the conversion or proposed conversion pursuant to Section 66452.19, but not before the local authority has approved the planning application.
- G. The Owner shall send notice to each tenant of an exclusive right to contract for the purchase of his or her respective unit upon the same terms and conditions that the unit will be initially offered to the general public or terms more favorable to the tenant pursuant to Section 66452.20. The exclusive right to purchase shall commence on the date the Parcel map gets recorded and shall run for a period of not less than 90 days, unless the tenant gives prior written notice of his or her intention not to exercise the right.
- H. If a rental agreement was negotiated in Spanish, Chinese, Tagalog, Vietnamese, or Korean, the owner shall issue all required written notices in that language, per Section 66427.1(d).

## **V. BUILDING DIVISION REQUIREMENTS**

- A. Prior to approval of a Parcel Map, to create a condominium lot, all required building permits and required work for the dwellings to be condominiums shall be completed.

## **VI. MAINTENANCE**

- A. The site shall be well maintained and shall be kept free of litter, debris and weeds.
- B. Any graffiti shall be promptly removed from all structures, building walls and property line fences.
- C. All of the trash and recycle bins shall be kept inside the designated space inside the attached garages and kept out of public view, except when it is necessary to bring them to the curbside on days that the contents of the containers are picked up for disposal. This condition shall be included in the CC&Rs.
- D. All landscape improvements shall be maintained in a healthy growing condition at all times. Practices for maintaining the landscaping in a healthy growing condition shall include but is not limited to periodical pruning and fertilizing.

## VII. INCLUSIONARY CONDITION

---

- A. Prior to recordation of the Final Map for the subdivision and condominium plan, the applicant/property owner shall pay to the City's Affordable Housing Trust Fund an in-lieu fee equivalent to 0.30 of the median sales price of a condominium dwelling unit in San Leandro, minus the Affordable Ownership Cost, as determined by the Community Development Director.

## VIII. GENERAL CONDITIONS

- A. Covenants, Conditions and Restrictions (CC&Rs) shall be submitted with the Parcel Map and Condominium Plan application to the City's Engineering and Transportation Department.
- B. Conditions of approval shall be recorded against each created parcel to include a provision in which the homeowners and/or residents of the property shall not park or store boats, trailers, camper tops, inoperable vehicles and the like outside the buildings, within the project. In addition, the recorded conditions shall include a provision in which the homeowners shall not obstruct the garage to prevent its use for vehicle parking. Furthermore, the recorded conditions shall include a provision prohibiting the use of the rear private yard areas for outdoor storage and prohibiting the areas from appearing cluttered. The conditions shall state the rear yards can be furnished with plants and patio furniture. These conditions shall be included in the CC&Rs.
- C. Pursuant to Article 17 of the Zoning Code pertaining to Residential Parking within the minimum front yard, parking in other than on the driveway, is prohibited. No vehicles, whether motorized or non-motorized, shall be parked within the minimum required front yard (i.e., within that portion of the front yard required as a minimum building setback) in a residential district with a single-family dwelling use unless on a paved driveway which provides access to a parking space, covered or uncovered, that is required by this Article. This condition shall be included in the CC&Rs.
- D. The approvals granted by the City as a result of this application, as well as the Conditions of Approval, shall be recorded in the office of the County Recorder of Alameda County.
- E. No application for amendment of the application or Conditions of Approval may be accepted or submitted for processing by the City unless (i) there is full compliance with all terms of the application and Conditions of Approval; or (ii) the Community Development Director waives compliance with the terms of the application and Conditions of Approval pending application for the amendment.
- F. Pursuant to Zoning Code Section 5-2218, this approval shall lapse on August 2, 2019 unless a) a Parcel Map has been issued, coupled with diligent progress evidencing good faith intent to commence the intended use, or b) a written request for a one-year extension of the use permit is approved by the Zoning Enforcement Official.



COLUSSI  
(71-1163)

LAIRD  
(98319662)

ABBOUD  
(2008358150)

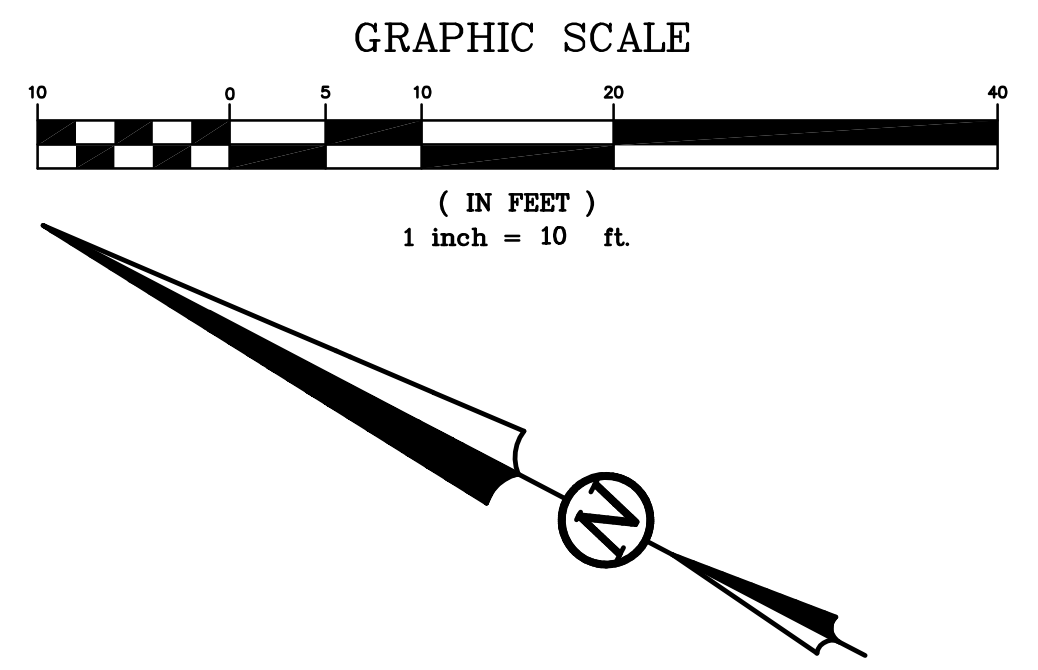
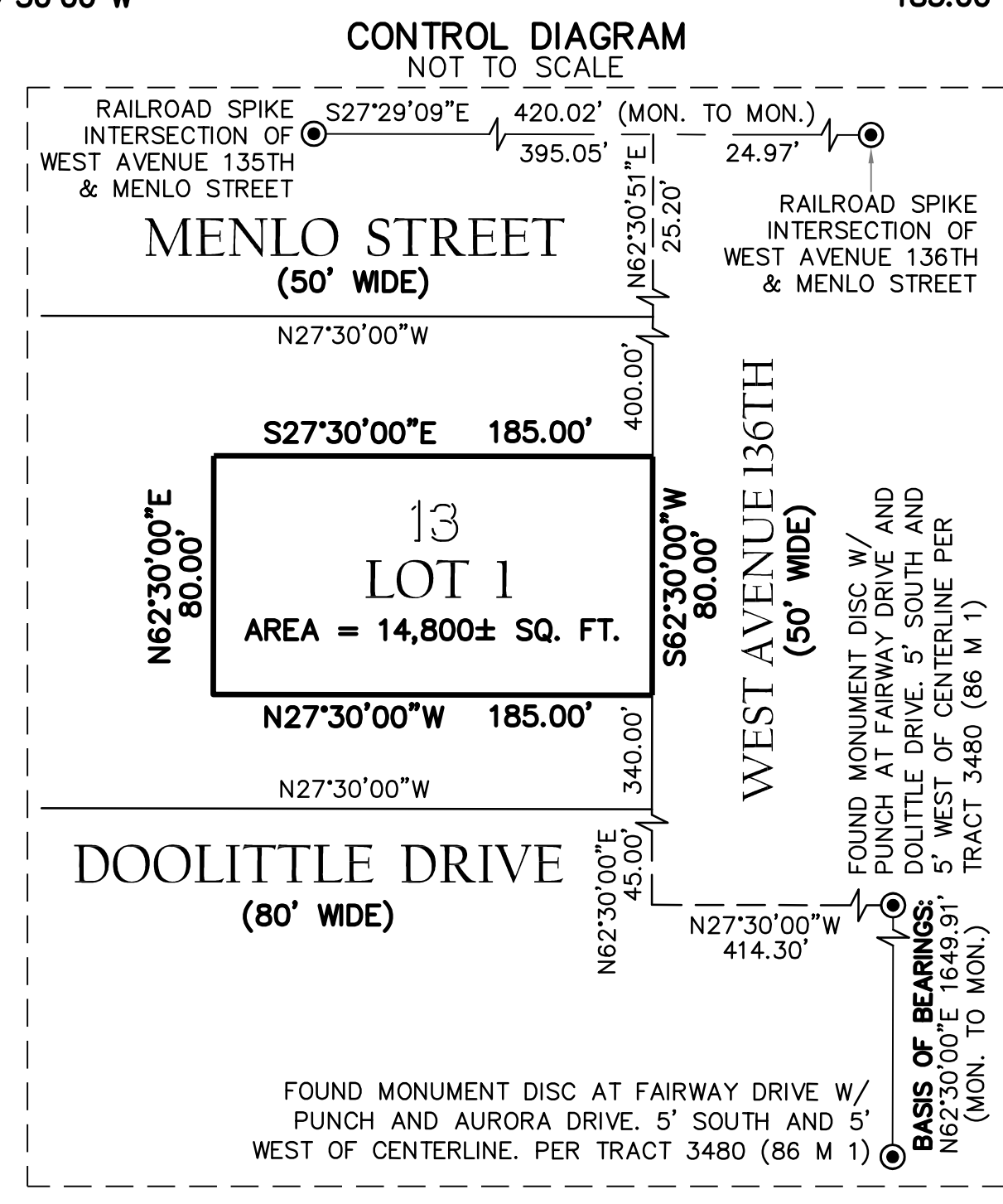
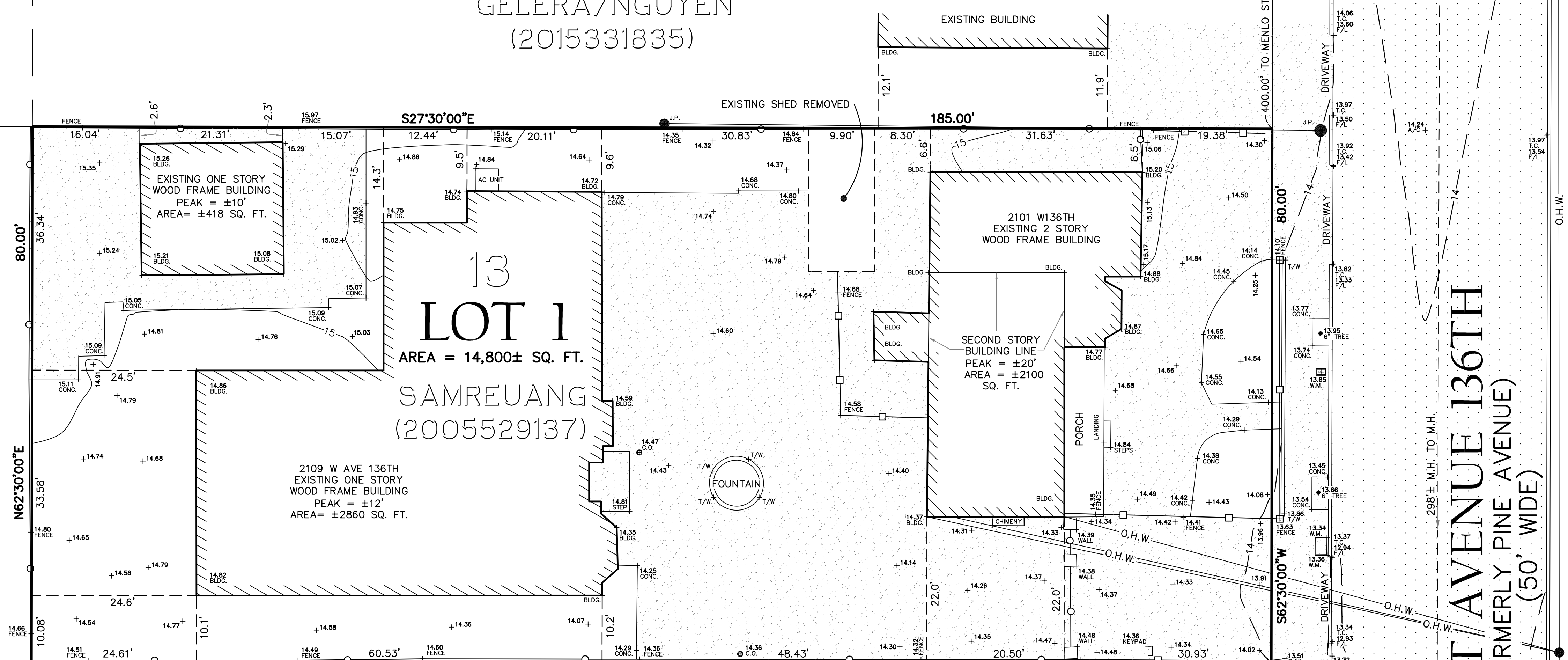
# MULFORD GARDENS ADDITION (8 M 5)

## PLN18-0030 EXHIBIT A August 2, 2018

14  
GELERA/NGUYEN  
(2015331835)

13  
**LOT 1**  
AREA = 14,800± SQ. FT.  
SAMREUANG  
(2005529137)

12  
CORNEJO  
(2000365570)



LEGEND	
	FOUND MONUMENT, AS NOTED
	BUILDING EDGE
	ASPHALT
	CONCRETE
	CHAIN LINK FENCE
	WOOD FENCE
	A/C ASPHALT CONCRETE
	B.C. BUILDING CORNER
	C.O. CLEAN OUT
	F.H. FIRE HYDRANT
	F/L FLOW LINE
	J.P. JOINT POLE
	M.H. MANHOLE
	O.H.W. OVERHEAD WIRE
	P.L. PROPERTY LINE
	S/W SIDEWALK
	T.C. TOP OF CURB
	T/W TOP OF WALL
	W.M. WATER METER

**OWNERS:**  
KINGKEO SAMREUANG & SAMONE SAMREUANG  
2101 WEST AVENUE 136TH  
SAN LEANDRO, CA 94577

**BASIS OF BEARINGS:**  
MONUMENT LINE IN FAIRWAY DRIVE, TAKEN AS  
N62°30'00"E, AS SHOWN ON TRACT NO. 3480 (86 M 1).

**BENCHMARK:**  
FOUND CINCH NAIL ON TOP OF CURB AT THE NORTHEAST  
CORNER OF THE INTERSECTION OF W136TH AND DOOLITTLE,  
TAKEN AS 10.76' CITY OF SAN LEANDRO DATUM.



*Michael J. Foster*  
MICHAEL J. FOSTER, L.S. 7170  
DATE: AUGUST 23, 2016  
-REV01 7-17-18 UPDATED TO REFLECT EXISTING SHED REMOVAL

### TENTATIVE PARCEL MAP NO. 10574

A ONE LOT SUBDIVISION FOR  
CONDOMINIUM PURPOSES— TWO (2) UNITS  
LOT 13, BLOCK G, MULFORD GARDENS ADDITION (8 M 5)  
CITY OF SAN LEANDRO, ALAMEDA COUNTY, CALIFORNIA  
AUGUST, 2016 SCALE 1"=10'  
BAY AREA LAND SURVEYING  
3065 RICHMOND PARKWAY, #101  
RICHMOND, CA 94806  
(510) 223-5167

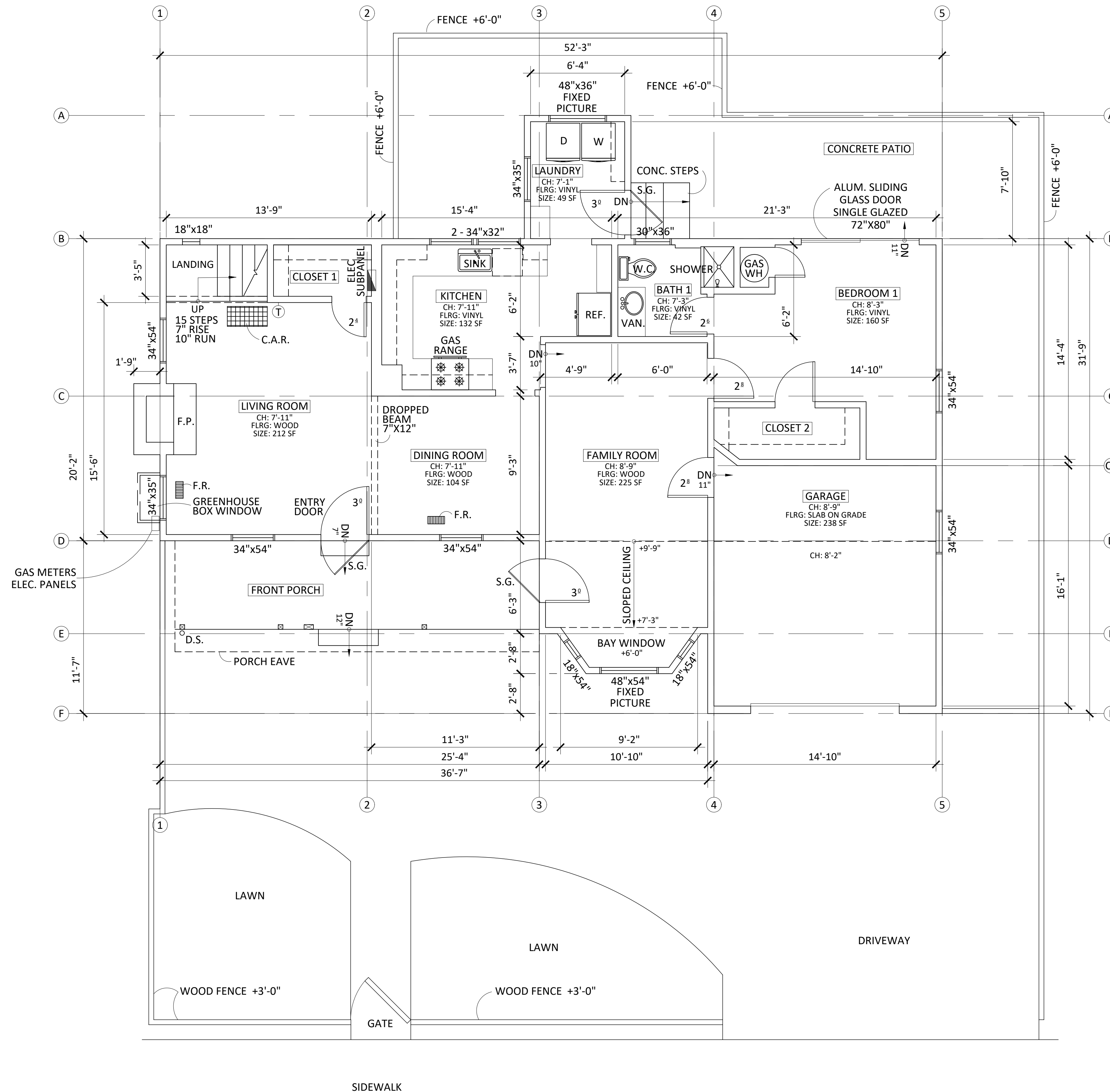
**GENERAL SHEET NOTES**

ALL DRAWINGS ARE FOR INFORMATIONAL USE ONLY. NOT FOR CONSTRUCTION PURPOSES.

**ABBREVIATIONS**

- ALUM. ALUMINIUM
- A.A.R. COLD AIR RETURN
- CONC. CONCRETE
- C.R. CEILING REGISTER
- D. DRYER
- DN. DOWN
- FLRG. FLOORING
- F.R. FLOOR REGISTER
- F.P. FIREPLACE
- REF. REFRIGERATOR
- S.G. SECURITY GATE
- T. THERMOSTAT
- U.O.N. UNLESS OTHERWISE NOTED
- VAN. VANITY
- W. WASHER
- W.C. TOILET
- WH. WATER HEATER

NOTE:  
ALL WINDOWS ARE DOUBLE HUNG/DUAL GLAZED VINYL. U.O.N.



**PLN18-0030**  
**EXHIBIT B**  
**August 2, 2018**

**AS-BUILTS**  
**SINGLE FAMILY RESIDENCE**  
 2101 WEST AVENUE 136TH  
 SAN LEANDRO, CA 94577

REV	DATE	TITLE
	7.16.18	AS-BUILTS

TITLE:  
**AS-BUILT FLOOR PLANS**

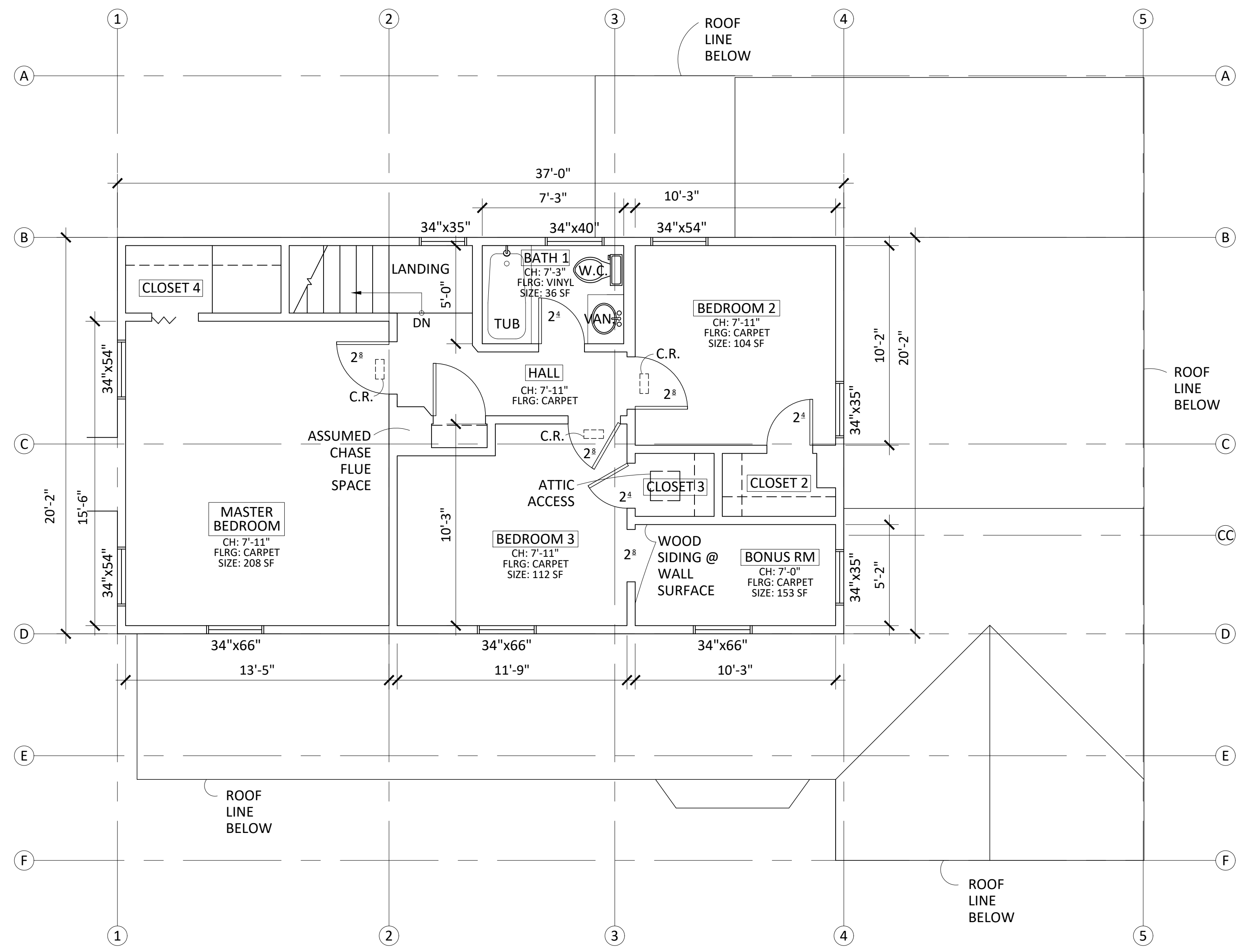
**PLAN SYMBOL LEGEND**

— EXISTING WALLS

SCALE: 1/4" = 1'-0"  
SHEET:

**AB**  
**0.1**





NOTE:  
ALL WINDOWS ARE DOUBLE  
HUNG/DUAL GLAZED VINYL.  
U.O.N.

### GENERAL SHEET NOTES

ALL DRAWINGS ARE FOR INFORMATIONAL USE ONLY. NOT FOR CONSTRUCTION PURPOSES.

### ABBREVIATIONS

- C.A.R. COLD AIR RETURN
- CONC. CONCRETE
- C.R. CEILING REGISTER
- D DRYER
- DN DOWN
- FLRG. FLOORING
- F.R. FLOOR REGISTER
- F.P. FIREPLACE
- REF. REFRIGERATOR
- S.G. SECURITY GATE
- T THERMOSTAT
- U.O.N. UNLESS OTHERWISE NOTED
- VAN. VANITY
- W WASHER
- W.C. TOILET
- WH WATER HEATER

AS-BUILTS  
**SINGLE FAMILY RESIDENCE**  
 2101 WEST AVENUE 136TH  
 SAN LEANDRO, CA 94577

**PLN18-0030**  
**EXHIBIT C**  
**August 2, 2018**

REV	DATE	TITLE
	7.16.18	AS-BUILTS

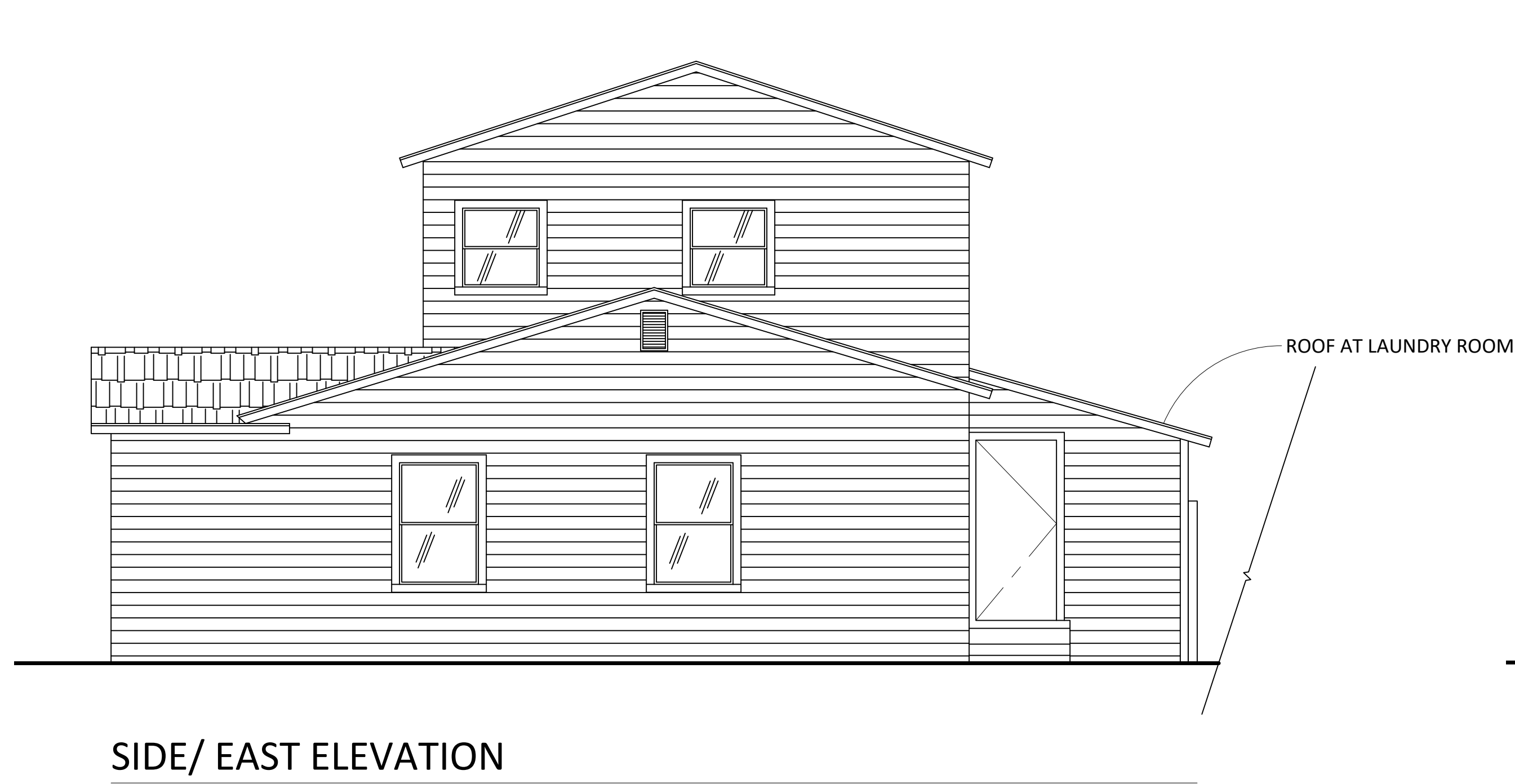
TITLE:  
**AS-BUILT FLOOR PLANS**

### PLAN SYMBOL LEGEND

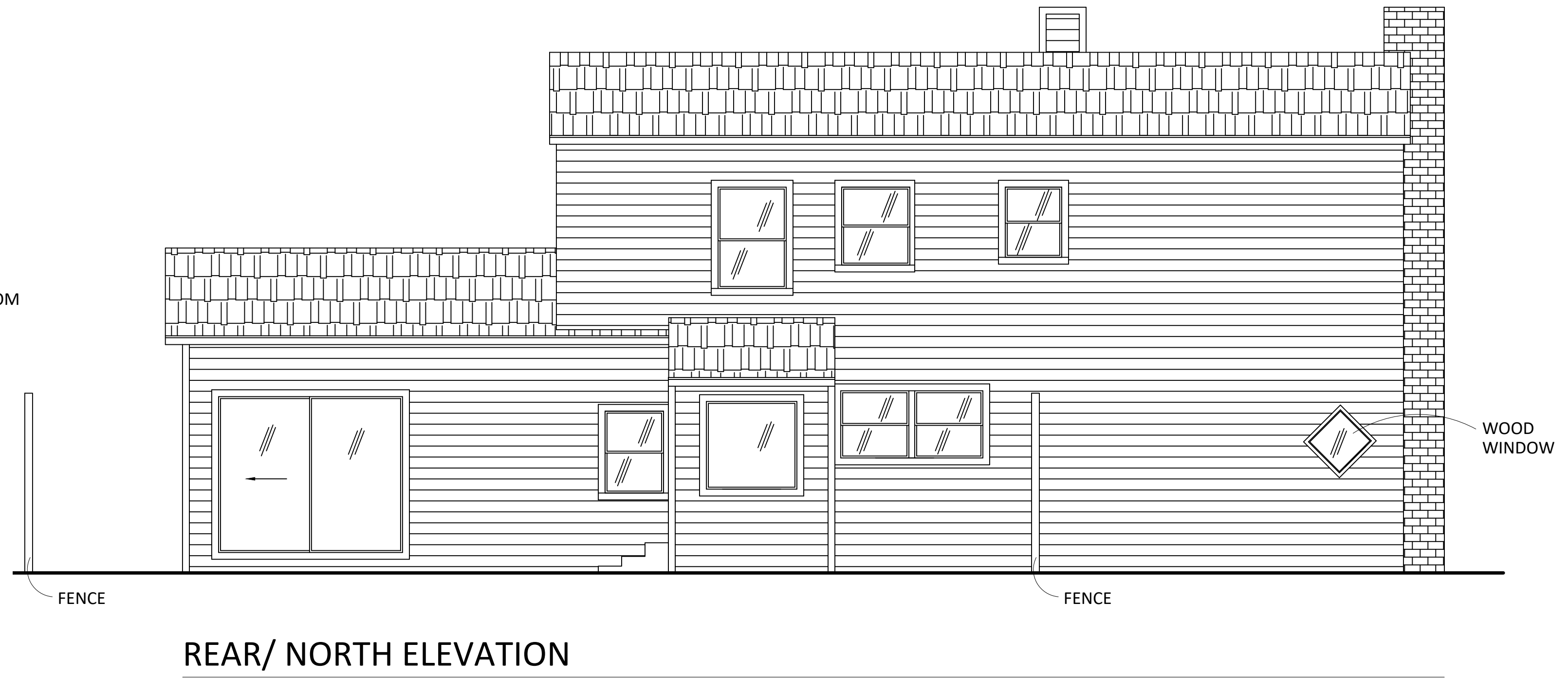
— EXISTING WALL TO REMAIN

SCALE: 1/4" = 1'-0"

SHEET:  
**AB 0.2**



SIDE/ EAST ELEVATION

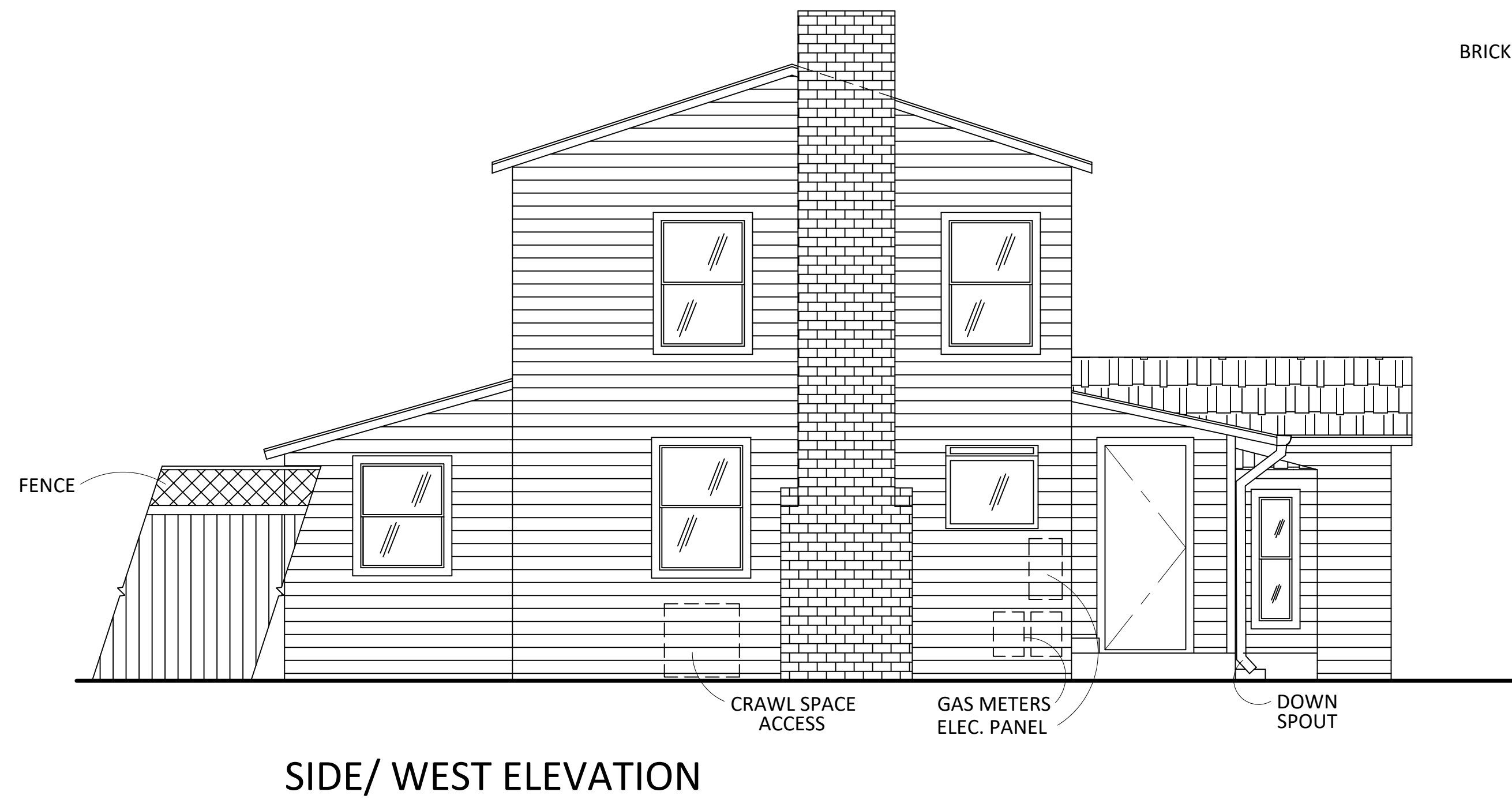


REAR/ NORTH ELEVATION

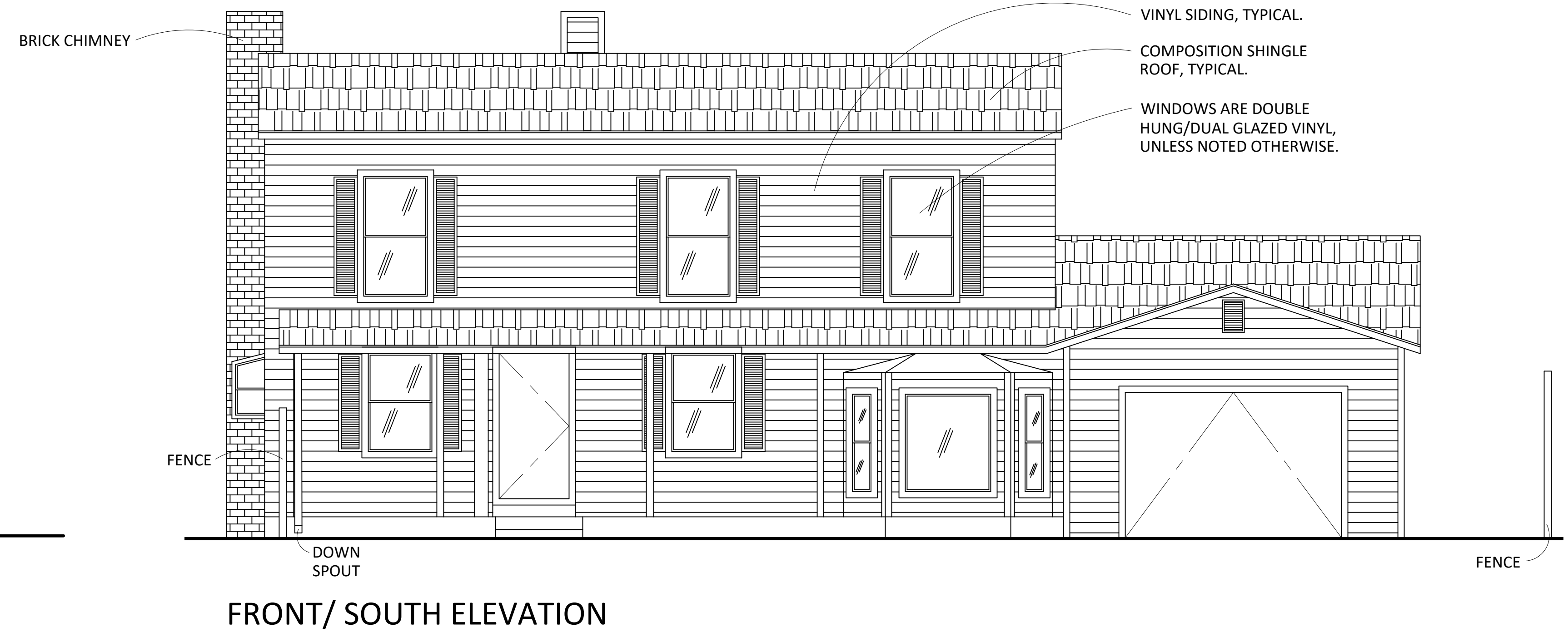
AS-BUILT ELEVATIONS 2  
SCALE: 1/4" = 1'-0"

PLN18-0030  
EXHIBIT D  
August 2, 2018

NOTE:  
SEE FLOOR PLAN SHEETS FOR  
ABBREVIATIONS AND GENERAL NOTES.



SIDE/ WEST ELEVATION



FRONT/ SOUTH ELEVATION

AS-BUILTS  
**SINGLE FAMILY RESIDENCE**  
2101 WEST AVENUE 136TH  
SAN LEANDRO, CA 94577

REV	DATE	TITLE
	7.16.18	AS-BUILTS

TITLE :  
**AS-BUILT ELEVATIONS**

SCALE : SCALE: 1/4" = 1'-0"  
SHEET :

**AB  
0.3**

AS-BUILT ELEVATIONS 2  
SCALE: 1/4" = 1'-0"

**LEGEND:**

- 2x4 w/ 2x8 WOOD STUDS @ 14" O.C. w/ 1/2" TYP. CYP. BD. ON BOTH SIDES (2x6 & 4x GREEN CYP. BD. @ 16" INT. WALLS (1/2" CDX PLYWOOD @ 5/8" @ SHEAR WALLS))
- 2x4 w/ 2x8 WOOD STUDS @ 14" O.C. w/ 1/2" TYP. CYP. BD. INTERIOR SIDE (7/8" GYPSUM PLASTER OVER PARTI. WOODS, JPN. OR WOOD GRING OVER 1/2" BLDG. PAPER (PARTS) OVER 1/2" CDX PLYWOOD (2X7 ELEVATIONS FOR EXTERIOR FINISH))
- 2x4 OR 2x6 WOOD STUDS @ 16" O.C. w/ 5/8" TYP. 1/2" CYP. BD. ON BOTH SIDES (1/2" CDX PLYWOOD @ 5/8" @ SHEAR WALLS)
- WADINGS

**NOTES:**

1. PROVIDE 5/8" TYPE 1/4" CYP. BD. @ ALL WALLS AND CEILING IN STORAGE RM UNDER STAIR
2. PROVIDE W/8 GREEN CYP. BD. @ AROUND SHOWER, TUBS PER SEC. 2512 UBC
3. FURNACE COMBUSTION AIR TO COMPLY WITH SEC. 702 UBC
4. WATER HEATER / FURNACE SHOULD BE STRAPPED & RIGID "8" OFF THE FLOOR PER UFC / LMC
5. FIRE PLACE TO COMPLY IBC @ 5502 FMI
6. PROVIDE FLUORESCENT LIGHTS AT ALL BATH ROOMS
7. ALL SHOWER OR TUB GLASS DOOR SHALL BE TEMPLERD GLASS
8. PROVIDE A MIN. 3 SQ.FT. MECHANICAL VENTILATING SYSTEM FOR BATH, UTILITY ROOM, AND ROOM OF SIMILAR NATURE
9. THE SHOWERS AND TUB/SHOWER WALLS SHALL HAVE A MOISTURE RESISTANT UNDERLAYMENT TO A MIN. 1/8" LIGHT OF 70" ABOVE THE DRAIN FLAT PER SEC. 807.1.3 OF 2001 CBC
10. PROVIDE ARC FULT CIRCUIT INTERRUPTER PROTECTION FOR ALL 120V/1P/15A & 20A RECEPTACLES OUTLETS IN RESIDENTIAL DWELLING UNF. BEDROOMS PER SEC. 210-12

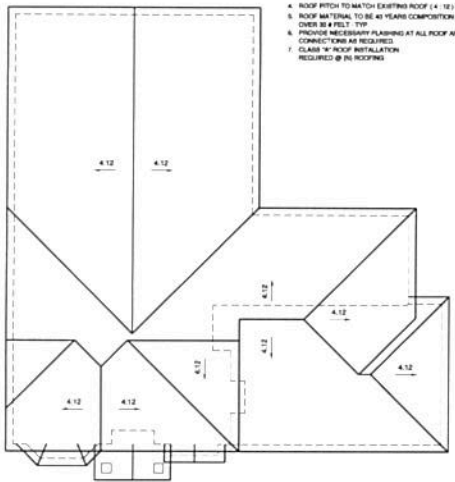
**FLOOR PLAN NOTES**

1. 3" x 2" DOUBLE SINK W/ GARBAGE DISPOSAL
2. DRAINWASHER PROVIDE SURFACE MOUNT AIR GAP (P. REQUIRED)
3. 1/2" CLEAR REF. SPACE PLUMB FOR WATER SUPPLY
4. 82 2" x 30" UNDERFLOOR ACCESS PANEL PER UBC 2507.3
5. PROVIDE "TUBROOM" OR "TUBROOM BOADY" WALL LINING (SEE MECHANICAL CENTER AREA, CLUTURE MANUEL ON S.I.E. PRINTS)
6. ALL PLUMBING FIXTURES SHALL BE OF UPC APPROVED PRODUCTS. THE FIXTURE IN SHOWER SHALL HAVE PRESSURE OR THERMOSTATIC MIXING VALVE THAT LIMIT WATER TEMPERATURE TO 120°
7. BACKUP PEN-CASE SHOWER PAN TIE TO 72" UNLO. PROVIDE ROOF DSH.
8. WATERPROOF GLASS SHOWER ENCLOSURE
9. 82 200 AMP ELECTRICAL METER AND PANEL
10. 82 GAS METER
11. 82 W/KEY LOCK APPROVED PRODUCT
12. PROVIDE 100Z MFL COND. LANDING AT ALL NEW EXTERIOR DOORS & MAIL FROM FINISHED FLOOR
13. 82 18" HIGH WOOD PLATFORM FOR MAIL
14. 82 8" x 42" OVAL TUB
15. PROVIDE MOTOR ACCESS PANEL AT OPTIONAL HYDROMASSAGE BATHLESS (VERIFY)
16. MOTOR ACCESS PANEL
17. 82 2" x 30" ATTIC ACCESS PANEL PER UBC 808.1
18. 1/2" SLEW-IN FRAME OVEN COMBINATION W/ WALK-IN HOOD, LIGHT & FAN EXIST TO OUTSIDE AND
19. ISLAND COUNTER W/ SERVICE SINK & 2 OFI OUTLETS PER OWNER
20. ALL 1" W/ VENT TO OUTSIDE AIR
21. MEDICINE CABINET
22. TOILET ACCESS AREA SHALL BE 24" (MINIMUM)
23. PROVIDE FUEL GAS VALVE
24. 82 SEISMIC REINFORCEMENT WINDOWS & EXISTING WINDOWS LOCATION BY OWNER, TYP.
25. DRYER VENT PER UMC, ISOLS
26. SERVICE SINK OR MOP SINK PER OWNER
27. TEMPERATURE & PRESSURE RELIEF VALVE
28. 82 SEISMIC REINFORCEMENT WINDOWS & EXISTING WINDOWS LOCATION BY OWNER, TYP.
29. DRYER VENT PER UMC, ISOLS
30. SERVICE SINK OR MOP SINK PER OWNER

PLN18-0030  
EXHIBIT E  
August 2, 2018

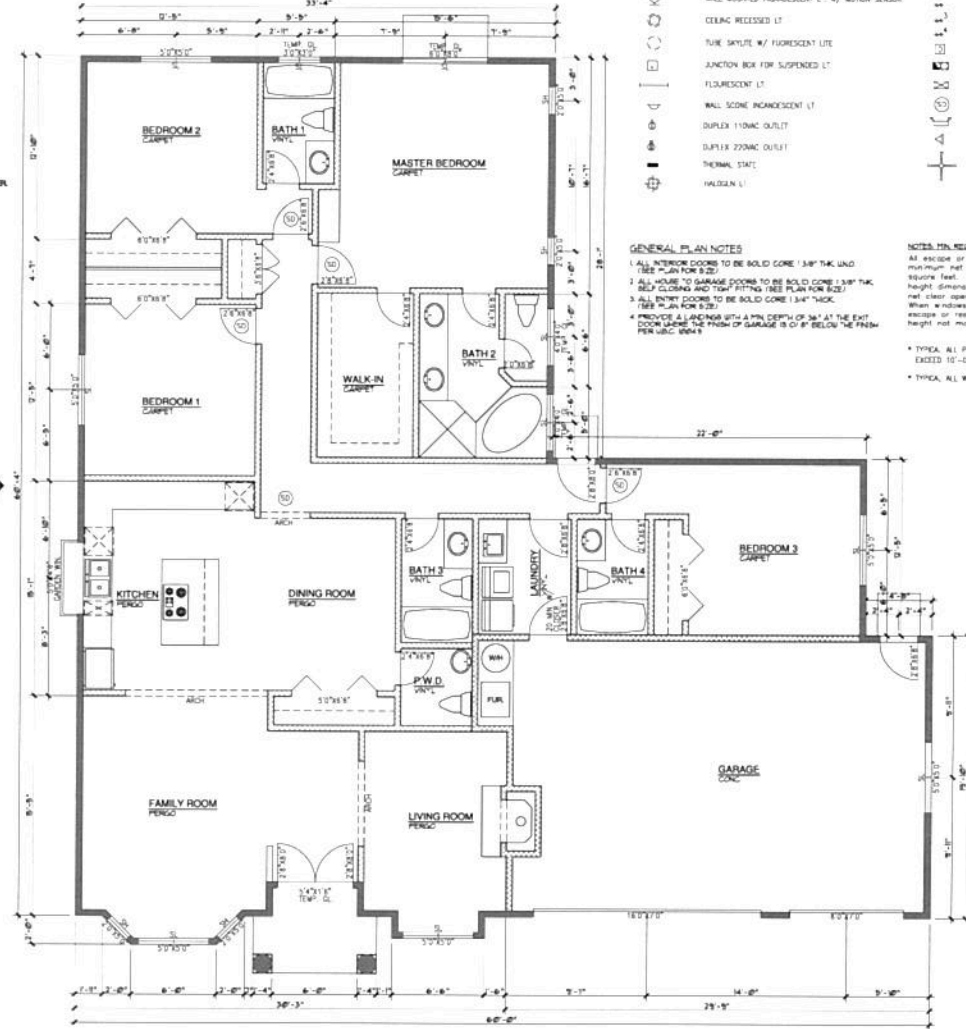
**NOTE**

1. PROVIDE POSITIVE DRAINAGE TO ROOF DRAIN FROM ALL PARTS OF THE ROOF
2. 8" Ø C-PIPE INDICATES 8" Ø IN 8" Ø S.I. DOWNPOUTS LOCATED AS SHOWN
3. PROVIDE 2" IN Ø S.I. ØSSE GUTTER OVER 2" x 8" BRIDGE FASCIA BOARD, TYP.
4. ROOF PITCH TO MATCH EXISTING ROOF (4:12) TYP. UNLD.
5. ROOF MATERIAL TO BE 40 YEAR COMPOSITION SHINGLE OVER 5/8" F.E.L.T. TYP.
6. PROVIDE NECESSARY FLASHING AT ALL ROOF AND WALL CONNECTIONS AS REQUIRED
7. GLASS W/ ROOF INSTALLATION REQUIRED @ RE ROOFING



PROPOSED ROOF PLAN

1/8" 2



PROPOSED FLOOR PLAN

1/4" 1

**LEGEND**

- CEILING DOWN (1)
- CEILING SURFACE MOUNTED LIGHT
- WALL MOUNTED INCANDESCENT LT. w/ MOTION SENSOR
- CEILING RECESSED LT
- TUBE SKYLITE w/ FLUORESCENT LITE
- JUNCTION BOX FOR SUSPENDED LT
- FLUORESCENT LT
- WALL SCENE INCANDESCENT LT
- DUPLEX 110VAC OUTLET
- DUPLEX 220VAC OUTLET
- THERMAL STAT
- HALOGEN LT
- TELEPHONE JACK
- DATA JACK
- TV JACK
- LIGHT SWITCH
- 3 WAY LIGHT SWITCH
- 4 WAY LIGHT SWITCH
- DIMMER
- HEAT LAMP FAN
- SUPPLY AIR DIFFUSER
- 110V HOT WIRE SMOKE DETECTOR
- MOTION SENSOR
- STAKE
- FAN AND LIGHT

**GENERAL PLAN NOTES**

1. ALL INTERIOR DOORS TO BE SOLID CORE 1 3/4" TYP. UNL. (SEE PLAN FOR SIZES)
2. ALL HOUSE TO GARAGE DOORS TO BE SOLID CORE 1 3/4" TYP. SELF CLOSING AND TOP FITTING (SEE PLAN FOR SIZES)
3. ALL ENTRY DOORS TO BE SOLID CORE 1 3/4" THICK (SEE PLAN FOR SIZES)
4. PROVIDE 4 1/2" LANDING WITH A MIN. DEPTH OF 36" AT THE EXIT DOOR WHERE THE FINISH OF GARAGE IS 0' 8" BELOW THE FINISH PER UBC 808.1

**NOTES PER REQUIREMENT FOR EMERGENCY ESCAPE**

- ALL EXISTING OR NEW WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A MINIMUM HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR PER UBC 803.1
- TYPICAL ALL PLUMBING WALLS (BEARING WALLS AND MAIL) EXCEED 10'-0" HIGH SHALL BE 2X8 STUDS @ 16" O.C.
- TYPICAL ALL WATER SUPPLY PIPE TO BE COPPER

**LHC**

L.H.C. Construction  
21000-A Big Bam Way  
Saratoga, CA 95070  
(408) 867-9331



OWNER  
Kingkeo & Somone  
2101 West Ave. 136th  
San Leandro, CA 94577  
(510) 909-6683

**SAMREUANG  
RESIDENCE ADDITION**  
2101 WEST AVENUE 136TH  
SAN LEANDRO, CALIFORNIA 94577

REVISIONS:

NO.	DESCRIPTION

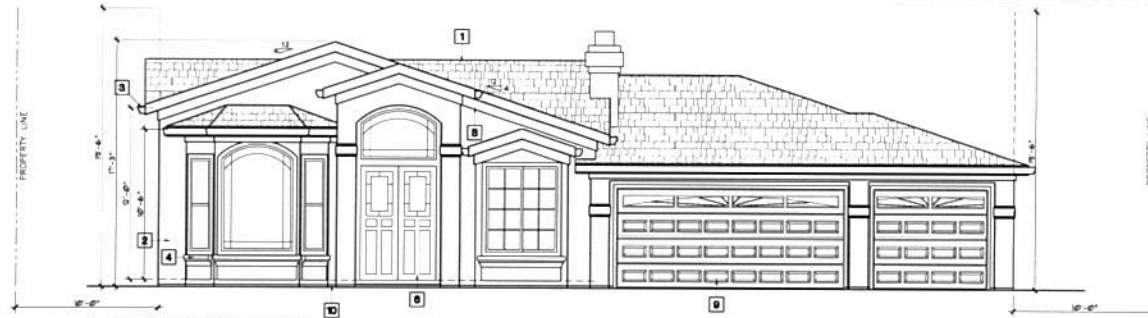
SHEET TITLE  
PROPOSED FLOOR PLAN  
PROPOSED ROOF PLAN

DATE: JUL 2, 2018 PROJECT NO: 01-B  
SCALE: AS SHOWN DRAWN: L.C.  
SHEET

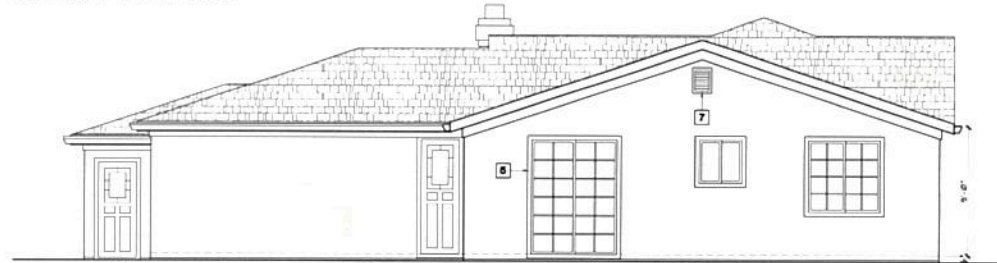
A-1

OF 3 SHEETS

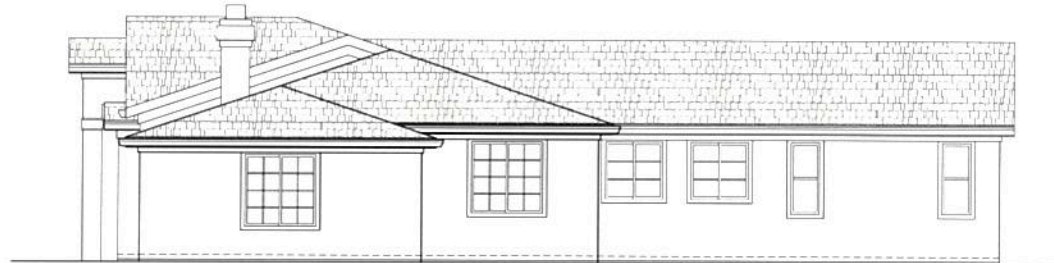
- ELEVATION NOTES:
1. 40 YEAR COMPOSITION SHINGLE.
  2. 3 COAT STUCCO FINISH TO MATCH EXISTING.
  3. WOOD TRIM & SILL TO MATCH EXISTING.
  4. 4" PORTED STUCCO & WINDOW SILL.
  5. 4" PORTED STUCCO AROUND WINDOW / DOOR.
  6. PRE-FABRICATED WOOD ENTRANCE DOOR.
  7. DECORATIVE WOOD GABLE VENT BY 4" TRIM.
  8. DECORATED PORTED TRIM.
  9. PRE-FABRICATED GARAGE DOOR.
  10. WEEP SCREWS: A MIN. OF 3/8" DIA. CORROSION-RESISTANT WEEP SCREWS IN A MIN. VERTICAL ATTACHMENT FLANGE OF FOUNDATION PLATE LINE ON ALL EXTERIOR STGD WALLS OF STUCCO. THE SCREWS SHALL BE PLACED A MIN. OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE WHICH WILL ALLOW RAINFALL WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.



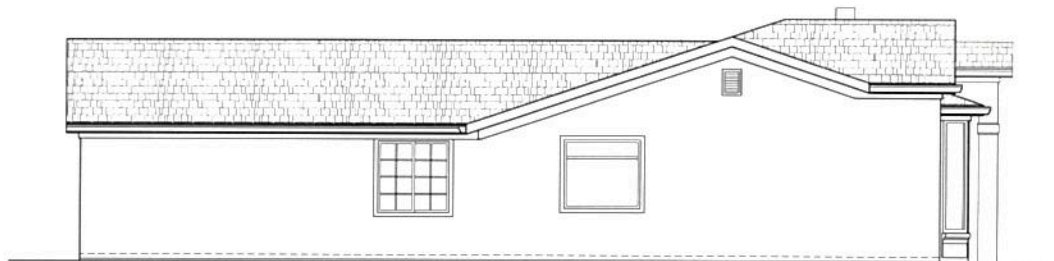
A. FRONT ELEVATION



B. REAR ELEVATION



C. RIGHT ELEVATION



D. LEFT ELEVATION

PLN18-0030  
EXHIBIT F  
August 2, 2018

**LHC**

L.H.C. Construction

21000-A Big Basin Way  
Saratoga, CA 95070  
(408) 867-9311



OWNER  
Kingkeo & Somone  
2101 West Ave. 136th  
San Leandro, CA 94577  
(510) 909-8683

**SAMREUANG  
RESIDENCE ADDITION**  
2101 WEST AVENUE 136TH  
SAN LEANDRO, CALIFORNIA 94577

REVISIONS


SHEET TITLE  
PROPOSED ELEVATIONS

DATE: JUL 2, 2018 PROJECT NO: 181-5  
SCALE: AS SHOWN DRAWN: L-C  
SHEET

A-2

OF 3 SHEETS