

14143 WASHINGTON AVE

SAN LEANDRO, CA

WASHINGTON AVE
SAN LEANDRO, CALIFORNIA

SHEET INDEX

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LANDSCAPE

LCL.1 PRELIMINARY LANDSCAPE PLAN
LCL.2 PRELIMINARY LANDSCAPE PLAN

Exhibit C



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600 Grand Ave, Suite 302
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Tel: 949-863-1770
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Owner:



989 N Sepulveda Blvd, Ste 750
El Segundo, CA 90245
Tel: 310-414-5400

Project:

14143 Washington Ave

SAN LEANDRO, CA

Consultants:

Civil: KIER & WRIGHT
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: GREEN DESIGN
Fire Protection:
Soils Engineer:

Title: TITLE SHEET

Project Number: 20503
Drawn by: KZ
Date: 7/22/2021
Revision:

Sheet:

DAB-A0.1

SHEET INDEX



VICINITY MAP

OWNER:

FIRST INDUSTRIAL REALTY TRUST, INC
PHONE: 510-851-6769
CONTACT: RICHARD POOLUS

ARCHITECT:

HPA, INC.
600 GRAND AVE, STE 302
OAKLAND, CA 94610
PHONE: (949) 862-2128
CONTACT: DEBIE TRIANI

CIVIL ENGINEER:

KIER & WRIGHT
2850 COLLIER CANYON ROAD
LIVERMORE, CA 94551
PHONE: 925-245-8788
CONTACT: BRANDON CLASS

LANDSCAPE:

GREEN DESIGN
1464 POPINJAY DRIVE
RENO, NEVADA 95521
PHONE: 775-829-1364
CONTACT: BARBARA HATCH

ELECTRICAL:

RPM ENGINEERS, INC
102 DISCOVERY
IRVINE, CA 92618
PHONE: 949-450-1229
CONTACT: MARIO CASTRO

PROJECT REPRESENTATIVES

PROPERTY OWNER

FIRST INDUSTRIAL REALTY TRUST, INC
PHONE: 510-851-6769
CONTACT: RICHARD POOLUS

APPLICANT'S REPRESENTATIVE

HPA, INC.
600 GRAND AVE, STE 302
OAKLAND, CA 94610
TEL: 949-862-2128
ATTN: DEBIE TRIANI

ADDRESS OF THE PROPERTY

14143-14273 WASHINGTON AVE
SAN LEANDRO, CA 94578

ASSESSOR'S PARCEL NUMBER

778-1222-3-3 778-1222-4-3 778-1222-5-3
778-1222-6-15 778-1222-6-17 778-1222-6-18

LEGAL DESCRIPTION

SEE CIVIL PLANS

PROJECT DATA

CONSTRUCTION TYPE : III B
OCCUPANCY TYPE : S-1
ACCESSORY OCCUPANCY B
SPRINKLER SYSTEM : YES, ESFR

SITE AREA : 150,487 SF / 3.45 AC
BUILDING AREA : 52,269 SF

MAX. POTENTIAL OFFICE : 5,000 SF
WAREHOUSE : 47,269 SF
TOTAL BUILDING AREA : 52,269 SF

EXISTING ZONING : CC
PROPOSED ZONING : IG

ALLOWABLE BUILDING HEIGHT PER ZONING IG : 35 FT

A MAXIMUM BUILDING HEIGHT OF 50 FEET IN THE IC, IL, AND IT DISTRICTS MAY BE APPROVED BY THE ZONING ENFORCEMENT OFFICIAL.

PROVIDED HEIGHT : 47 FT MAX FROM FIN.GROUND TO TOP OF ROOF (SEE ELEVATION)

PARAPET HEIGHT : 3-5 FEET TOP OF ROOF TO TOP OF PARAPET

TOTAL HEIGHT FROM FINISH GRADE TO TOP OF PARAPET : 47 FEET

REQUIRED LANDSCAPE COVERAGE PER ZONING IG : 5% MIN

PROVIDED : 15.4%

ALLOWABLE LOT COVERAGE PER ZONING IG : 75 % MAX

PROVIDED LOT COVERAGE : 34.7 %

ALLOWABLE FAR PER ZONING IG : 1.0

PROVIDED FAR : 0.34

ALLOWABLE STORY PER CBC : 2 STORY

PROVIDED STORY : 1 STORY

REQUIRED FRONT SETBACK FOR BUILDING OVER 40 FT : 20 FT MIN

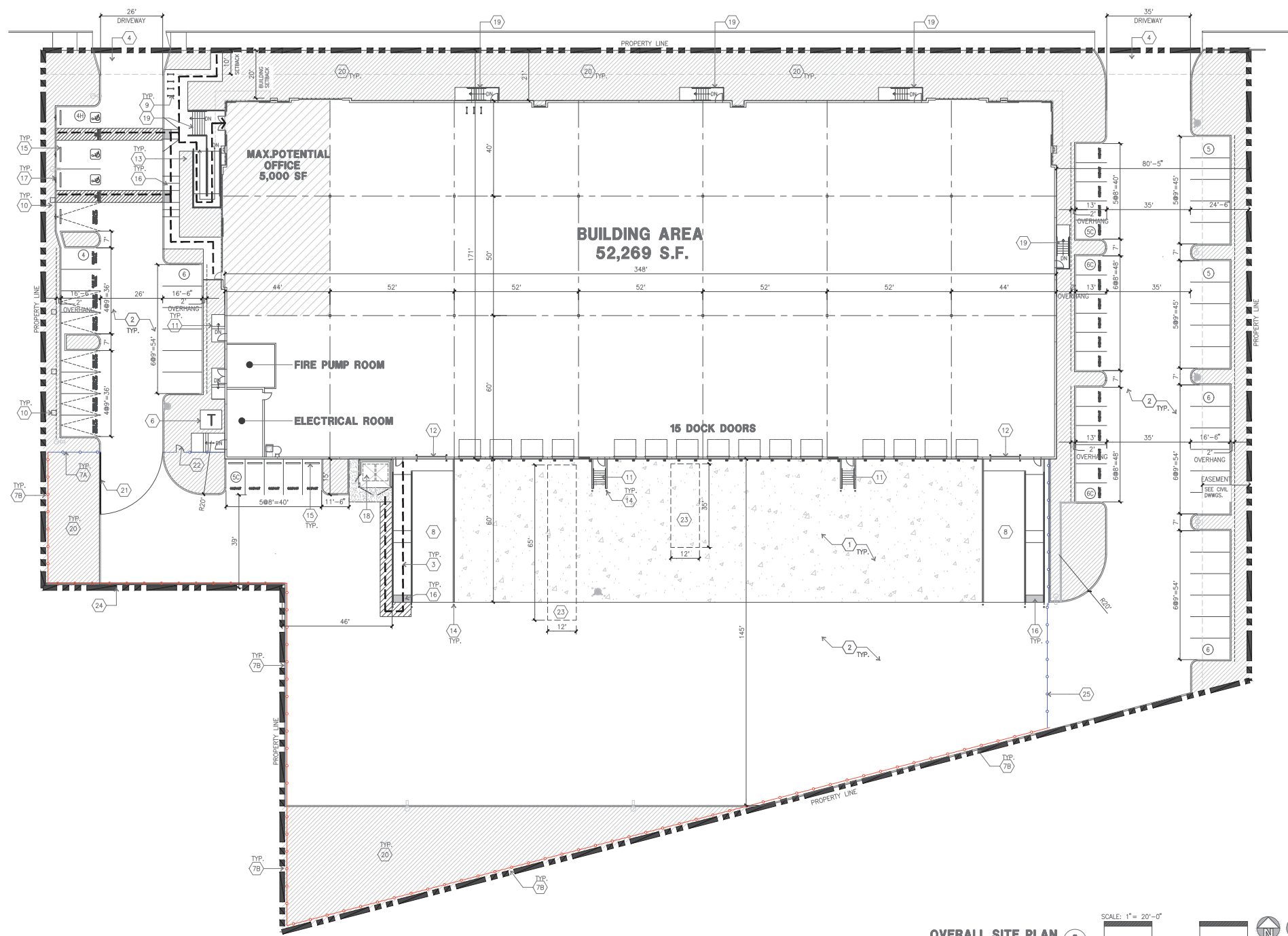
PROVIDED : 20 FT

AUTO PARKING ANALYSIS

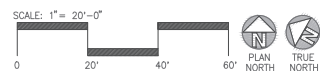
PER CITY OF SAN LEANDRO OFF STREET PARKING AND LOADING FOR MANUFACTURING AND WAREHOUSE FACILITIES. TOTAL PROVIDED PARKING IS 62 STALLS

	REQUIRED	PROVIDED
PARKING COUNT	WAREHOUSE : 1/1500 SF = 32 MAX OFFICE : 1/ 300 SF = 17 TOTAL : 49	(27) STANDARD + (22) COMPACT
ACCESSIBLE PARKING	3	1 VAN ACCESSIBLE + 2 ACCESSIBLE STANDARD
CLEAN AIR VEHICLE	9 STALLS	2 CLEAN AIR/ VANPOOL + 7 CLEAN AIR/ VANPOOL /EV (1 ACCESSIBLE +5 STANDARD)
FUTURE CHARGING STATION	7 STALLS	
LONG TERM BIKE PARKING 5 % +4 (PER CALGREEN)	3,1+ 4=8	8
SHORT TERM BIKE PARKING 5%+1 (PER CALGREEN)	3,1+1=5	6
LOADING SPACE	(1) 12 FT X35 FT (1) 12 FT X65 FT	(1) 12 FT X35 FT (1) 12 FT X65 FT SEE SITEPLAN

PROJECT DATA & CODE SUMMARY



OVERALL SITE PLAN



SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE (AC) PAVING
- 3 ACCESSIBLE PATH OF TRAVEL MIN. WIDTH TO BE 48". SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%. SEE CIVIL DRAWINGS FOR GRADING PLAN
- 4 DRIVEWAY APRONS
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
- 6 APPROXIMATE LOCATION OF TRANSFORMER.
- 7A 8" HIGH BLACK POWDER COATED METAL PICKET FENCE. SEE DAB-AD.1 FOR DETAIL.
- 7B 8" HIGH CHAIN LINK FENCE. SEE DAB-AD.1 FOR DETAIL.
- 8 CONCRETE RAMP WITH CONCRETE GUARD WALL.
- 9 BIKE RACK. SEE TABULATION FOR CALCULATION. SEE DAB-AD.1 FOR ENLARGED PLAN AND DETAILS
- 10 FUTURE ELECTRIC VEHICLE CHARGER.

- 11 EXTERIOR CONCRETE STAIR AND GUARDRAIL . PAINTED METAL HANDRAIL
- 12 12' x 14' DRIVE-IN DOOR
- 13 LANDSCAPE AREA. SEE LANDSCAPE DWGS.
- 14 CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- 15 PRE-CAST CONC. WHEEL STOP.
- 16 TRUNCATED DOMES.
- 17 ACCESSIBLE PARKING STALL SIGN.
- 18 TRASH ENCLOSURE. SEE DAB-AD.1
- 19 CONCRETE STAIR / RAMP WITH BLACK POWDER COA METAL RAILING AND HANDRAIL TO COMPLY WITH CBC
- 20 STORM TREATMENT AREA. SEE CIVIL DRAWINGS
- 21 METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT
- 22 PEDESTRIAN GATE WITH EGRESS HARDWARE
- 23 OFF STREET LOADING SPACES FOR CLASSIFICATION GROUP C 30,000-100,000 SF
- 24 RETAINING WALL. SEE CIVIL DRAWINGS
- 25 SLIDING GATE

SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER, DATE, PROJECT NUMBER #
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.

SITE LEGEND

- CONCRETE PAVING, SEE "C" DRWGS. FOR THICKNESS
- LANDSCAPED AREA
- STANDARD PARKING STALL (9' x 18.5') W/ 2 FT OVERHANG
- CLEAN AIR/VANPOOL/EV CONDUIT STUB FOR FUTURE EV
- CLEAN AIR/ VANPOOL/EV WITHOUT CONDUIT STUB FOR FUTURE EV
- 26' FIRE LANE
- COMPACT PARKING STALL 8' x 15'
- ACCESSIBLE PARKING STALL (9' x 18.5') + 5' W/ ACCESSIBLE AISLE
- ACCESSIBLE PARKING (VAN) STALL (12' x 18.5') + 5' W/ ACCESSIBLE AISLE
- ACCESSIBLE PATH OF TRAVEL MIN. WIDTH TO BE 48" SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%. SEE CIVIL DRAWINGS FOR GRADING PLAN
- CHAIN LINK FENCE. SEE A3/DAB-AD.1 FOR DETAILS
- PICKET FENCE. SEE A4/DAB-AD.1 FOR DETAILS

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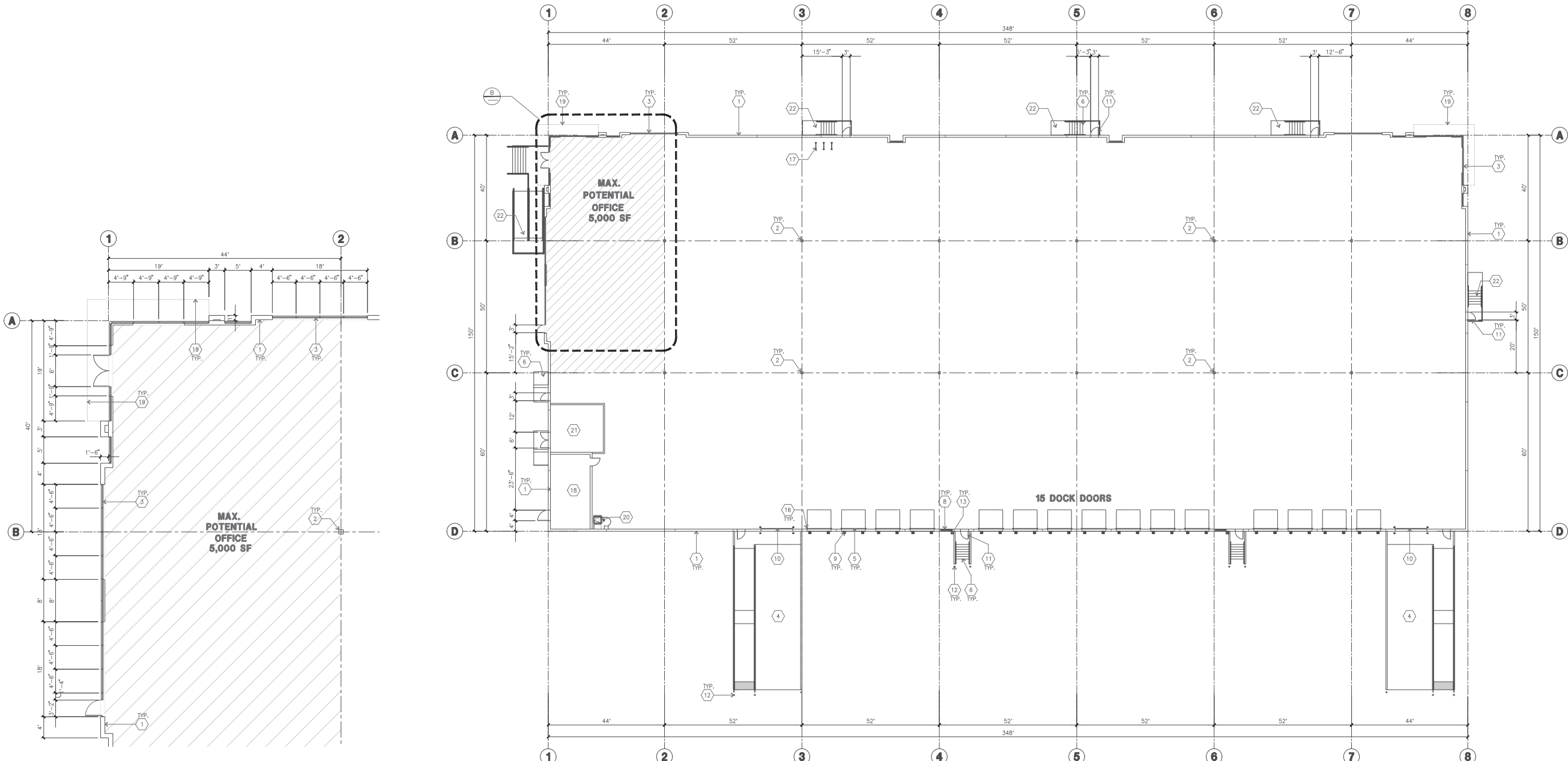
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- Structural:
- Mechanical:
- Plumbing:
- Electrical:
- Landscape: GREEN DESIGN
- Fire Protection:
- Soils Engineer:



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0" **B**

OVERALL FLOOR PLAN
scale: 1/16" = 1'-0" **A**

KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- 5 8' X 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 6 EXTERIOR CONCRETE STAIR AND GUARDRAIL, PAINTED METAL HANDRAIL.
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12' MAX.
- 8 4'X8' METAL LOUVER.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 12 CONC. FILLED GUARD POST. 6" DIA. U.N.O., 48"H.
- 13 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- 14 INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- 15 INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- 16 Z GUARD.
- 17 LONG TERM BIKE RACK. SEE TABULATION FOR CALCULATION. SEE DAB-60.1 FOR ENLARGED PLAN AND DETAILS.
- 18 ELECTRICAL ROOM.
- 19 METAL CANOPY ABOVE.
- 20 ROOF ACCESS LADDER.
- 21 FIRE PUMP ROOM.
- 22 CONCRETE STAIR / RAMP WITH BLACK POWDER COATED METAL GUARD RAIL AND HANDRAIL TO COMPLY WITH CBC 11B

GENERAL NOTES - FLOOR PLAN

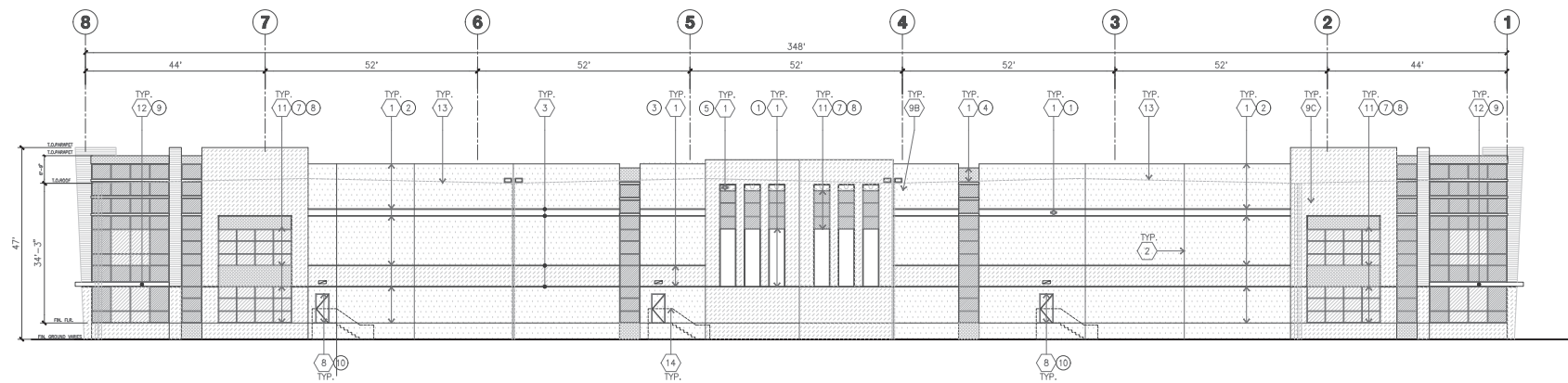
1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 125' O.C. MAX. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL CYP, BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED. SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 8" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AS.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 11B-216.6
17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE

FLOOR SLAB AND POUR STRIPS REQ.

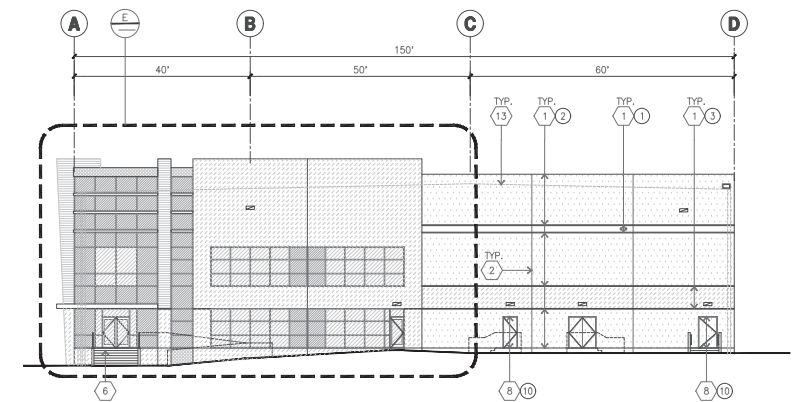
- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
1. FLOOR COMPACTION - 95%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB: SEE STRUCTURAL DRAWINGS FOR DETAILS.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER ACI 302-R-08
 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE FF50 FL35 MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15 MIL STEGO OR EQUAL) CONFORMING TO ASTM E 1745 UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION. CONCRETE SLAB IN OFFICE AREAS, WHERE SAND OVER VISQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
 12. SEAL CONCRETE SLAB W/ "LAPOLITH" SEALER
 13. SHURESEAL/LAPOLITH OR APPROVED EQUAL FLOOR SEALER APPLIED ONE COAT AT END OF JOBS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
 14. NO PERMANENT GREASE PEN MARKS ON FLOOR SLAB.
 15. NO RED CHALK MARKS. ALL CONSTRUCTION MARKS TO BE REMOVED BEFORE SEALING.
 16. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000/BURKE EPOXY INJECTION RESIN OR EQUAL.
 17. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
 18. MW-50 AT SPEED BAY ONLY. PRICE AS ADDITIONAL. ALTERNATE

PAINT NOTES

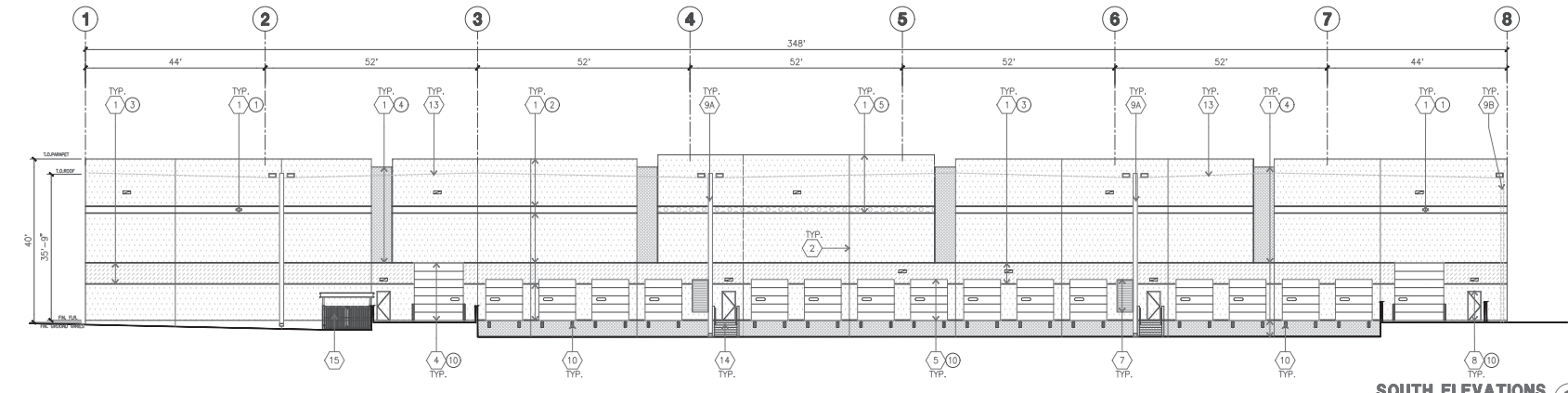
- INTERIOR CYP, BD. WALLS : SINGLE COAT OF ACRYLIC PAINT
FRAZEE "WHITE" ON INTERIOR WALLS.
- ALL STRUCTURAL STEEL MEMBER INC. COLUMNS, LEDGERS, JOISTS, & GIRDERS SHALL HAVE LIGHT GRAY SHOP PRIMER.
- INTERIOR STEEL COLUMNS : PAINT OSHA YELLOW 10' A.F.F. ABOVE 12' APPLY ONE COAT OF WHITE PAINT
- PIPE BOLLARDS SHALL HAVE TWO COATS OF ENAMEL "OSHA YELLOW".
- EXTERIOR CONCRETE WALLS WILL HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.
- ALL EXTERIOR HOLLOW METAL DOORS AND DOCK DOORS TO HAVE ONE COAT OF EXTERIOR PRIMER AND TWO COATS OF ACRYLIC PAINT TO MATCH ADJACENT SURFACE COLORS. PIPE STEEL HANDRAILS SHALL HAVE TWO COATS OF LATEX PAINT.



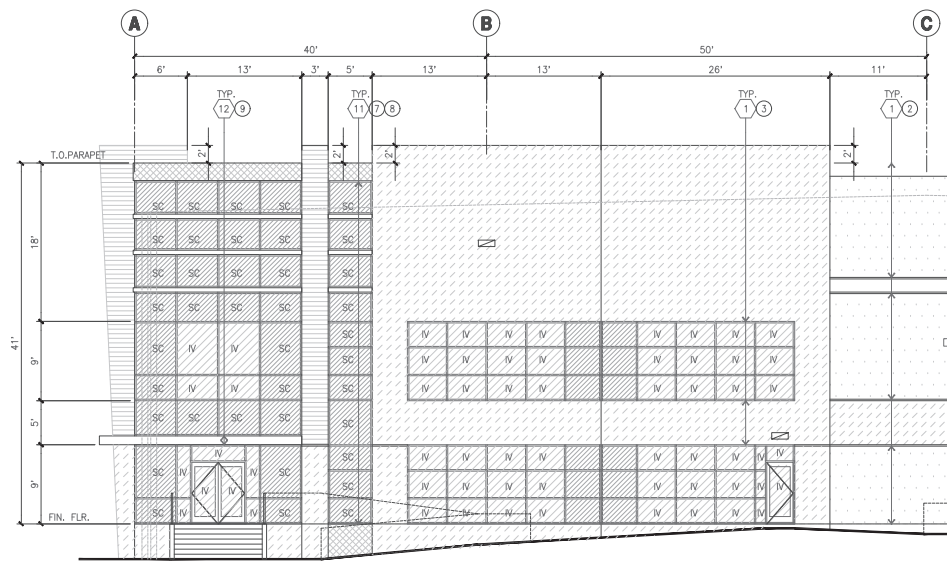
NORTH ELEVATIONS
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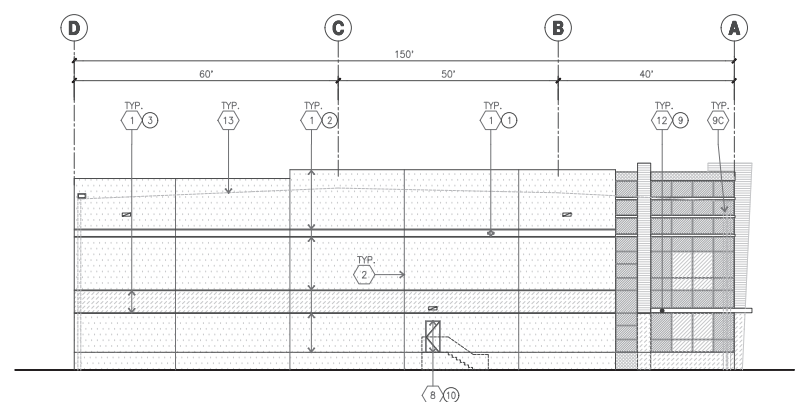
WEST ELEVATIONS
scale: 1/16" = 1'-0"



SOUTH ELEVATIONS
scale: 1/16" = 1'-0"



ENLARGED WEST ELEVATIONS
scale: 1/8" = 1'-0"



EAST ELEVATIONS
scale: 1/16" = 1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL(PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR CONCRETE STAIR / RAMP WITH METAL GUARDRAIL AND HANDRAIL.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS.
- 9A EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 9B INTERIOR ROOF DRAIN AND OVERFLOW SCUPPER.
- 9C INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL TUBE STEEL CANOPY.
- 13 TOP OF ROOF LINE BEYOND.
- 14 EXTERIOR CONCRETE STAIR AND GUARDRAIL, METAL HANDRAIL.
- 15 TRASH ENCLOSURE.

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION GLASS, METAL ATTACHMENTS AND UNTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED. EXPOSURE CLASS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS AND RAMP TO MATCH BUILDING COLOR. RAILINGS TO MATCH BUILDING COLOR.
- M. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL COLOR : DUNN EDWARDS DEW380 WARM WHITE
- 2 CONCRETE TILT-UP PANEL COLOR : DUNN EDWARDS DE6239 LATTE FROTH
- 3 CONCRETE TILT-UP PANEL COLOR : DUNN EDWARDS DE6241 LUNAR LANDING
- 4 CONCRETE TILT-UP PANEL COLOR : DUNN EDWARDS DE6244 SMOKY FOREST
- 5 CONCRETE TILT-UP PANEL COLOR : DUNN EDWARDS DE5601 GOLF COURSE
- 6 CONCRETE TILT-UP PANEL COLOR : IPE WOOD
- 7 MULLIONS COLOR : BLACK MULLION
- 8 GLAZING COLOR : GREY GLAZING
- 9 CANOPY COLOR : BLACK CANOPY
- 10 DOOR COLORS : MATCH BUILDING COLOR

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV INSULATED VISION GLASS
 - SC SPANDREL GLASS WITH CONCRETE BEHIND
 - V SINGLE LITE VISION GLASS
 - IV : INSULATED VISION GLASS
1/4" GRAYLITE II + 1/4" SUNGATE 400 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.35 VLT: 58%
MINIMUM VT TO BE 0.42 PER 2019 CEC TABLE 140.3-B
 - SC : SPANDREL WITH CONCRETE BEHIND
1/4" CLEAR WITH GRAYLITE II OPACICOAT PAINTED ON REFLECTIVE.
INSTALLED ON CONCRETE.
 - V : VISION GLASS
1/4" GRAYLITE II
MULLIONS : BLACK



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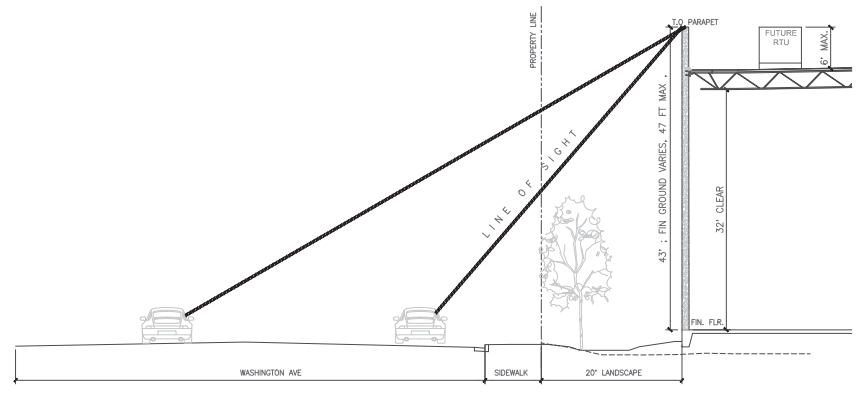
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Fire Protection:
Soils Engineer:

Title: SITE SECTION

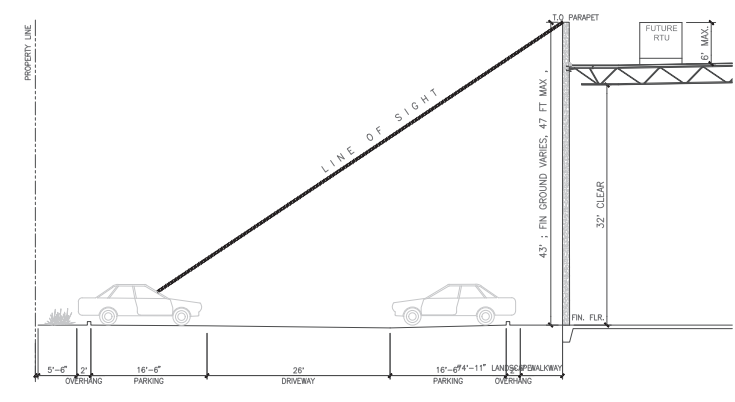
Project Number: 20503
Drawn by: KZ
Date: 7/22/2021
Revision:

Sheet:

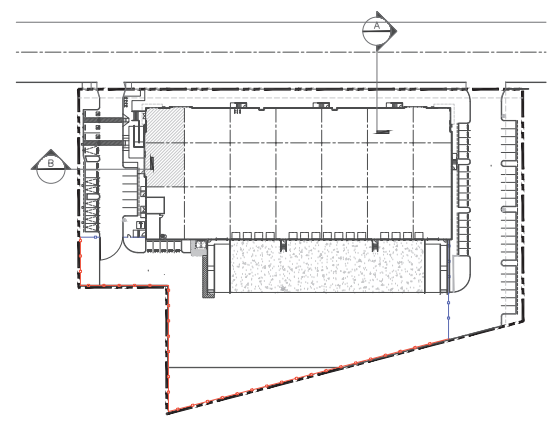
DAB-A4.1



SITE SECTION A
scale: 1" = 10'-0"



SITE SECTION B
scale: 1" = 10'-0"

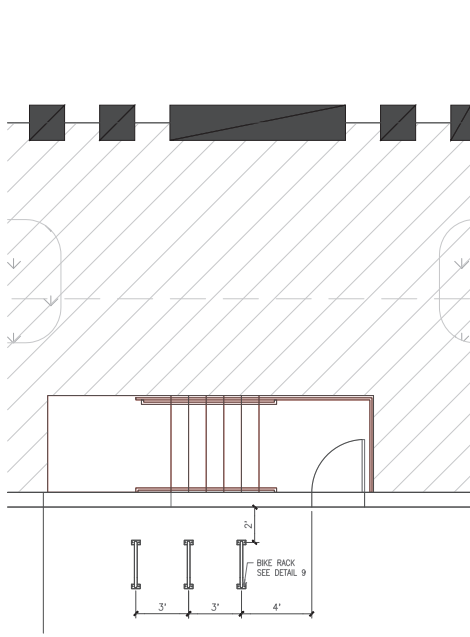


KEYMAP B
scale: 1" = 60'-0"



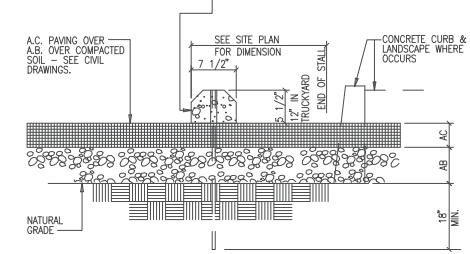
SITE SECTION GENERAL NOTES

- APPROXIMATE HEIGHT, LOCATION, AND OTHER DETAILS SHOWING FUTURE ROOFTOP EQUIPMENT WILL NOT EXCEED HEIGHT OF BUILDING PARAPET OR WILL BE ADEQUATELY SCREENED FROM STREET VIEWS

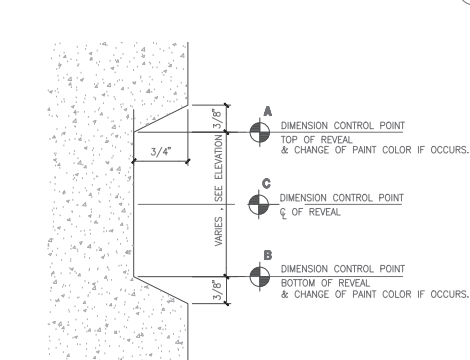


SHORT TERM BIKE RACK
scale: NTS

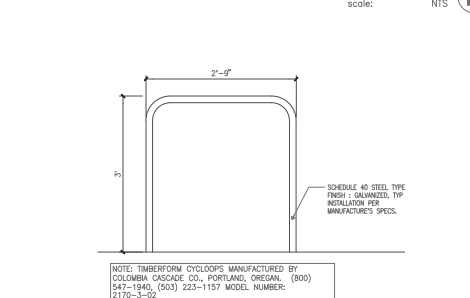
6'-0" LONG PRECAST REINFORCED CONCRETE WHEEL STOP SHARED BY 2 PARKING SPACES, OR A 4'-0" LONG PRECAST REINFORCED CONCRETE WHEEL STOP FOR 1 PARKING SPACE. USE (2) #4 REBAR, EMBEDDED 18" MINIMUM INTO NATURAL GRADE & SET FLUSH WITH TOP OF WHEEL STOP. SEE SITE PLAN FOR LOCATION OF WHEEL STOPS.



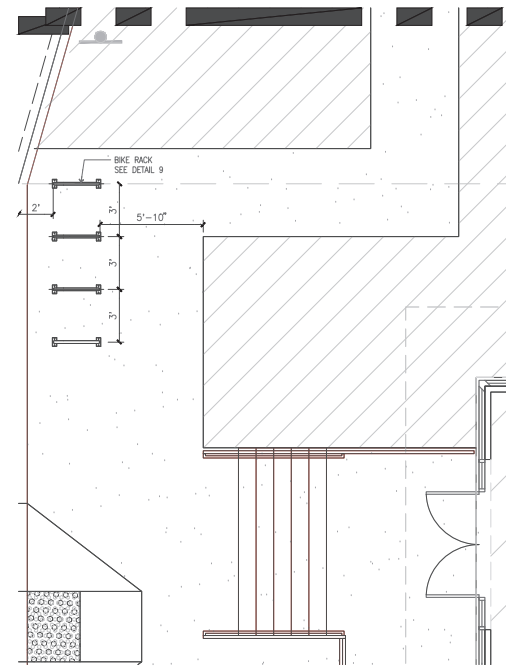
WHEEL STOP DETAIL
scale: NTS



HINGES DETAIL
scale: NTS



BIKE RACK DETAIL
scale: NTS

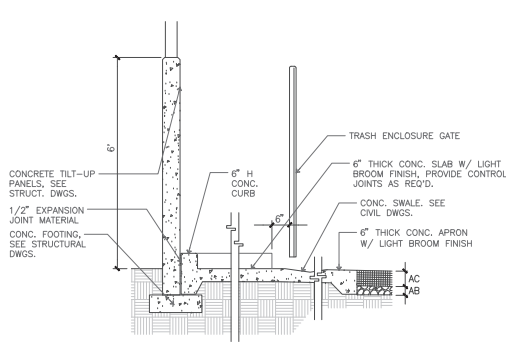


SHORT TERM BIKE RACK
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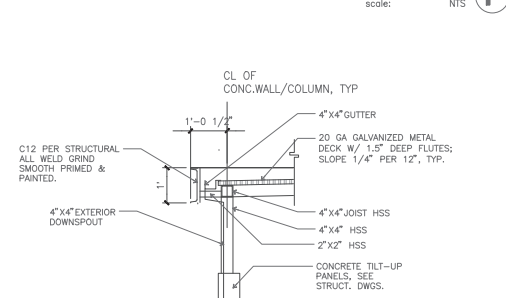
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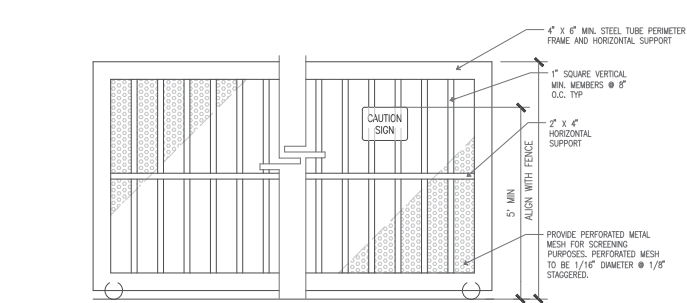
WHEEL STOP DETAIL
scale: NTS



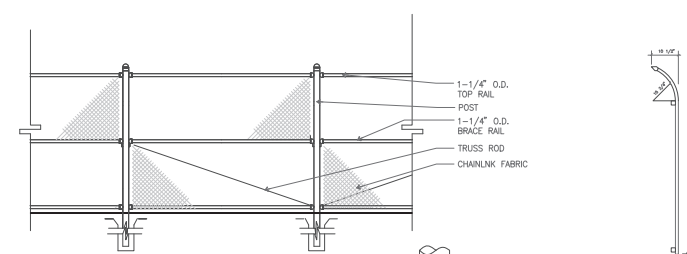
HINGES DETAIL
scale: NTS



BIKE RACK DETAIL
scale: NTS

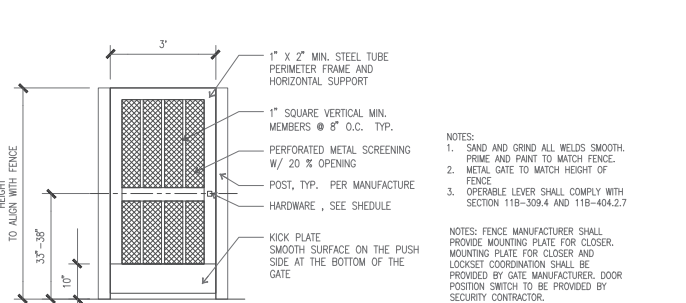


2 SLIDING METAL GATE

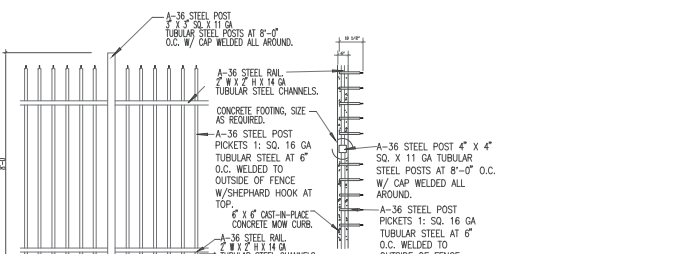


3 CHAINLINK FENCE

ALL MATERIALS ARE PIPE, STEEL, BLACK & HOT DIPPED ZINC COATED (GALV). CHAINLINK FENCE AND GATE CONTRACTOR TO DESIGN AND DETAIL ALL MEMBERS AND CONNECTIONS IN ACCORDANCE WITH WIND VELOCITY = 110 MPH, EXPOSURE C.



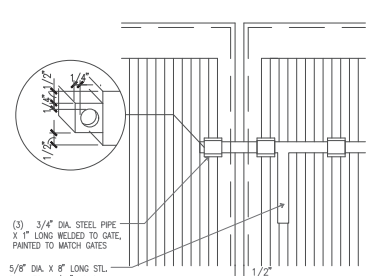
1 PEDESTRIAN GATE



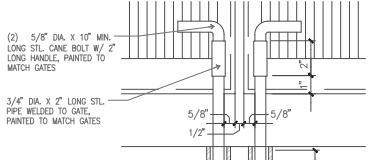
4 PICKET FENCE GATE

NOTES:
1. ALL TERMINAL POSTS TO BE 3" W X 3" D X 11 GA STEEL TUBES W/ CAP WELDED ALL AROUND.
2. ALL FENCE COMPONENTS TO BE PRIMED AND PAINTED.
3. CONCRETE MON CURB IS REQUIRED WHEN FENCE IS ADJACENT TO TURF AREAS ONLY. ALL OTHER PLANTER AREAS ADJACENT TO FENCE WILL NOT HAVE MON CURB. SAND AND GRIND ALL WELDS SMOOTH.

FENCE DETAIL
scale: NTS

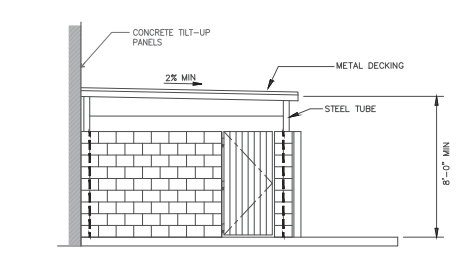


1 LATCH DETAIL

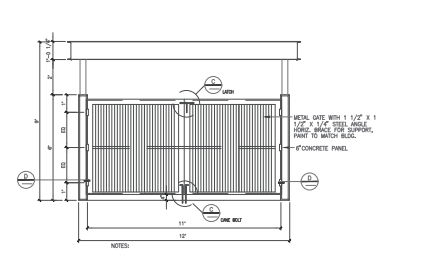


2 CANE BOLT DETAIL

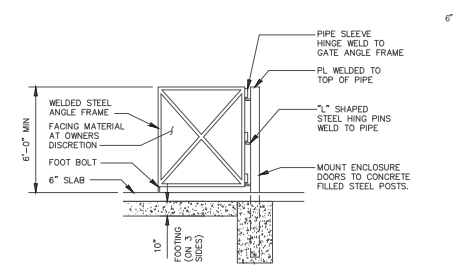
LATCH AND CANE BOLT DETAIL
scale: NTS



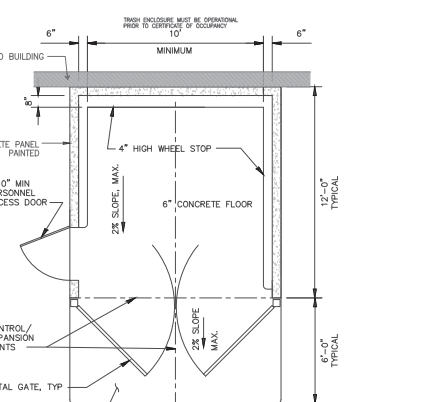
3 ELEVATION



2 FRONT ELEVATION

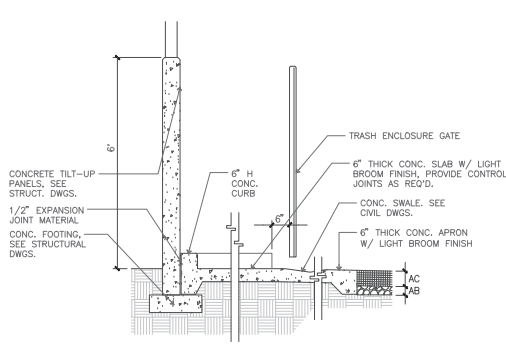


4 GATE FRAME AND FOOTING

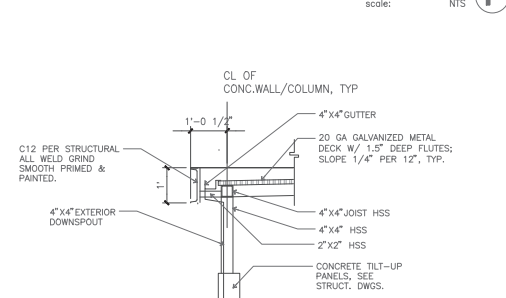


1 ENLARGED PLAN

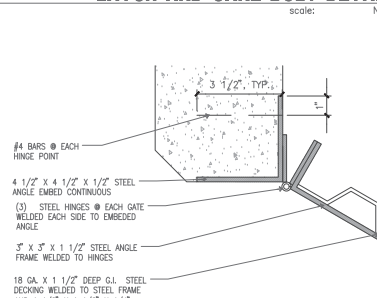
TRASH ENCLOSURE
scale: 1/4" = 1'-0"



WALL / SLAB DETAIL
scale: NTS



ROOF DETAIL
scale: NTS



HINGES DETAIL
scale: NTS

HPA
architecture

hpa, inc.
600 Grand Ave, suite 302
Oakland, ca
94610
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com

LICENSED ARCHITECT
FOR THE STATE OF CALIFORNIA
3-31-23
RENEWAL DATE

Owner:

FIRST
INDUSTRIAL
REALTY-TRUST

989 N Sepulveda Blvd, Ste 550
El Segundo, CA 90245
Tel: 310-414-5400

Project:

14143 Washington Ave

SAN LEANDRO, CA

Consultants:

Civil: KIER & WRIGHT
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: GREEN DESIGN
Fire Protection:
Soils Engineer:

Title: DETAILS

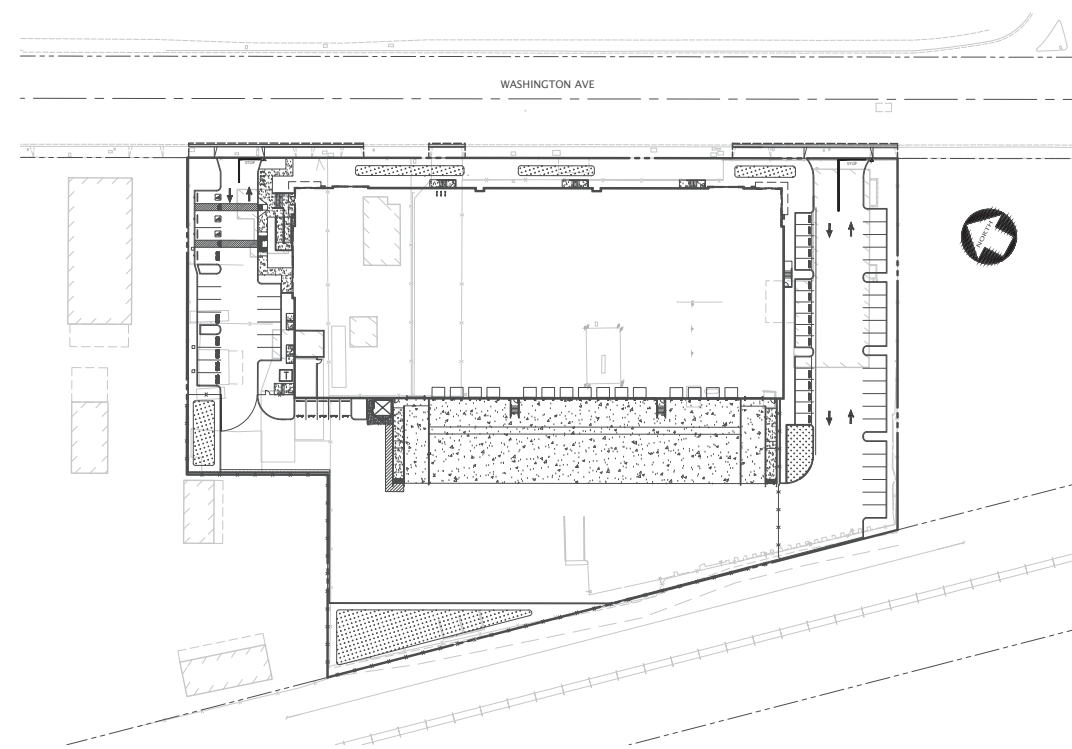
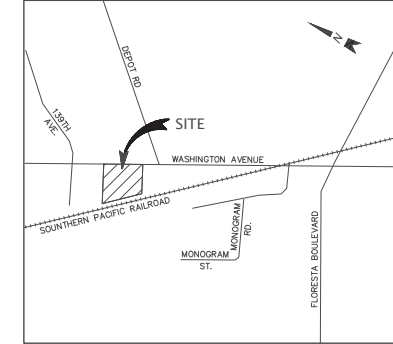
Project Number: 20503
Drawn by: KZ
Date: 7/22/2021
Revision:

Sheet:

DAB-AD.1

PRELIMINARY SITE IMPROVEMENT PLANS

OF
14143-14273 WASHINGTON AVENUE
FOR
FIRST INDUSTRIAL REALTY TRUST, INC
SAN LEANDRO, CALIFORNIA



SHEET INDEX

SHEET	DESCRIPTION
C1.0	COVER SHEET
C1.1	SECTIONS
C2.0	TOPOGRAPHIC SURVEY
C2.1	TREE PROTECTION AND REMOVAL PLAN
C3.0	PRELIMINARY SITE PLAN
C4.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C5.0	PRELIMINARY UTILITY PLAN
C6.0	SIGNING AND STRIPING PLAN
C7.0	PRELIMINARY STORM WATER QUALITY CONTROL PLAN
C8.0	FIRE TRUCK CIRCULATION
C8.1	WB-50 TRUCK TURNING - EAST LOADING DOCK
C8.2	WB-50 TRUCK TURNING - WEST LOADING DOCK
C8.3	WB-67 TRUCK TURNING - EAST LOADING DOCK
C8.4	WB-67 TRUCK TURNING - WEST LOADING DOCK

DEVELOPER

FIRST INDUSTRIAL REALTY TRUST, INC
ATTN: RICHARD POOLIS
3620 HAPPY VALLEY RD, SUITE 201
LAFAYETTE, CA 94509

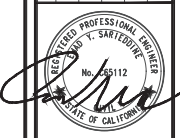
ARCHITECT

HFA, INC.
ATTN: DEBBE TRIAM, AIA
600 GRAND AVENUE, SUITE 302
OAKLAND, CA 94610
949-862-2128

CIVIL ENGINEER

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
ATTN: EMAD SAREDDINE, P.E.
2850 COLLIER CANYON ROAD
LIVERMORE, CA 94551
925-245-8788

NO.	REVISION	BY	DATE
1	PLANNING RESUBMITTAL		02/22/2022
2	PLANNING RESUBMITTAL		07/26/2022



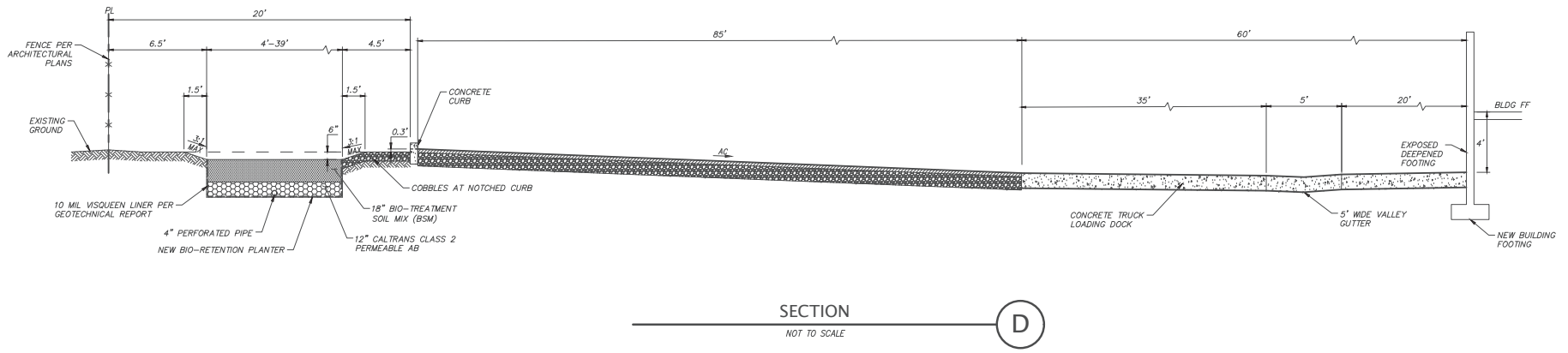
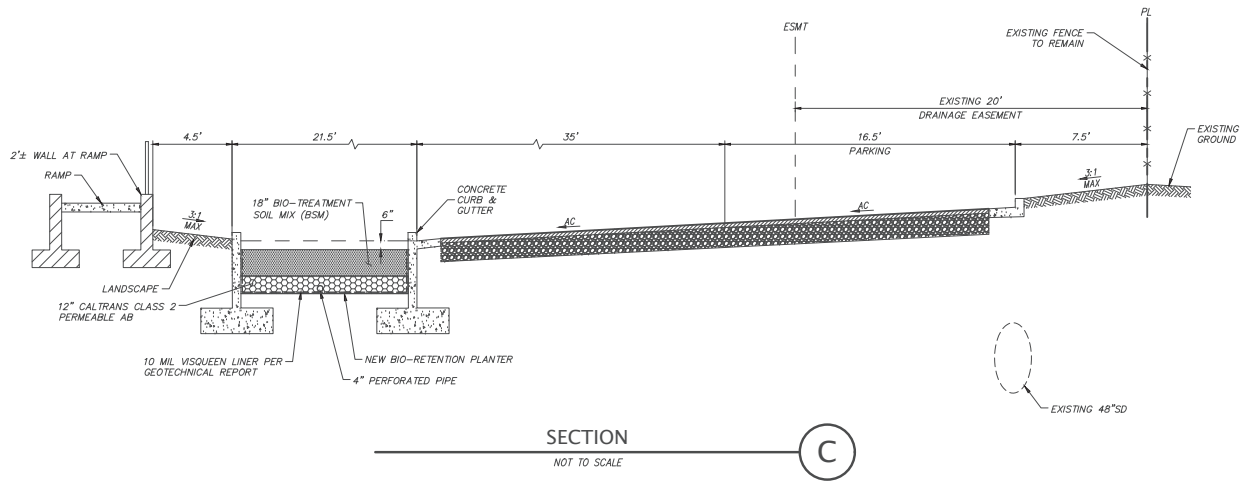
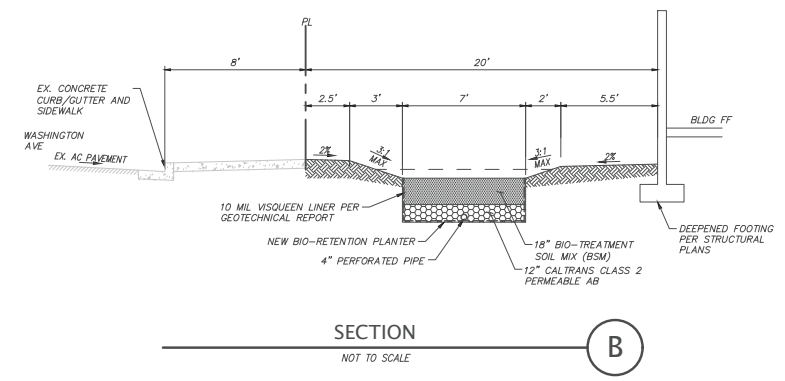
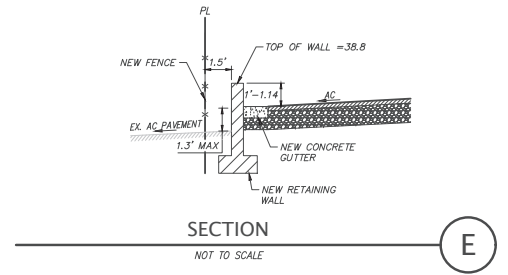
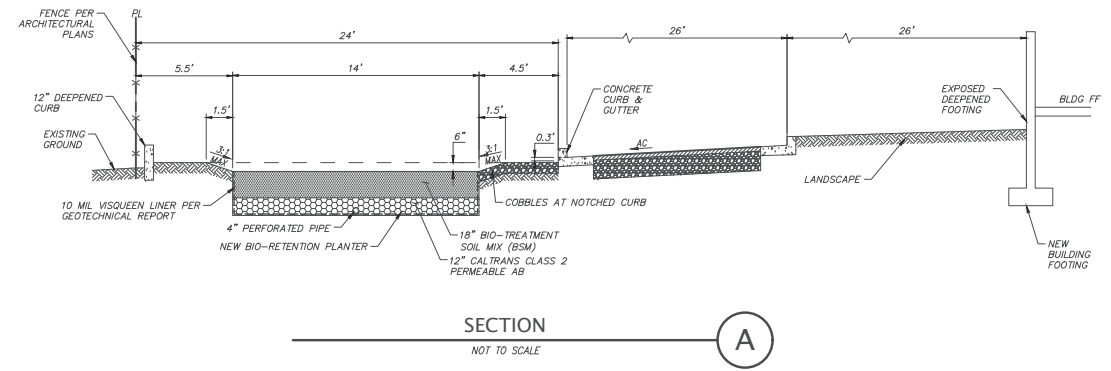
KIER+WRIGHT
2850 COLLIER CANYON ROAD
LIVERMORE, CA 94551
Phone: (925) 245-8788
www.kierwright.com

CALIFORNIA
COVER SHEET
OF
14143-14273 WASHINGTON AVENUE
FOR
FIRST INDUSTRIAL REALTY TRUST
SAN LEANDRO.

DATE	APRIL, 2022
SCALE	AS SHOWN
DESIGNER	RSC
DRAWN	RSC
JOB NO.	A21528
SHEET	C1.0
OF	14 SHEETS



Know what's below.
Call before you dig.



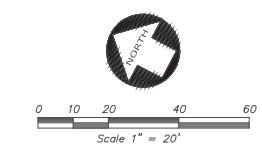
NO.	BY	REVISION
1	PLANNING RESUBMITTAL	02/22/2022
2	PLANNING RESUBMITTAL	07/26/2022

	KIER+WRIGHT 2850 Collier Canyon Road Livermore, CA 94551 Phone: (925) 445-8788 www.kierwright.com
--	--

SECTIONS OF 14143-14273 WASHINGTON AVENUE FOR FIRST INDUSTRIAL REALTY TRUST	SAN LEANDRO, CALIFORNIA
---	----------------------------

DATE	APRIL, 2022
SCALE	AS SHOWN
DESIGNER	RSC
DRAWN:	RSC
JOB NO.	A21528
SHEET	C1.1
OF	14 SHEETS

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LEGEND

	ASPHALT BERM
	BUILDING LINE
	CENTERLINE
	COMMUNICATION LINE
	CONCRETE BLOCK WALL
	CONCRETE CURB
	CONCRETE CURB & GUTTER
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	DRIVEWAY
	EASEMENT LINE
	EDGE OF PAVEMENT
	ELECTRIC LINE
	FENCE LINE
	GAS LINE - VALVE & METER
	JOINT TRENCH LINE
	LOT LINE
	MONUMENT LINE
	OVERHEAD POWER LINE
	PROPERTY LINE
	RAILROAD TRACKS
	SANITARY SEWER LINE - MANHOLE & CLEANOUT
	SIDEWALK
	SPOT ELEVATION
	STORM DRAIN LINE - MANHOLE & CATCH BASIN
	STORM DRAIN LINE OVER 24\"/>
	TELEPHONE LINE
	CABLE TELEVISION LINE
	WATER LINE
	BACKFLOW PREVENTION DEVICE
	ELECTROLINER
	FIRE HYDRANT
	GAS METER
	GUY ANCHOR
	NAIL FOUND
	POWER POLE / JOINT POLE
	RAILROAD SPIKE FOUND
	TRANSFORMER
	TRAFFIC SIGN
	UTILITY BOX
	UTILITY LINE MARKER
	WATER VALVE

ABBREVIATIONS

BB	BOTTOM OF BOX
BLRD	BUILDING
BLRD	BUILDING
BSL	BUILDING SETBACK LINE
CB	CATCH BASIN
COM	COMMUNICATION
CTV	CABLE TV LINE
DOCK	DOCK
E	EAST
FF	FINISH FLOOR
FND	FOUND
I	INVERT ELEVATION
LS	LAND SURVEYOR
N	NORTH
NAL	MAGNESIUM NAIL
NE	NORTH EAST
OF	OFFICIAL RECORD
OH	OVERHEAD
RE	RIGHT OF WAY
ROW	RIGHT OF WAY
S	SOUTH
SDMH	STORM DRAIN MANHOLE
SE	SOUTH EAST
SSMH	SANITARY SEWER MANHOLE
SW	SOUTH WEST
TAB	TOP OF BERM
TC	TOP OF CURB
UKD	UNKNOWN DESTINATION
W	WEST
WD	WOOD

- NOTES**
- THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED IN A COMMITMENT FOR TITLE INSURANCE. PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED AS OF JANUARY 22, 2021. ORDER NUMBER NCS-1049046-CH2, FURNISHED TO KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. BY FIRST INDUSTRIAL REALTY TRUST, INC. ON FEBRUARY 10, 2021. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
 - ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
 - THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
 - THIS SURVEY DOES NOT SHOW THE LOCATIONS OF THE FOLLOWING UNDERGROUND UTILITY LINES DUE TO THE FACT THAT THE CLIENT HAS NOT FURNISHED KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. WITH ANY PLANS THAT DELINEATE THEIR LOCATIONS: ELECTRIC LINES, GAS LINES, WATER LINES, TELEPHONE LINES, CABLE TELEVISION LINES, NITROGEN LINES, (IF ANY) FIBER OPTIC LINES (IF ANY). ALL PARTIES SHOULD CONSIDER THIS SURVEY AS PRELIMINARY WITH REGARDS TO THE LOCATION OF THE UTILITY FACILITIES. UPON RECEIPT OF THIS INFORMATION KIER & WRIGHT WILL UPDATE THIS SURVEY AND REISSUE IT.
 - PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE STRUCTURES, IF ANY, ARE NOT SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VALVES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
 - THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR ALAMEDA COUNTY, CALIFORNIA, MAP NUMBER 0601022596 FOR COMMUNITY NUMBER 060013 (CITY OF SAN LEANDRO), WITH AN EFFECTIVE DATE OF AUGUST 3, 2009, AS BEING LOCATED IN FLOOD ZONE "X-UNSHADED". ACCORDING TO FEMA THE DEFINITION OF ZONE "X-UNSHADED" IS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

INFORMATION WAS OBTAINED FROM THE CITY OF SAN LEANDRO, PUBLIC WORKS DEPARTMENT ON FEBRUARY 18, 2021.

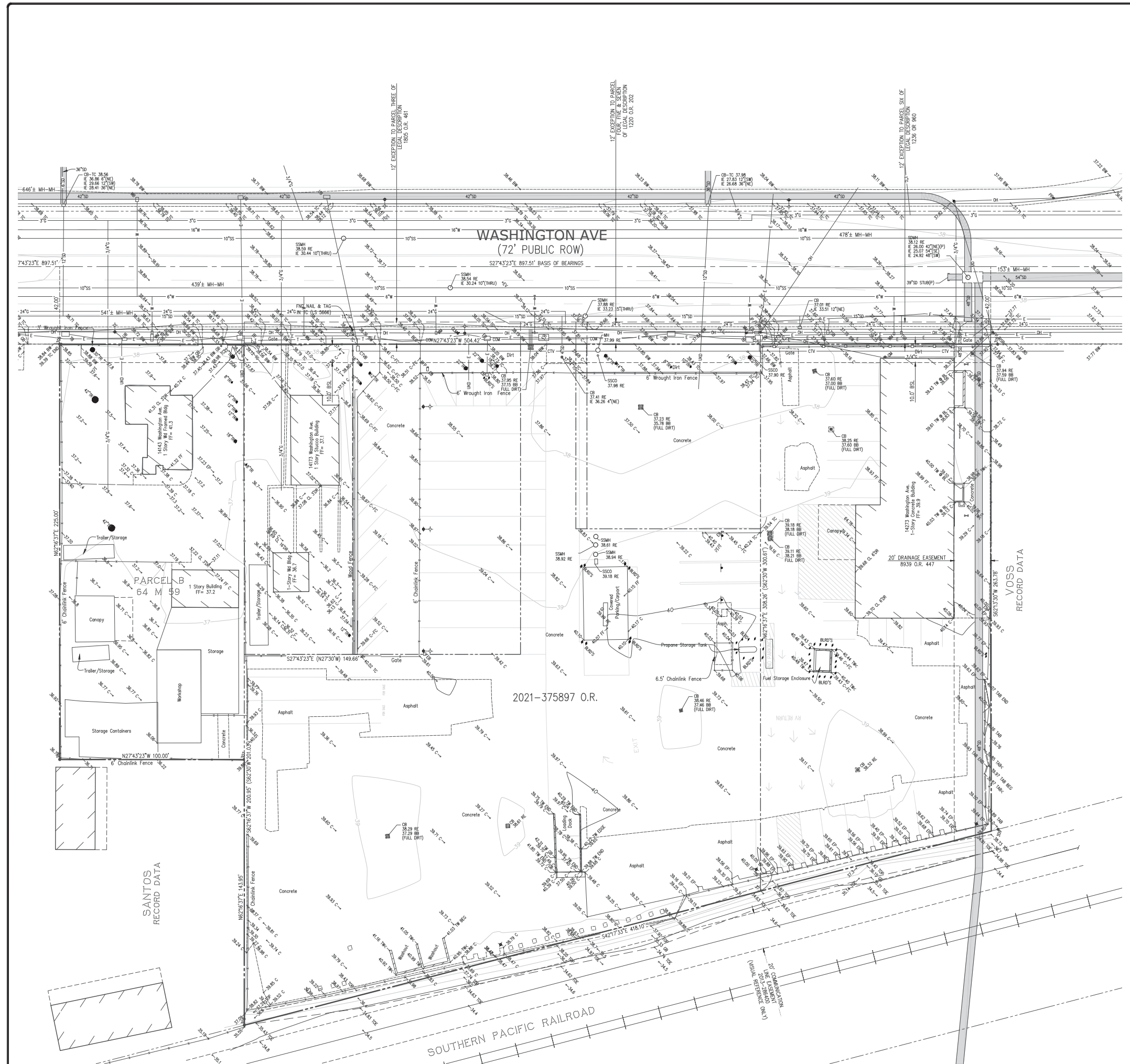
7. BENCHMARK:
CITY OF SAN LEANDRO 2.5" DISK WITH PUNCH IN WELL AT THE CENTERLINE OF WASHINGTON AVE AND 143RD AVENUE. ELEVATION= 36.456.

8. BASIS OF BEARINGS:
THE BEARING OF NORTH 27° 43' 23" WEST TAKEN ON THE MONUMENT LINE OF WASHINGTON AVENUE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY NUMBER 1558, FILED FOR RECORD ON OCTOBER 9, 1908, IN BOOK 22 OF MAPS AT PAGES 59-60, OFFICIAL RECORDS OF ALAMEDA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

9. CORNER RECORD NOTE:
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

DATE APRIL, 2022
SCALE AS SHOWN
DESIGNER RSC
DRAWN: RSC
JOB NO. A21528
SHEET C2.0
OF 14 SHEETS

04/29/2022 DATE
PREPARED BY OR UNDER THE SUPERVISION OF
DEAN A. JURADO, LICENSED LAND SURVEYOR
Djurado@kierwright.com



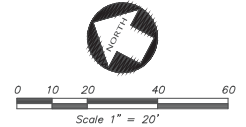
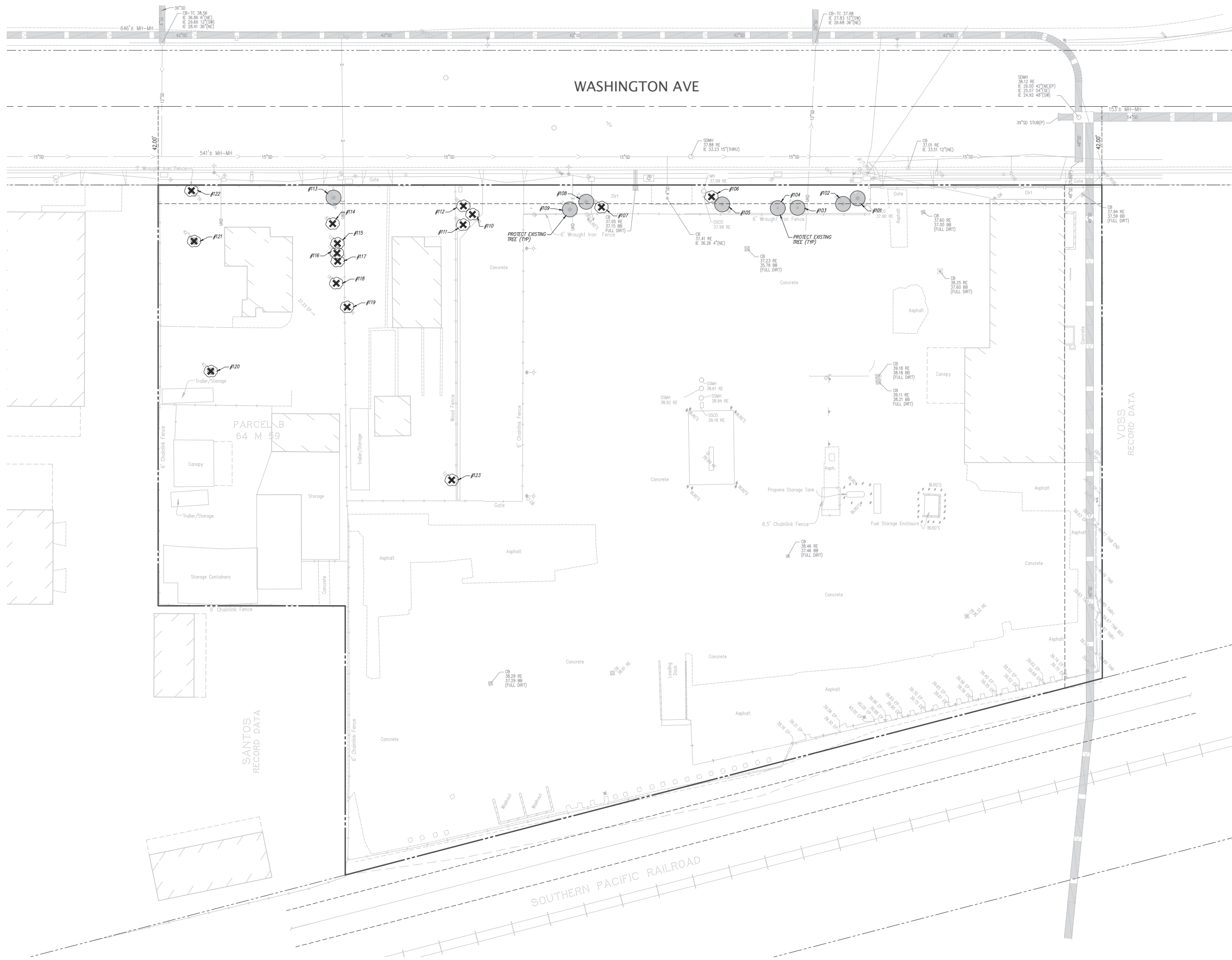
NO.	REVISION	DATE
1	PLANNING RESUBMITTAL	02/22/2022
2	PLANNING RESUBMITTAL	07/26/2022

TOPOGRAPHIC SURVEY
OF
14143-14273 WASHINGTON AVENUE
FOR
FIRST INDUSTRIAL REALTY TRUST

SAN LEANDRO, CALIFORNIA

KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 265-9788
www.kierwright.com

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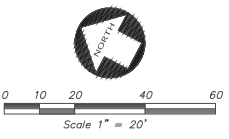
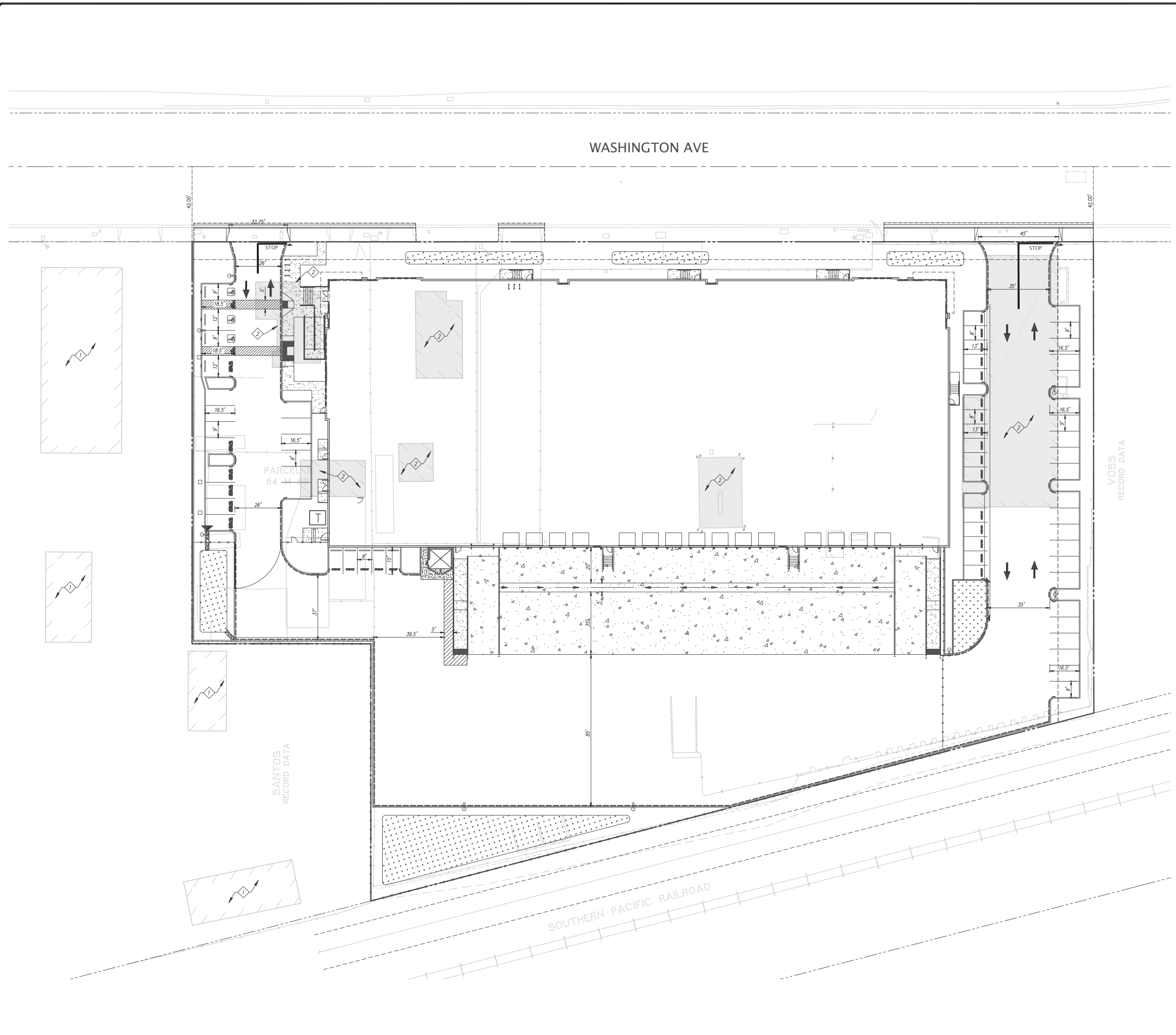
LEGEND

- TAG EXISTING TREE TO BE REMOVED
- TAG EXISTING TREE TO REMAIN AND BE PROTECTED

NO.	REVISION	DATE	BY
1	PLANNING RESUBMITTAL	02/22/2022	
2	PLANNING RESUBMITTAL	07/26/2022	

<p>KIER+WRIGHT 2850 Collier Canyon Road Livermore, CA 94551 Phone: (925) 265-8788 www.kierwright.com</p>	
<p>TREE PROTECTION AND REMOVAL PLAN OF 14143-14273 WASHINGTON AVENUE FOR FIRST INDUSTRIAL REALTY TRUST</p>	
DATE	APRIL, 2022
SCALE	AS SHOWN
DESIGNER	RSC
DRAWN	RSC
JOB NO.	A21528
SHEET	C2.1
OF	14 SHEETS

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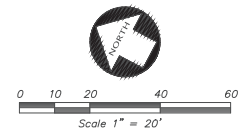
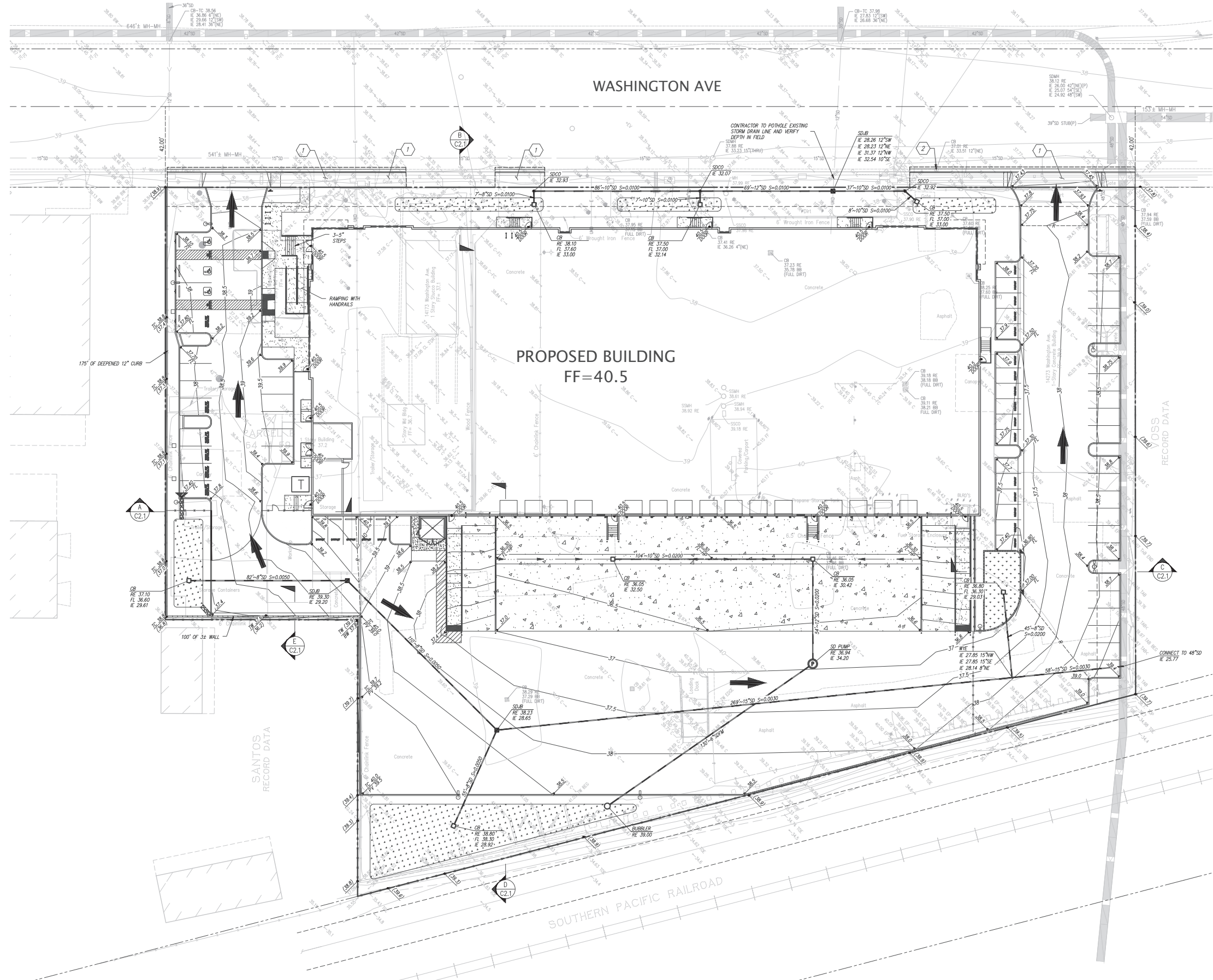


KEY NOTES

- ◊ EXISTING BUILDING ON NEIGHBORING PROPERTY TO REMAIN
- ◊ EXISTING BUILDING PREVIOUSLY DEMOLISHED PER SEPARATE PERMIT

DATE		APRIL, 2022	
SCALE		AS SHOWN	
DESIGNER		RSC	
DRAWN:		RSC	
JOB NO.		A21528	
SHEET		C3.0	
OF		14 SHEETS	
SAN LEANDRO, CALIFORNIA			
PRELIMINARY SITE PLAN OF 14143-14273 WASHINGTON AVENUE FOR FIRST INDUSTRIAL REALTY TRUST			
 KIER+WRIGHT REGISTERED PROFESSIONAL ENGINEER No. 51112 State of California 2850 Collier Canyon Road Livermore, CA 94551 Phone: (925) 265-9788 www.kierwright.com			
NO.		REVISION	
1	PLANNING RESUBMITTAL	02/22/2022	
2	PLANNING RESUBMITTAL	07/26/2022	
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- LEGEND**
- STORM DRAIN CATCH BASIN
 - STORM DRAIN JUNCTION BOX
 - STORM DRAIN MANHOLE
 - FL FLOW LINE
 - FF FINISH FLOOR
 - LP LOW POINT
 - PV PAVEMENT
 - RE RIM ELEVATION
 - SE SPOT ELEVATION
 - SLD STORM DRAIN LINE
 - TC TOP OF CURB
 - CURB CUT
 - OVERLAND RELEASE

- KEY NOTES**
- 1 EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH STANDARD CITY CONCRETE CURB, GUTTER AND SIDEWALK PER STD. DETAILS 100 & 104
 - 2 EXISTING CATCH BASIN TO BE CONVERTED TO STORM WATER CURB INLET PER STD. DETAIL 304

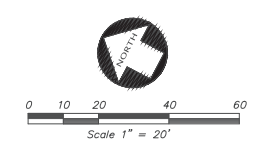
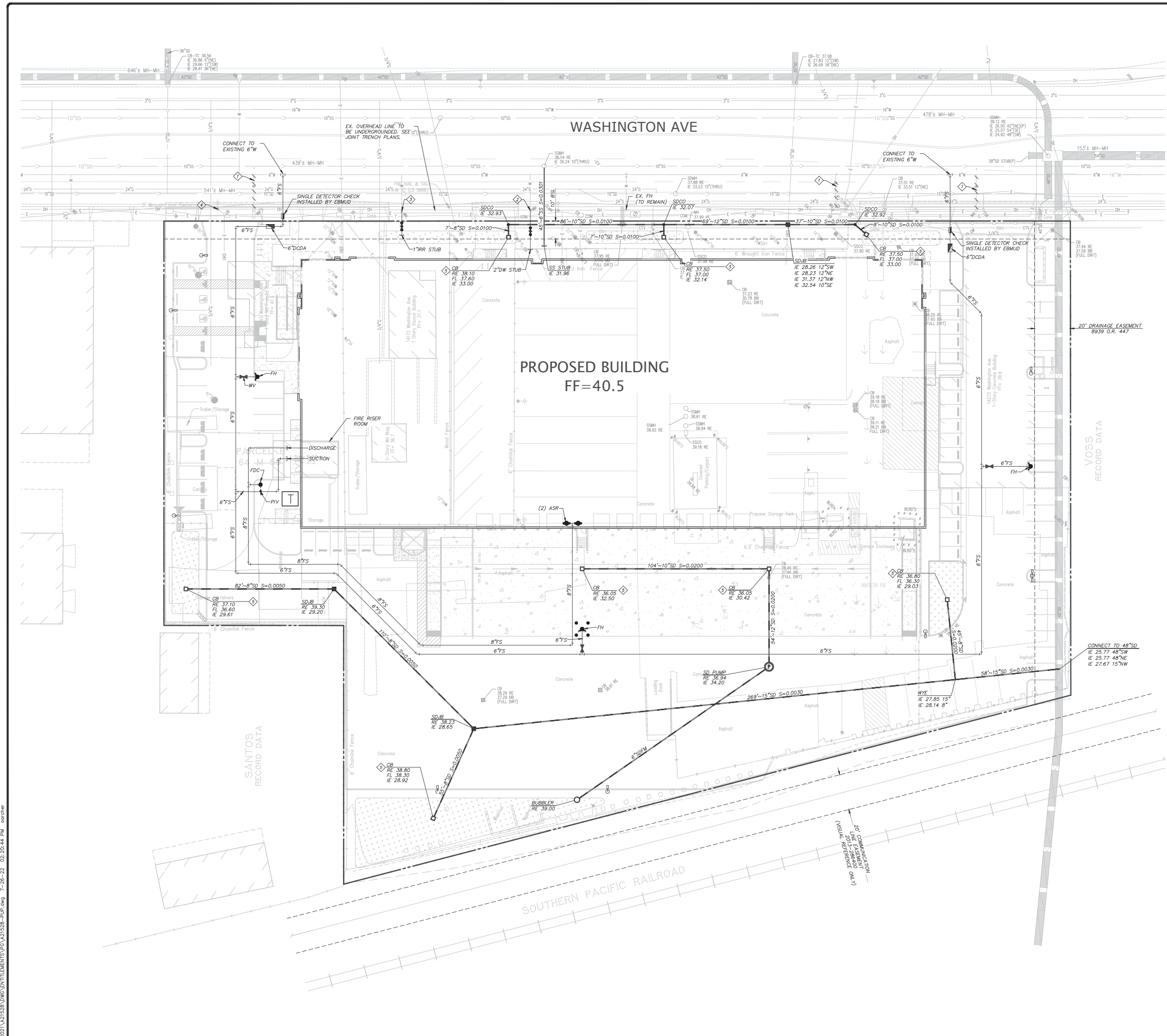
NO.	REVISION	DATE
1	PLANNING RESUBMITTAL	02/22/2022
2	PLANNING RESUBMITTAL	07/26/2022

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 CIVIL
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PRELIMINARY GRADING AND DRAINAGE PLAN
 OF
14143-14273 WASHINGTON AVENUE
 FOR
FIRST INDUSTRIAL REALTY TRUST
 SAN LEANDRO, CALIFORNIA

DATE	APRIL, 2022
SCALE	AS SHOWN
DESIGNER	RSC
DRAWN:	RSC
JOB NO.	A21528
SHEET	C4.0
OF	14 SHEETS

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LEGEND

RE	RIM ELEVATION
TC	TOP OF CURB
WS	WATER SERVICE
---	EXISTING UTILITY TO BE ABANDONED BY REMOVAL
FS	FIRE SERVICE
SS	SANITARY SEWER
COTG	CLEANOUT TO GRADE
---	STORM DRAIN LINE
---	STORM DRAIN CATCH BASIN
---	STORM DRAIN JUNCTION BOX
---	STORM DRAIN MANHOLE
---	BACK FLOW PREVENTION DEVICE
---	FIRE DEPARTMENT CONNECTION
---	FIRE HYDRANT & VALVE
---	POST INDICATOR VALVE
---	SANITARY SEWER MANHOLE
---	SINGLE CHECK VALVE ASSEMBLY
---	DCDA-CHECK VALVE ASSEMBLY
---	STORM DRAIN MANHOLE
---	WATER METER
---	BOLLARDS

- KEY NOTES**
- EXISTING WATER LATERAL AND METER TO BE ABANDONED BY E.B.M.U.D. PER SEPARATE PERMIT
 - EXISTING WATER METER TO BE UTILIZED FOR DOMESTIC METER.
 - EXISTING WATER METER TO BE UTILIZED FOR IRRIGATION.
 - EXISTING POWER POLE/STREET LIGHT TO BE RELOCATED.
 - INSTALL RWOCB APPROVED TRASH INSERT

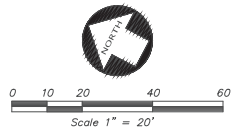
NO.	REVISION	DATE
1	PLANNING RESUBMITTAL	02/22/2022
2	PLANNING RESUBMITTAL	07/26/2022

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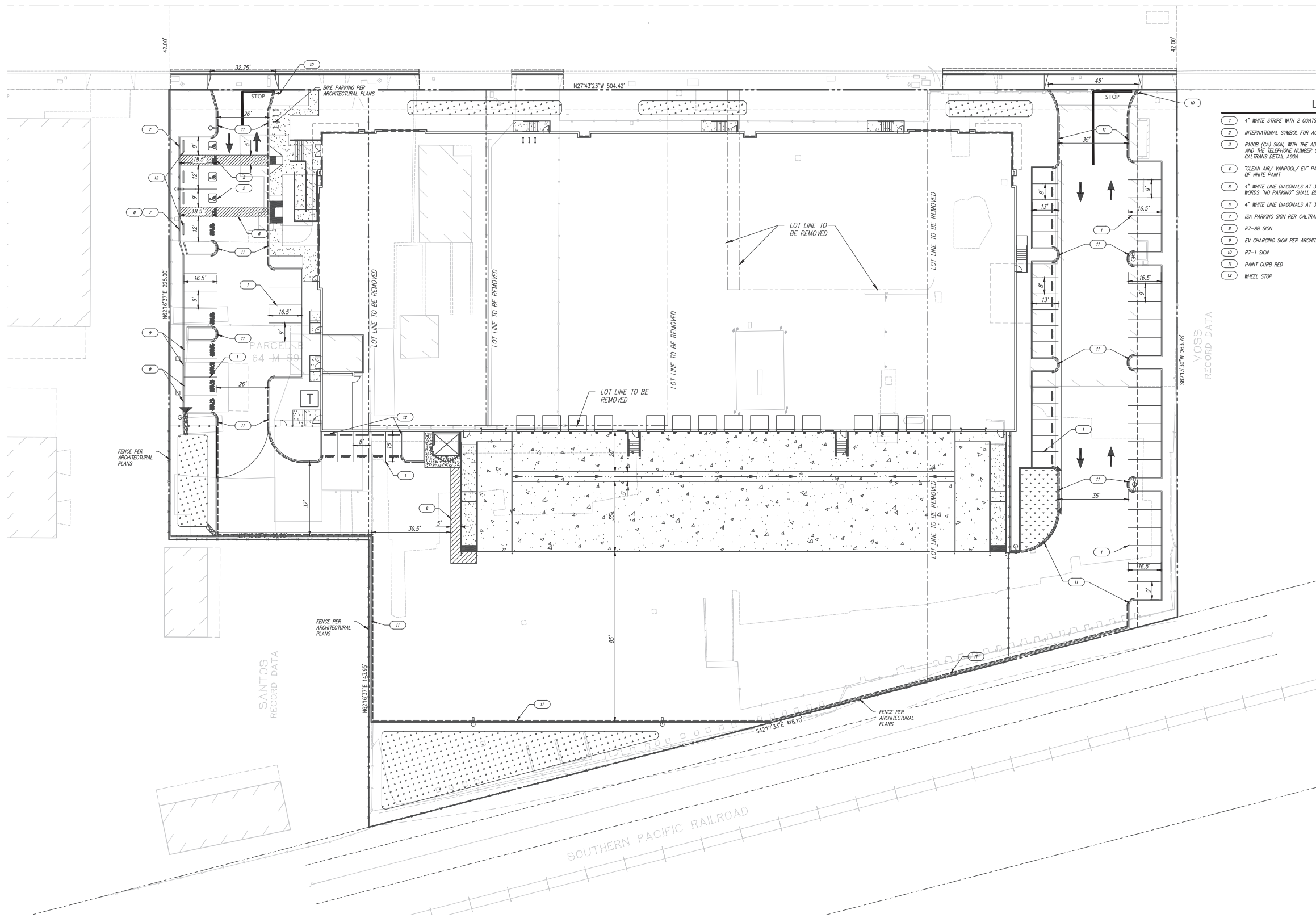
PRELIMINARY UTILITY PLAN
 OF
14143-14273 WASHINGTON AVENUE
 FOR
FIRST INDUSTRIAL REALTY TRUST

SAN LEANDRO, CALIFORNIA

DATE: APRIL, 2022
 SCALE: AS SHOWN
 DESIGNER: RSC
 DRAWN: RSC
 JOB NO.: A21528
 SHEET: **C5.0**
 OF 14 SHEETS



WASHINGTON AVE



LEGEND

- 1 4" WHITE STRIPE WITH 2 COATS OF PAINT
- 2 INTERNATIONAL SYMBOL FOR ACCESSIBILITY (ISA) MARKING PER CALTRANS DETAIL A24C
- 3 FLOOR (CA) SIGN, WITH THE ADDRESS WHERE THE TOWED VEHICLE MAY BE RECLAIMED AND THE TELEPHONE NUMBER OF THE LOCAL TRAFFIC LAW ENFORCEMENT AGENCY, PER CALTRANS DETAIL A90A
- 4 "CLEAN AIR/ VANPOOL/ EV" PAVEMENT MARKING WORDS TO BE 9" TALL, WITH 2 COATS OF WHITE PAINT
- 5 4" WHITE LINE DIAGONALS AT 3" MAX CENTERS, WITH 4" BLUE LINE BORDERS, AND THE WORDS "NO PARKING" SHALL BE PAINTED IN WHITE LETTERS PER CALTRANS DETAIL A90A
- 6 4" WHITE LINE DIAGONALS AT 3" MAX CENTERS, WITH 4" WHITE LINE BORDER
- 7 ISA PARKING SIGN PER CALTRANS DETAIL A90A
- 8 R7-88 SIGN
- 9 EV CHARGING SIGN PER ARCHITECTURAL DETAIL 7/AD.1
- 10 R7-1 SIGN
- 11 PAINT CURB RED
- 12 WHEEL STOP

NO.	REVISION	DATE	BY
1	PLANNING RESUBMITTAL	02/22/2022	
2	PLANNING RESUBMITTAL	07/26/2022	

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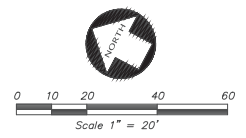
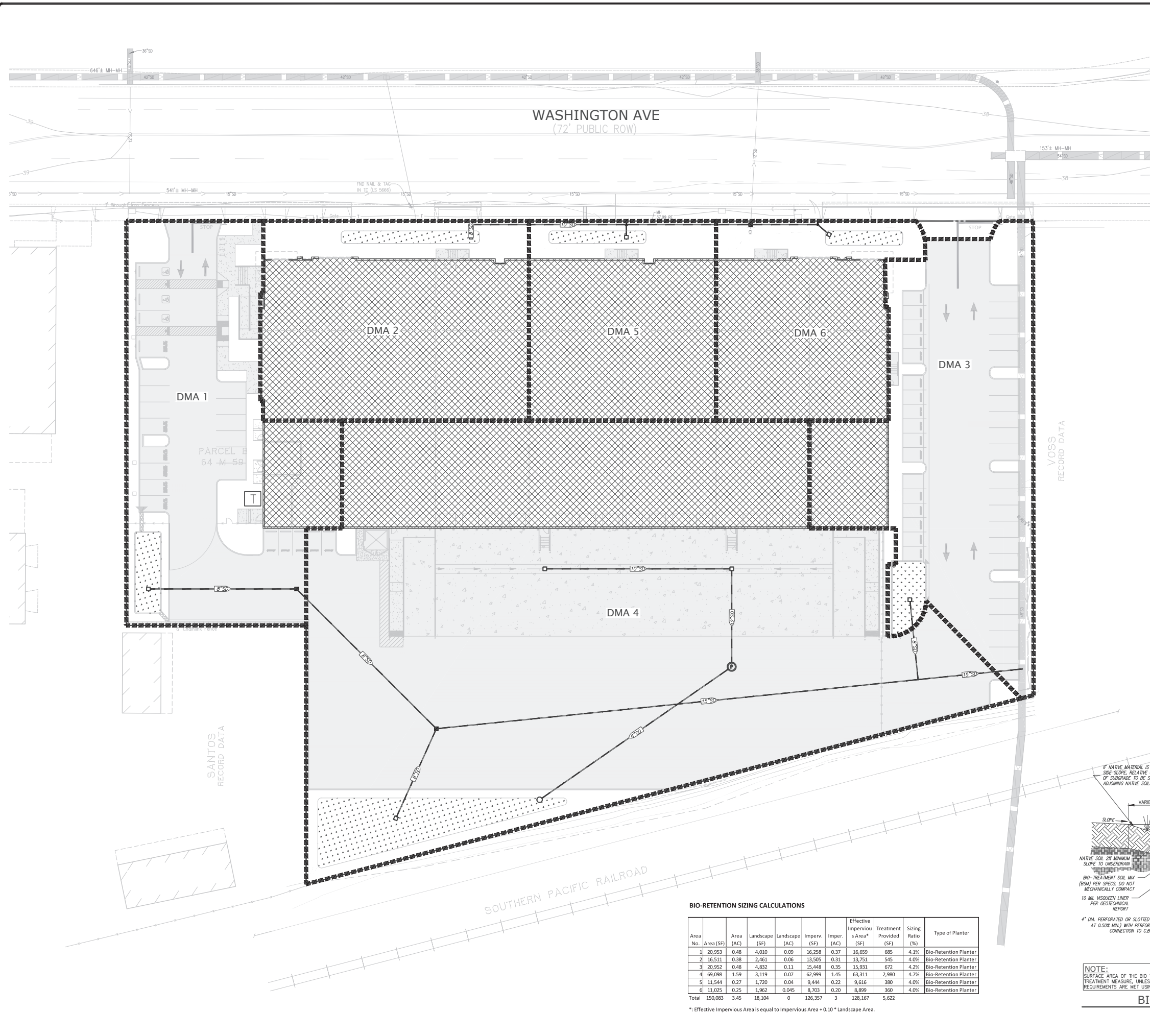
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SIGNING AND STRIPING PLAN
 OF
 14143-14273 WASHINGTON AVENUE
 FOR
 FIRST INDUSTRIAL REALTY TRUST

SAN LEANDRO, CALIFORNIA

DATE: APRIL, 2022
 SCALE: AS SHOWN
 DESIGNER: RSC
 DRAWN: RSC
 JOB NO.: A21528
 SHEET: **C6.0**
 OF 14 SHEETS

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LEGEND

	TRIBUTARY AREA LIMITS
	IMPERVIOUS ROOFTOP DRAINING TO BIO-SWALE
	IMPERVIOUS PAVEMENT DRAINING TO BIO-SWALE
	BIO-RETENTION TREATMENT AREA

NO.	REVISION	DATE
1	PLANNING RESUBMITTAL	02/22/2022
2	PLANNING RESUBMITTAL	07/26/2022



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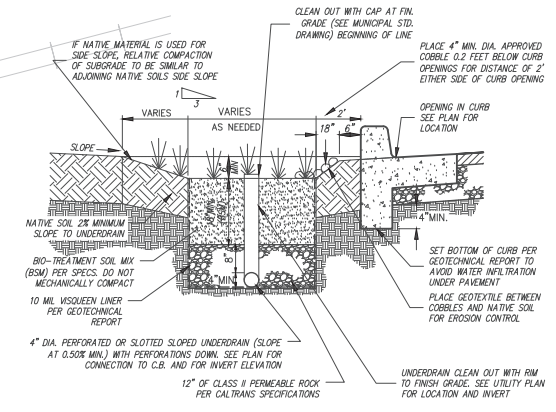
PRELIMINARY STORM WATER QUALITY CONTROL PLAN
 OF
 14143-14273 WASHINGTON AVENUE
 FOR
 FIRST INDUSTRIAL REALTY TRUST

SAN LEANDRO, CALIFORNIA

BIO-RETENTION SIZING CALCULATIONS

Area No.	Area (SF)	Area (AC)	Landscape (SF)	Landscape (AC)	Imperv. (SF)	Imperv. (AC)	Effective Impervious Area* (SF)	Treatment Provided (SF)	Sizing Ratio (%)	Type of Planter
1	20,953	0.48	4,010	0.09	16,258	0.37	16,659	685	4.1%	Bio-Retention Planter
2	16,511	0.38	2,461	0.06	13,505	0.31	13,751	545	4.0%	Bio-Retention Planter
3	20,952	0.48	4,832	0.11	15,448	0.35	15,931	672	4.2%	Bio-Retention Planter
4	69,098	1.59	3,119	0.07	62,999	1.45	63,311	2,980	4.7%	Bio-Retention Planter
5	11,544	0.27	1,720	0.04	9,444	0.22	9,616	380	4.0%	Bio-Retention Planter
6	11,025	0.25	1,962	0.045	8,703	0.20	8,899	360	4.0%	Bio-Retention Planter
Total	150,083	3.45	18,104	0	126,357	3	128,167	5,622		

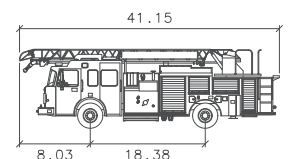
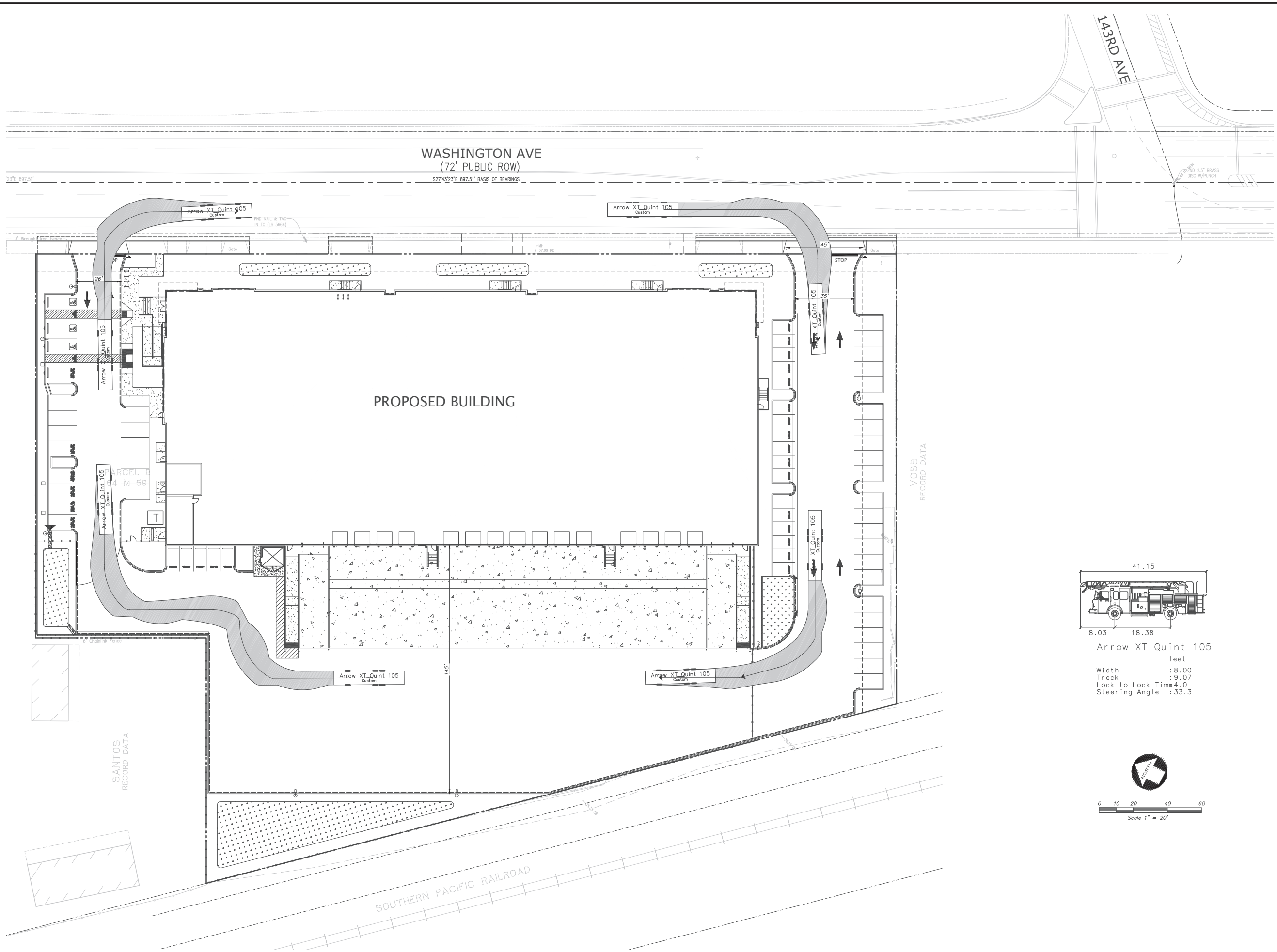
* Effective Impervious Area is equal to Impervious Area + 0.10 * Landscape Area.



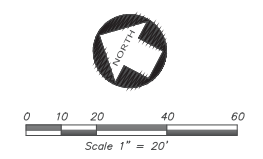
NOTE:
 SURFACE AREA OF THE BIO TREATMENT SOIL SHALL EQUAL 4% OF THE AREA OF THE SITE THAT DRAINS TO TREATMENT MEASURE, UNLESS SIZING CALCULATIONS ARE SUBMITTED DEMONSTRATING THAT PROVISION C.3 REQUIREMENTS ARE MET USING A SMALLER SURFACE AREA.

BIO-RETENTION DETAILS
 NOT TO SCALE

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Arrow XT Quint 105
 feet
 Width : 8.00
 Track : 9.07
 Lock to Lock Time 4.0
 Steering Angle : 33.3



WASHINGTON AVE
 (72' PUBLIC ROW)
 S27°43'22"E 897.51' BASIS OF BEARINGS

PROPOSED BUILDING

SANTOS
 RECORD DATA

VOSS
 RECORD DATA

SOUTHERN PACIFIC RAILROAD

NO.	REVISION	DATE
1	PLANNING RESUBMITTAL	02/22/2022
2	PLANNING RESUBMITTAL	07/26/2022

NO.	REVISION
1	PLANNING RESUBMITTAL
2	PLANNING RESUBMITTAL

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CALIFORNIA

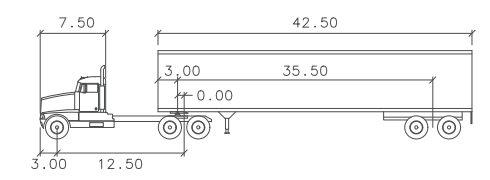
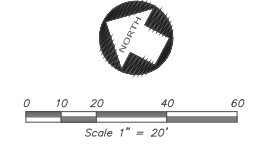
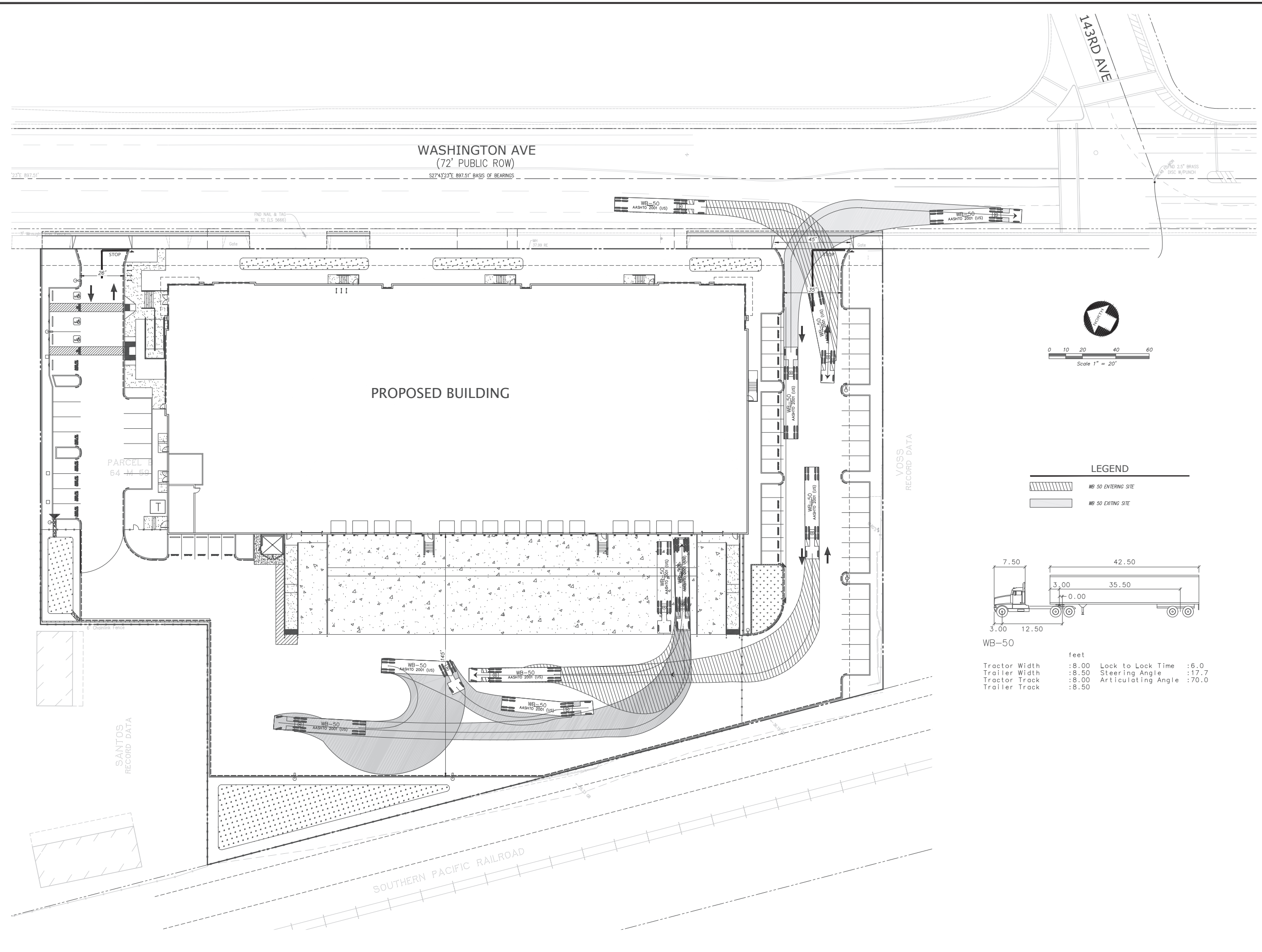
**FIRE TRUCK CIRCULATION
 OF
 14143-14273 WASHINGTON AVENUE
 FOR
 FIRST INDUSTRIAL REALTY TRUST**

SAN LEANDRO,

DATE	APRIL, 2022
SCALE	AS SHOWN
DESIGNER	RSC
DRAWN	RSC
JOB NO.	A21528
SHEET	C8.0
OF	14 SHEETS

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Tractor Width	:8.00	Lock to Lock Time	:6.0
Trailer Width	:8.50	Steering Angle	:17.7
Tractor Track	:8.00	Articulating Angle	:70.0
Trailer Track	:8.50		

NO.	REVISION	BY	DATE
1	PLANNING RESUBMITTAL		02/22/2022
2	PLANNING RESUBMITTAL		07/26/2022

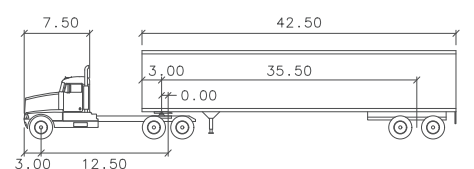
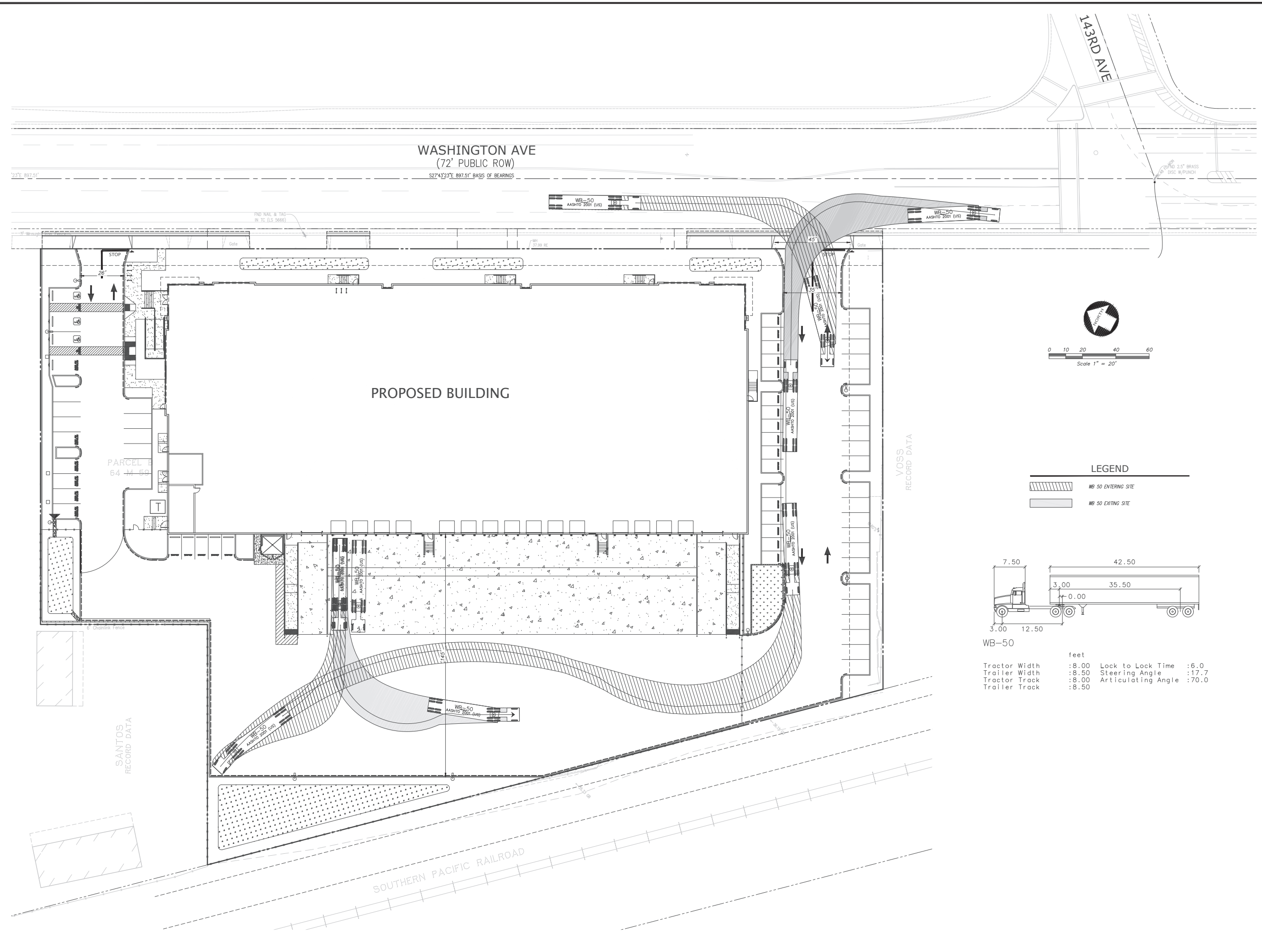
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WB-50 TRUCK TURNING - EAST LOADING DOCK
 OF
14143-14273 WASHINGTON AVENUE
 FOR
FIRST INDUSTRIAL REALTY TRUST

SAN LEANDRO, CALIFORNIA

DATE	APRIL, 2022
SCALE	AS SHOWN
DESIGNER	RSC
DRAWN	RSC
JOB NO.	A21528
SHEET	C8.1
OF	14 SHEETS

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WB-50

feet	
Tractor Width	:8.00
Trailer Width	:8.50
Tractor Track	:8.00
Trailer Track	:8.50
Lock to Lock Time	:6.0
Steering Angle	:17.7
Articulating Angle	:70.0

NO.	REVISION	DATE
1	PLANNING RESUBMITTAL	02/22/2022
2	PLANNING RESUBMITTAL	07/26/2022

DATE	APRIL, 2022
SCALE	AS SHOWN
DESIGNER	RSC
DRAWN	RSC
JOB NO.	A21528
SHEET	C8.2
OF	14 SHEETS

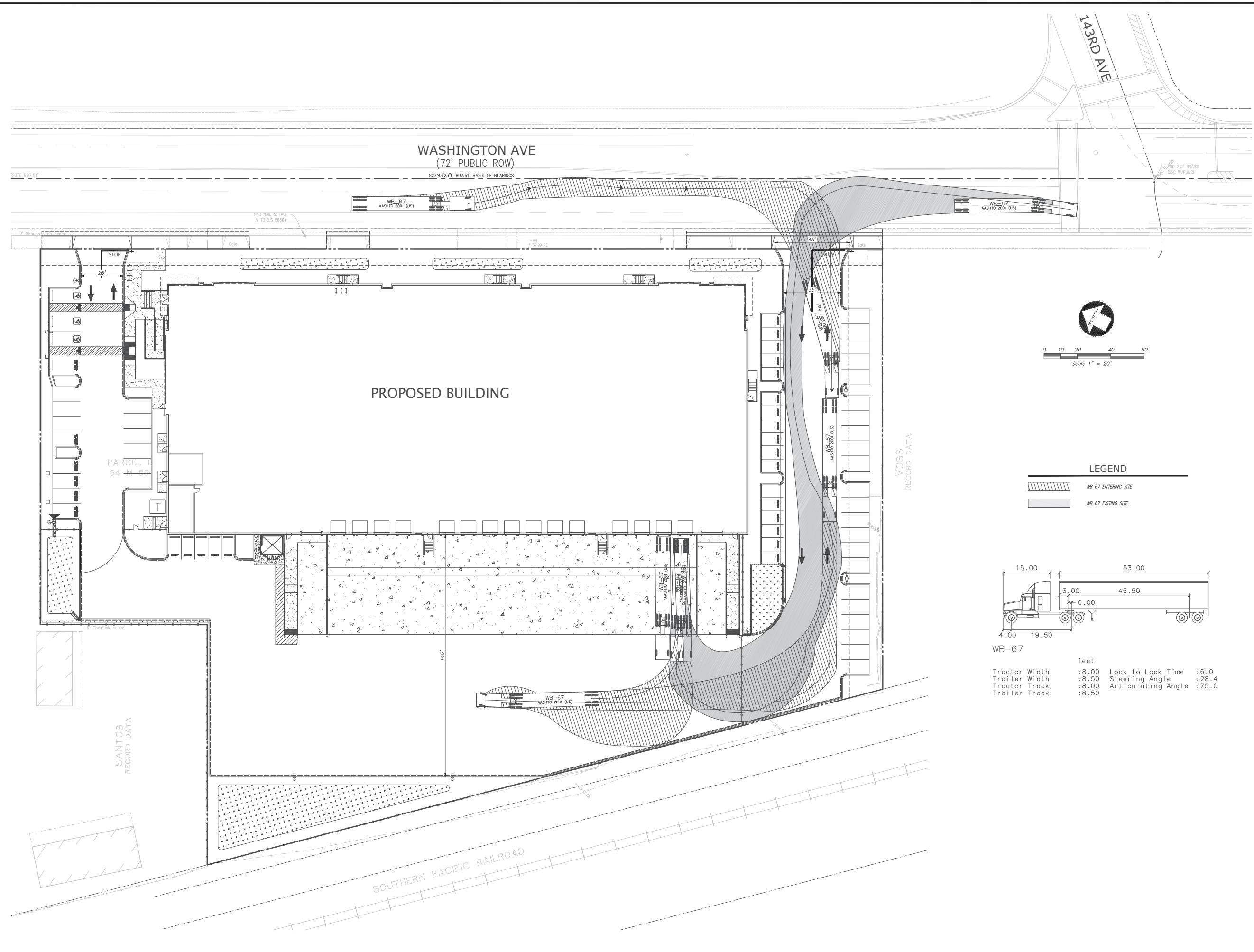
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PROFESSIONAL ENGINEER
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 STATE OF CALIFORNIA

WB-50 TRUCK TURNING - WEST LOADING DOCK
 14143-14273 WASHINGTON AVENUE
 FOR
 FIRST INDUSTRIAL REALTY TRUST

SAN LEANDRO, CALIFORNIA

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WB-67

Tractor Width	:8.00	Lock to Lock Time	:6.0
Trailer Width	:8.50	Steering Angle	:28.4
Tractor Track	:8.00	Articulating Angle	:75.0
Trailer Track	:8.50		

DATE	APRIL, 2022
SCALE	AS SHOWN
DESIGNER	RSC
DRAWN	RSC
JOB NO.	A21528
SHEET	C8.3
OF	14 SHEETS

NO.	REVISION
1	PLANNING RESUBMITTAL
2	PLANNING RESUBMITTAL
NO.	REVISION
1	02/22/2022
2	07/26/2022

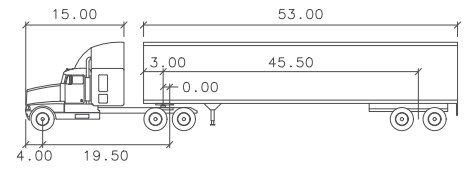
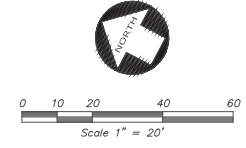
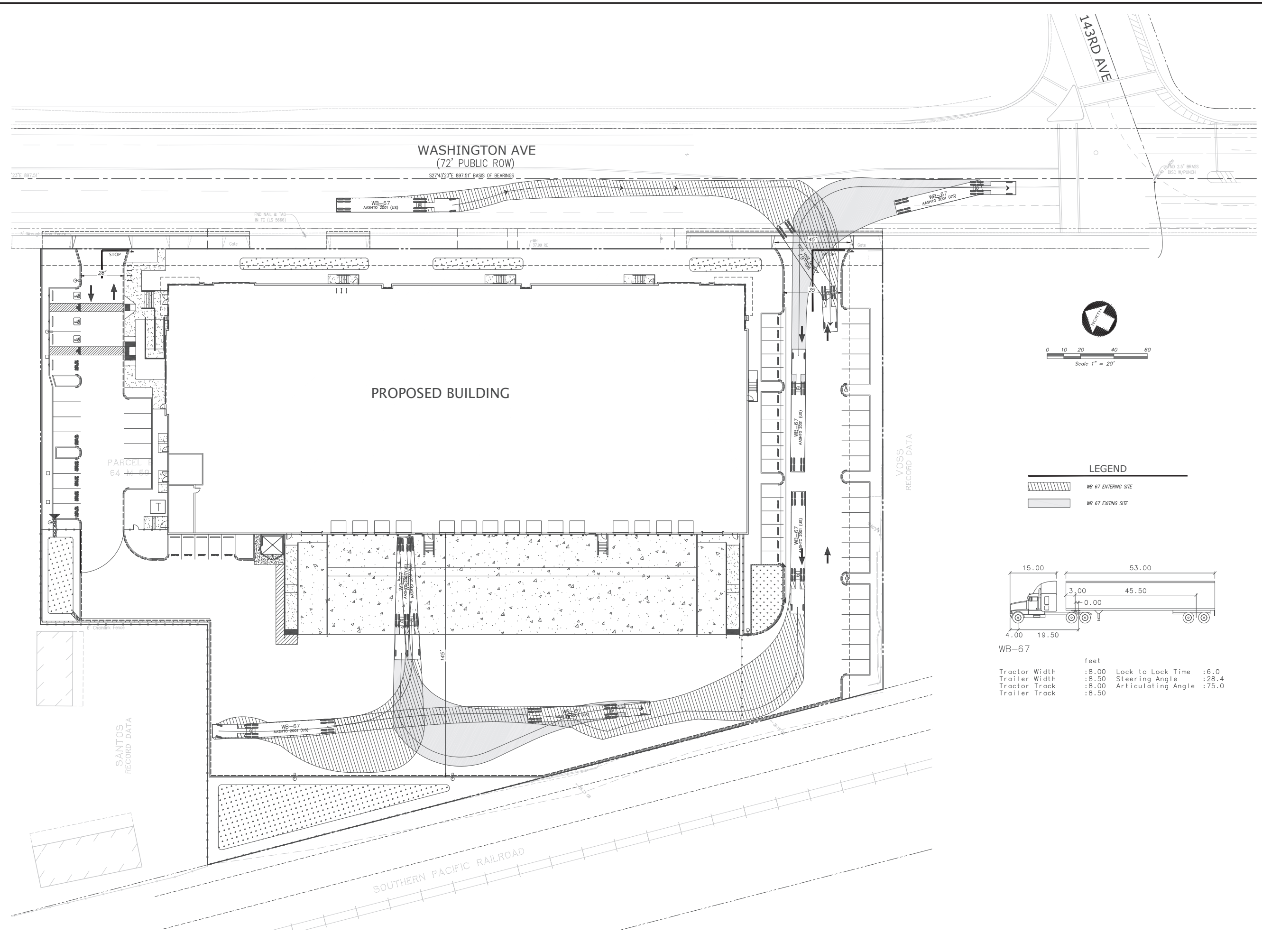
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 Phone: (925) 445-9788
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PROFESSIONAL ENGINEER
 No. 45112
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WB-67 TRUCK TURNING - EAST LOADING DOCK
 OF
 14143-14273 WASHINGTON AVENUE
 FOR
 FIRST INDUSTRIAL REALTY TRUST

SAN LEANDRO, CALIFORNIA

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WB-67

Tractor Width	:8.00	Lock to Lock Time	:6.0
Trailer Width	:8.50	Steering Angle	:28.4
Tractor Track	:8.00	Articulating Angle	:75.0
Trailer Track	:8.50		

NO.	REVISION	BY	DATE	BY	DATE

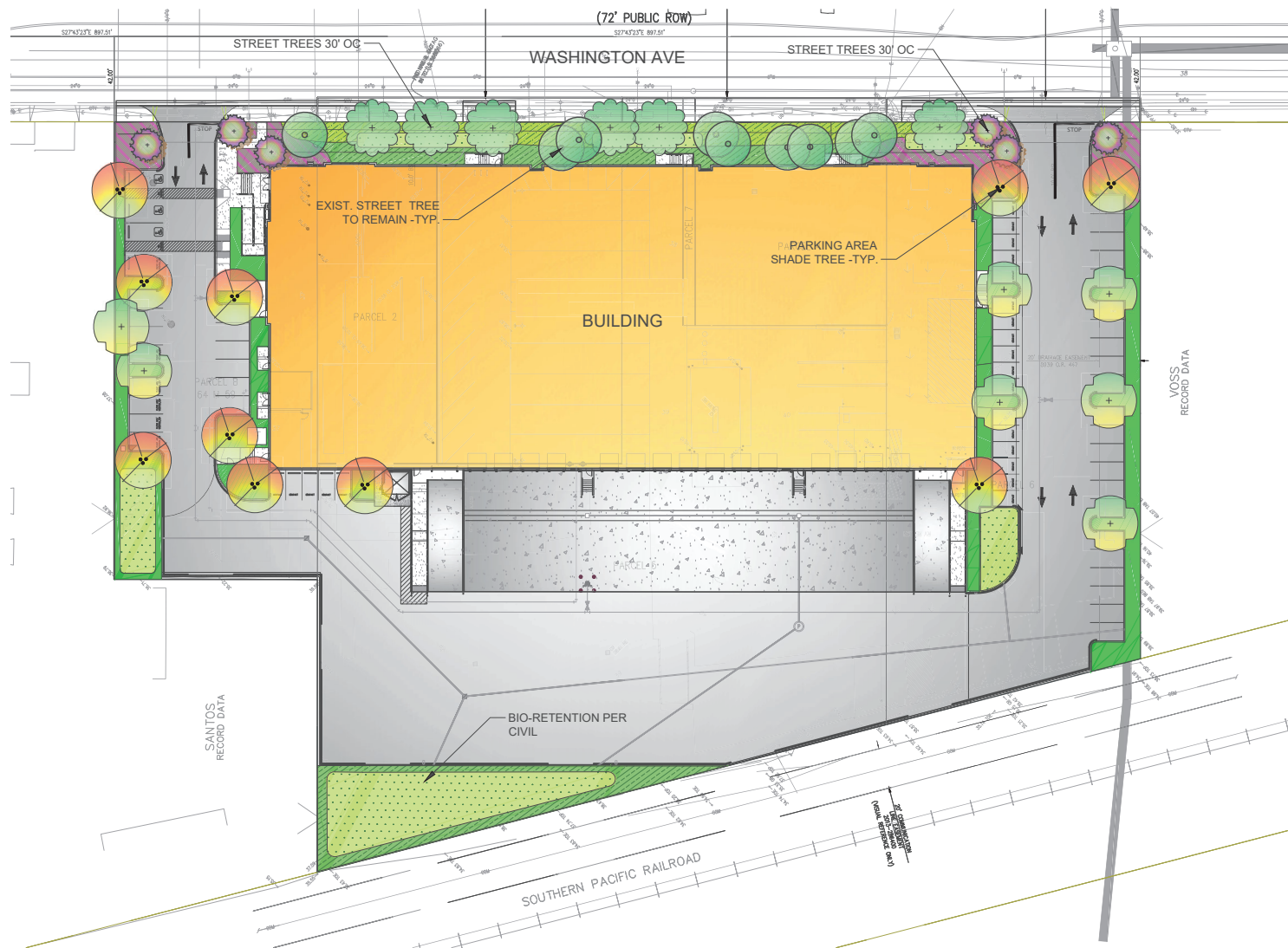
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WB-67 TRUCK TURNING - WEST LOADING DOCK
OF
14143-14273 WASHINGTON AVENUE
FOR
FIRST INDUSTRIAL REALTY TRUST

SAN LEANDRO, CALIFORNIA

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JOB NO.	A21528
SHEET	C8.4
OF	14 SHEETS



PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 30'-0"

LANDSCAPE LEGEND

- SMALL FLW. ACCENT TREE STANDARD TRUNK
- STREET TREE
- LARGE DECIDUOUS SHADE TREE
- EXISTING TREE TO REMAIN
- PARKING LOT PLANTING - LOW TO MEDIUM SHRUBS, PERENNIAL ACCENTS
- STREETScape PLANTING - SHRUBS/PERENNIALS/GRASSES TO FORM PLANT MASSES. MEDIUM DENSITY PLANTING
- PROJECT ACCENT PLANTING - ORNAMENTAL GRASSES/PERENNIALS. HIGH DENSITY PLANTING
- FOUNDATION PLANTING - MEDIUM TO TALL SHRUBS. MEDIUM DENSITY PLANTING
- BIO-SWALE - NATIVE SODDED GRASSES NON-IRRIGATED

PLANT LIST

NATIVE	BOTANICAL NAME	COMMON NAME	SIZE	WATER REGIME ZONE	MATURE HABIT H X W
LARGE TREES					
	ULMUS P. 'TRUE GREEN'	EVERGREEN ELM	24" BOX	L	40' X 40'
	PISTACHIA CHINEENSIS	CHINESE PISTACHE	34" BOX	L	50' X 40'
	LAGERSTROEMIA L. 'BILOXI'	CRAPE MYRTLE	15 GA.	L	20' X 12' STANDARD TRUNK
	PLATANUS A. 'COLUMBIA'	SYCAMORE	24" BOX	L	50' X 40'
TALL SCREENING/FOUNDATION SHRUBS					
	DODONAEA VISCOSA	HOPSEED	5 GAL.	L	10' X 10'
	ARCTOSTAPHYLOS D. 'HARMONY'	HARMONY MANZANITA	5 GAL.	L	7' X 5'
	RHAMNUS C. 'EVE CASE'	COFFEEBERRY	5 GAL.	L	9' X 6'
	SALVIA APANA	WHITE SAGE	5 GAL.	L	3' X 5'
LOW SHRUBS AND GROUND COVER					
	CISTUS SALVIFOLIUS	ROCK ROSE	5 GAL.	L	2' X 4'
	ARCTOSTAPHYLOS U. 'GREEN SUPREME'	MANZANITA	5 GAL.	L	1' X 3'
	RHAPISODIA INDICA	INDIA HAWTHORNE	5 GAL.	L	3' X 4'
	PHORMIUM SPP.	NEW ZEALAND FLAX	5 GAL.	L	VARIES
	CEANOTHUS T. 'REPPENS'	CEANOTHUS	5 GAL.	L	1.5' X 5'
	SALVIA MICROPHYLLA 'BEZERKLEY'	'BEZERKLEY' SALVIA	5 GAL.	L	2' X 3'
	RHAMNUS C. 'SEAVIEW'	COFFEEBERRY	5 GAL.	L	2' X 4'
	LAGERSTROEMIA 'DAZZLE ME PINK'	DW. INDIA HAWTHORNE	5 GAL.	L	3' X 3'
GRASS OR GRASS LIKE					
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL.	L	4' X 4'
	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL.	L	1' X 2'
	CALAMAGROSTIS X ACUTIFLORA	FEATHERED GRASS	1 GAL.	L	2' X 3'
	LOMANDRA L. 'BREEZE'	BREEZE MAT RUSH	1 GAL.	L	3' X 3'
PERENNIALS					
	ACHILLEA 'MOONSHINE'	YARROW	1 GAL.	L	1' X 3'
	NEPATA 'WALKERS LOW'	CATMINT	1 GAL.	L	1' X 2'
	EPILOBIUM CALIFORNICUM	CALIFORNIA FUSCHIA	1 GAL.	L	1' X 3'
BIO SWALE GRASSES					
BIO-SWALE NATIVE GRASS TO BE 'NATIVE PRESERVATION SEED MIX' AS AVAILABLE FROM DELTA BLUEGRASS CO. OR EQUAL. TEMPORARY IRRIGATION TO BE PROVIDED FOR ESTABLISHMENT IF REQUIRED BY TIME OF YEAR TO BE PLANTED.					

LANDSCAPE CALCULATIONS

TOTAL SITE AREA : 150,313 S.F. (3.45 ACRES)
 LANDSCAPE AREA REQUIRED (5% OF SITE): 7,515 S.F.
 LANDSCAPE AREA PROVIDED (INCLUDES BIO-SWALES) (14%): 33,019 S.F.
 TOTAL PARKING SPACES PROVIDED: 60
 PARKING AREA TREES REQUIRED 1/6 SPACES: 10
 PARKING AREA TREES PROVIDED: 17
 STREET TREES REQUIRED 1/30 L.F. (373 L.F.): 12
 STREET TREES PROVIDED: 19 (8 EXISTING)
 EXISTING TREE CALCULATIONS/ARBORIST REPORT SEE SHEET LC1.2
 EXISTING LOCATION OF STREET TREES TO REMAIN SHOWN.
 MITIGATION TREES REQUIRED 15
 MITIGATION TREES PROVIDED:
 8 ADDITIONAL STREET TREES
 7 PARKING AREA TREES

WATER EFFICIENT LANDSCAPE REQUIREMENTS

ALL IRRIGATION SHALL BE AUTOMATIC TIMER CONTROLLED. PERMANENTLY IRRIGATED SHRUBS AND TREES SHALL BE DRIP IRRIGATED.
 AUTOMATIC CONTROLLER w/ ET DATA, REPEAT CYCLING IRRIGATION ZONES PER PLANT WATER REQUIREMENTS
 RAIN SENSOR SENSOR TO BE SPECIFIED
 SLOPES LESS THAN 5' IN HEIGHT
 SOIL AMENDMENTS TO BE INCORPORATED
 PLANTER SURFACE AREAS TO BE MULCHED
 WATER USAGE TO MEET STATE WATER EFFICIENT LANDSCAPE STANDARD

WELO Water Budget and Water Use Calculator

INSTRUCTIONS:
 1. Enable macros.
 2. Enter values in blue cells. Gray cells will automatically fill.
 3. For info, refer to Appendix A of the scf110109. It is available here: <http://www.water.ca.gov/Programs/Water-Use-And-Efficiency/Urban-Water-Use-Efficiency>
 4. Print this sheet and submit with Landscape Document Package for the Comprehensive Performance Compliance Pathway.

Date:	11/15/2021					
Project Name:	Washington Ave					
Project Contact:	Barbara Hatch					
Project Contact Email:	bhatch00@charter.net					
Maximum Applied Water Allowance (MAWA)	Project Type	ETo	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (gal/yr)
	Non-residential	41.8	0.45	-	13,952	162,711
MAWA = (ETo) * (0.62) * (ETAF) * (SLA) + ((1-ETAF) * SLA)						
Estimated Total Water Use (ETWU)	ETo	(SF * PF) / IE	SLA	ETWU (gal/yr)	ETWU = (ETo) * (0.62) * (PF/SF/IE) + SLA	
	41.8	4,399	-	114,014	ETWU = (ETo) * (0.62) * (PF/SF/IE) + SLA	
Difference between MAWA and ETWU: 48,897 Project meets water budget.						

ETWU Calculation (Regular landscape areas)	Zone #	Description	Select Irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	LW HD	Drip	9,680	0.30	0.81	3,585
	2	LW MD	Drip	2,323	0.20	0.81	574
	3	LW LD	Drip	1,949	0.10	0.81	241
	4						
	Landscape area (not including SLA)			13,952			4,399

ETWU Calculation Special Landscape Areas (SLA)	Description	Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE
	Edible planting area		1.0	-
	Multi-use and sports field turf area		1.0	-
	Area irrigated with recycled water		1.0	-
	Pool		1.0	-
	Total SLA	0		0

Total Landscape Area (including SLA) from ETWU Calculation: 13,952

WASHINGTON AVE HYDROZONE INFORMATION TABLE

Please complete the hydrozone table(s) for each hydrozone. Use as many tables as necessary to provide the square footage of landscape area per hydrozone.

Table reflects irrigated areas only. Rock areas with no plant material and non-irrigated seeded bio-swales, are excluded in the landscape square footage.

Hydrozone	Zone or Valve	Irrigation Method	Area (sq. Ft.)	% of Landscape Area
LW Trees and Shrubs High Density	Parking lot planting - low to medium shrubs, perennial accents	Drip/Bubbler	9,680	69%
LW Trees and Shrubs Med Density	Project accent planting - ornamental grasses/perennials. High density planting	Drip/Bubbler	2,323	17%
LW Trees and Shrubs Low Density	Streetscape planting - shrubs/perennials/grasses to form plant masses. medium density planting	Drip/Bubbler	1,949	14%
	Foundation planting - medium to tall shrubs.	Drip/Bubbler		
Total			13,952 sq.ft.	100%

*Hydrozone
 HW = High Water Use Plants
 MW = Moderate Water Use Plants
 LW = Low Water Use Plants
 VLW = Very Low Water Use - Non Irrigated
 Trees are assumed a 40 s.f. area for watering each.



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 14143 Washington Ave
 SAN LEANDRO, CA

Consultants:
 Civil : KIER & WRIGHT
 Structural :
 Mechanical :
 Plumbing :
 Electrical :
 Landscape : GREEN DESIGN
 Fire Protection :
 Soils Engineer :

Title:
 PRELIMINARY LANDSCAPE PLAN
 Project Number: 20503
 Drawn by: KZ
 Date: 7/15/2021
 Revision:
 REVISED 2-22-22
 REVISED 4-27-22
 Sheet:



LC1.1

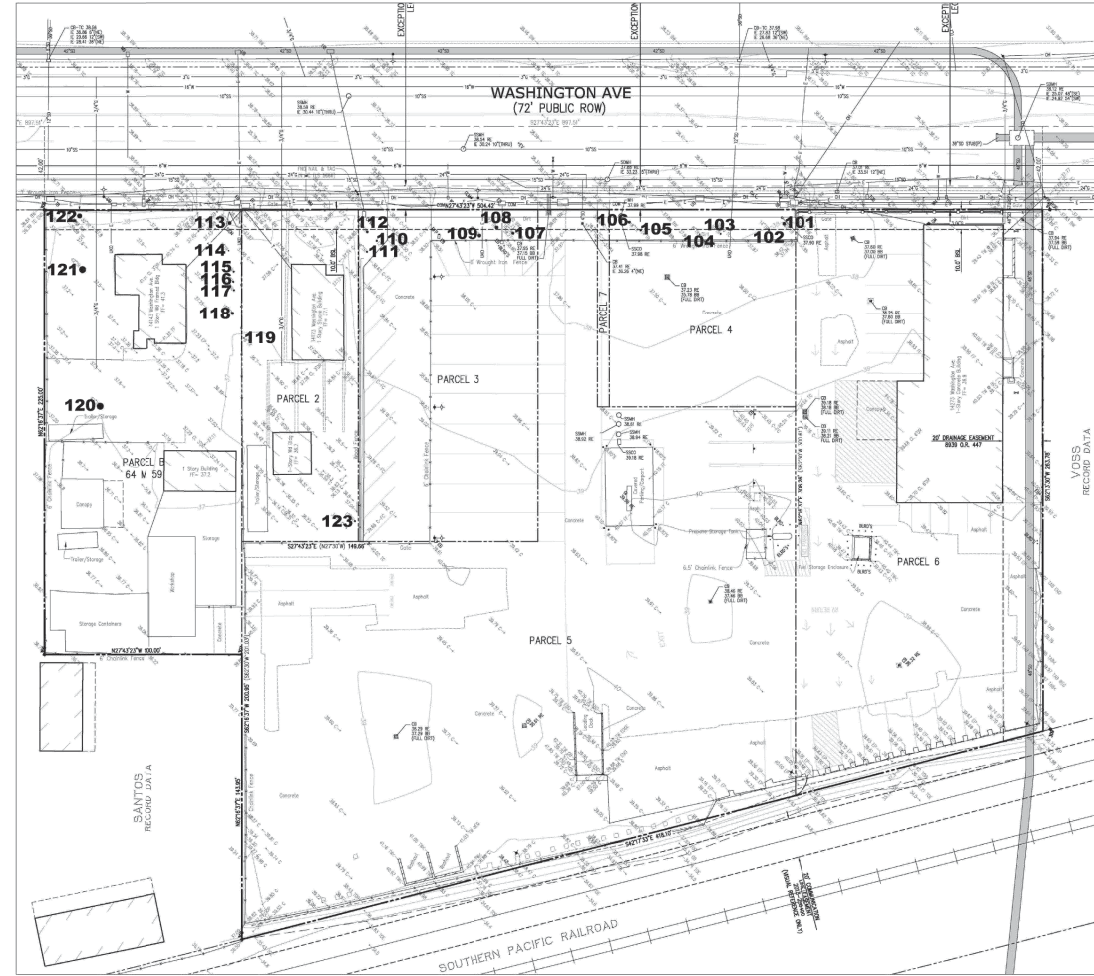
Preliminary Evaluations of Impacts and Recommendations (continued)

Among the 10 trees to be removed are eight trees within the proposed building footprint and two trees within the proposed parking and driveway construction. This includes five coast redwoods, valley oaks #114 and #123, ginkgo #118, locust #119, and Victorian box #121. Three coast redwoods had a high suitability for preservation while the remaining trees had low to moderate suitability.

Table 9: Preliminary Vegetation
14143-14273 Washington Avenue, San Leandro, CA

Tree No.	Species	Trunk Diameter (in.)	Protected Tree?	Condition 1=poor 5=excellent	Suitability for Preservation	Disposition	Comments
101	Coast redwood	21	No	5	High	Preserve	W/in proposed landscape area. Preservation possible w/ minor modifications to plans. Construction impacts must be >3' from root crown.
102	Coast redwood	16	No	5	High	Preserve	W/in proposed landscape area. Preservation possible w/ minor modifications to plans. Construction impacts must be >2' from root crown.
103	Coast redwood	11	No	5	High	Preserve	W/in proposed landscape area. Preservation possible w/ minor modifications to plans. Construction impacts must be >1.5' from root crown.
104	Coast redwood	9	No	5	High	Preserve	W/in proposed landscape area. Preservation possible w/ minor modifications to plans. Construction impacts must be >1.5' from root crown.
105	Coast redwood	15	No	4	High	Preserve	W/in proposed landscape area. Preservation possible w/ minor modifications to plans. Construction impacts must be >2' from root crown.
106	Coast redwood	19	No	4	High	Preserve	W/in proposed landscape area. Preservation possible w/ minor modifications to plans. Construction impacts must be >2.5' from root crown.
107	Coast redwood	20	No	5	High	Preserve	W/in proposed landscape area. Preservation possible w/ minor modifications to plans. Construction impacts must be >2.5' from root crown.
108	Coast redwood	21	No	5	High	Preserve	W/in proposed landscape area. Preservation possible w/ minor modifications to plans. Construction impacts must be >2.5' from root crown.
109	Coast redwood	25	No	5	High	Preserve	W/in proposed landscape area. Preservation possible w/ minor modifications to plans. Construction impacts must be >3.5' from root crown.
110	Coast redwood	15	No	4	High	Preserve	W/in proposed landscape area. Preservation possible w/ minor modifications to plans. Construction impacts must be >2' from root crown.
111	Coast redwood	13	No	3	Moderate	Remove	N. edge of proposed building project area.
112	Coast redwood	17	No	4	High	Preserve	W/in proposed landscape area. Preservation possible w/ minor modifications to plans. Construction impacts must be >2.5' from root crown.
113	Norfolk island pine	23	No	4	High	Preserve	W/in proposed landscape area. Preservation possible w/ minor modifications to plans. Construction impacts must be >3' from root crown.
114	Valley oak	8	No	1	Low	Remove	N. edge of proposed building project area.
115	Coast redwood	11	No	5	High	Remove	Within proposed building project area.
116	Coast redwood	11	No	5	High	Remove	Within proposed building project area.
117	Coast redwood	11	No	5	High	Remove	Within proposed building project area.
118	Ginkgo	14	No	3	Moderate	Remove	Within proposed building project area.
119	Locust	7.4	No	2	Low	Remove	Within proposed building project area.
120	Coast redwood	45	No	3	Moderate	Remove	Within proposed parking lot.
121	Victorian box	8, 12, 12, 12.8	No	1	Low	Remove	Within proposed parking lot.
122	Norfolk island pine	26	No	4	High	Preserve	W/in proposed landscape area. Preservation possible w/ minor modifications to plans. Construction impacts must be >3.5' from root crown.
123	Valley oak	13	No	3	Moderate	Remove	Within proposed building project area.

TREE MITIGATION PLAN
TOTAL EXISTING TREES ONSITE: 23
EXISTING TREES TO REMAIN: 8
EXISTING TREES TO BE REMOVED: 15
MITIGATION TREES REQUIRED: 15
MITIGATION TREES PROVIDED: 15
8 ADDITIONAL STREET TREES
7 PARKING AREA TREES



Tree Assessment Map

14143 Washington Avenue
San Leandro, CA

Prepared for:
First Industrial Realty Trust, Inc.
Lafayette, CA

January 2022



No Scale

Notes:

Base map provided by:
Kier & Wright
Livermore, CA

Numbered tree locations are approximate.



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SAN LEANDRO, CA

Consultants:
Civil : KIER & WRIGHT
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Electrical :
Landscape : GREEN DESIGN
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Soils Engineer :

Title:
PRELIMINARY
LANDSCAPE
PLAN
Project Number: 20503
Drawn by: KZ
Date: 7/15/2021
Revision:
REVISED 2-22-22

Sheet:
LC1.2

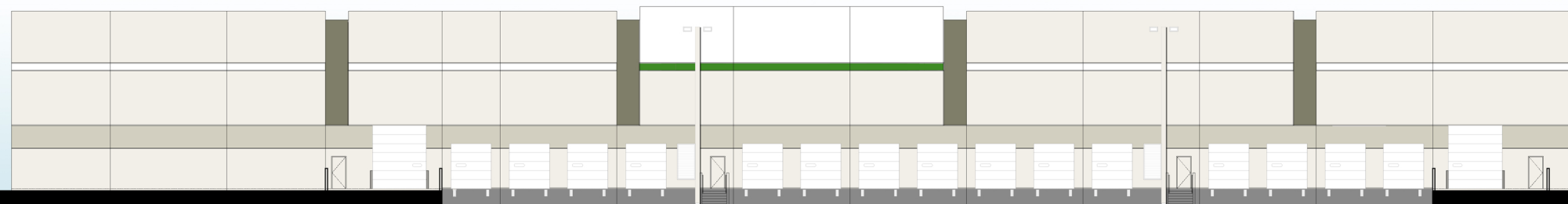




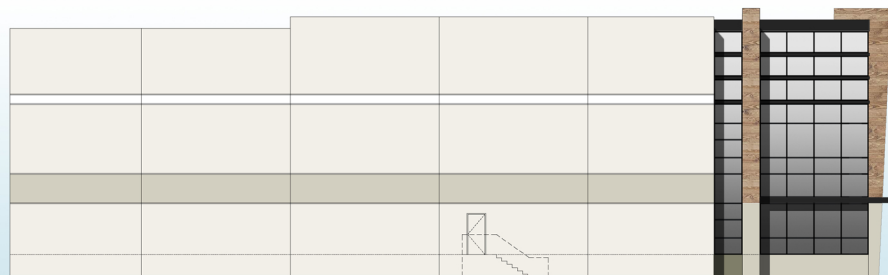
NORTH ELEVATION



WEST ELEVATION



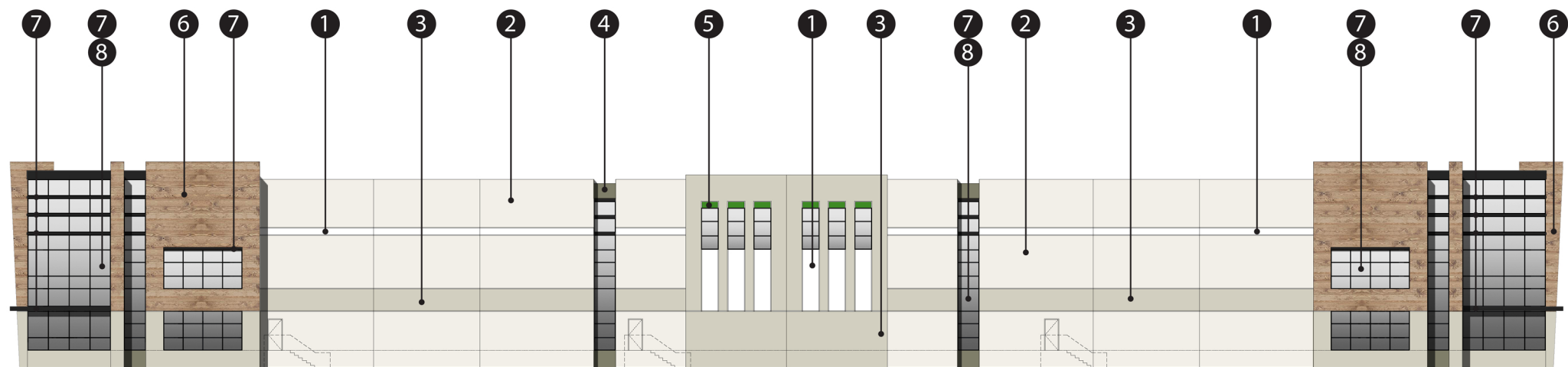
SOUTH ELEVATION



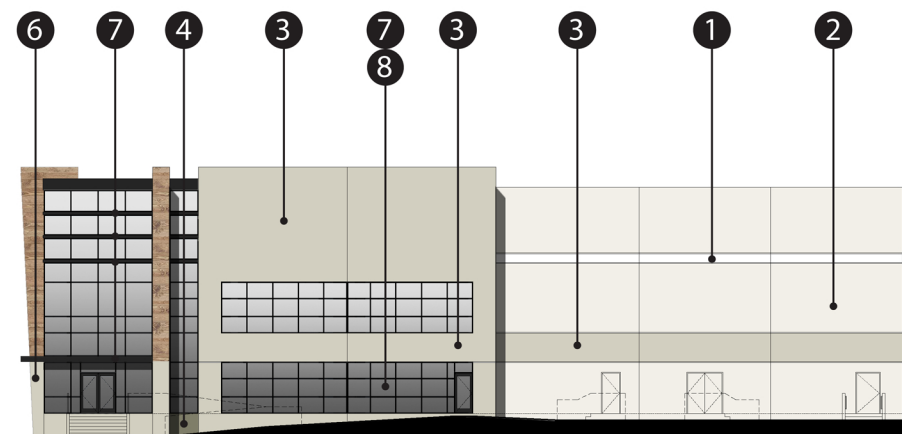
EAST ELEVATION

Washington Ave
San Leandro, CA

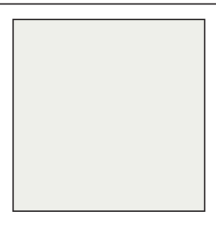
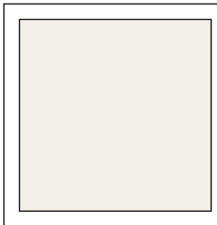
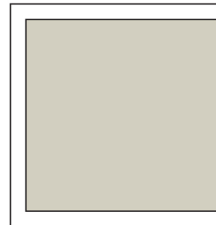
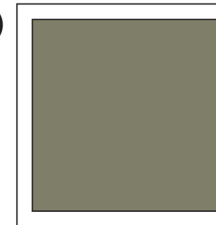
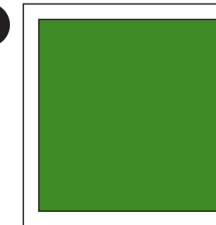


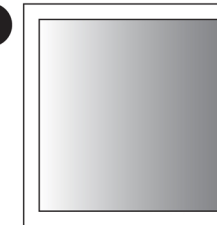




NORTH ELEVATION



WEST ELEVATION

- | | | | | | | | |
|---|---|--|---|---|---|---|---|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 |
|  |  |  |  |  |  |  |  |
| Dunn-Edwards Paints
Warm White
DEW 380 | Dunn-Edwards Paints
Latte Froth
DE 6239 | Dunn-Edwards Paints
Lunar Landing
DE 6241 | Dunn-Edwards Paints
Smoky Forest
DE 6244 | Dunn-Edwards Paints
Golf Course
DE 5601 | IPE wood | Black
@MULLIONS
@METAL CANOPY | Grey Glazing |

Washington Ave

San Leandro, CA

MATERIAL BOARD