

**PROJECT TEAM**

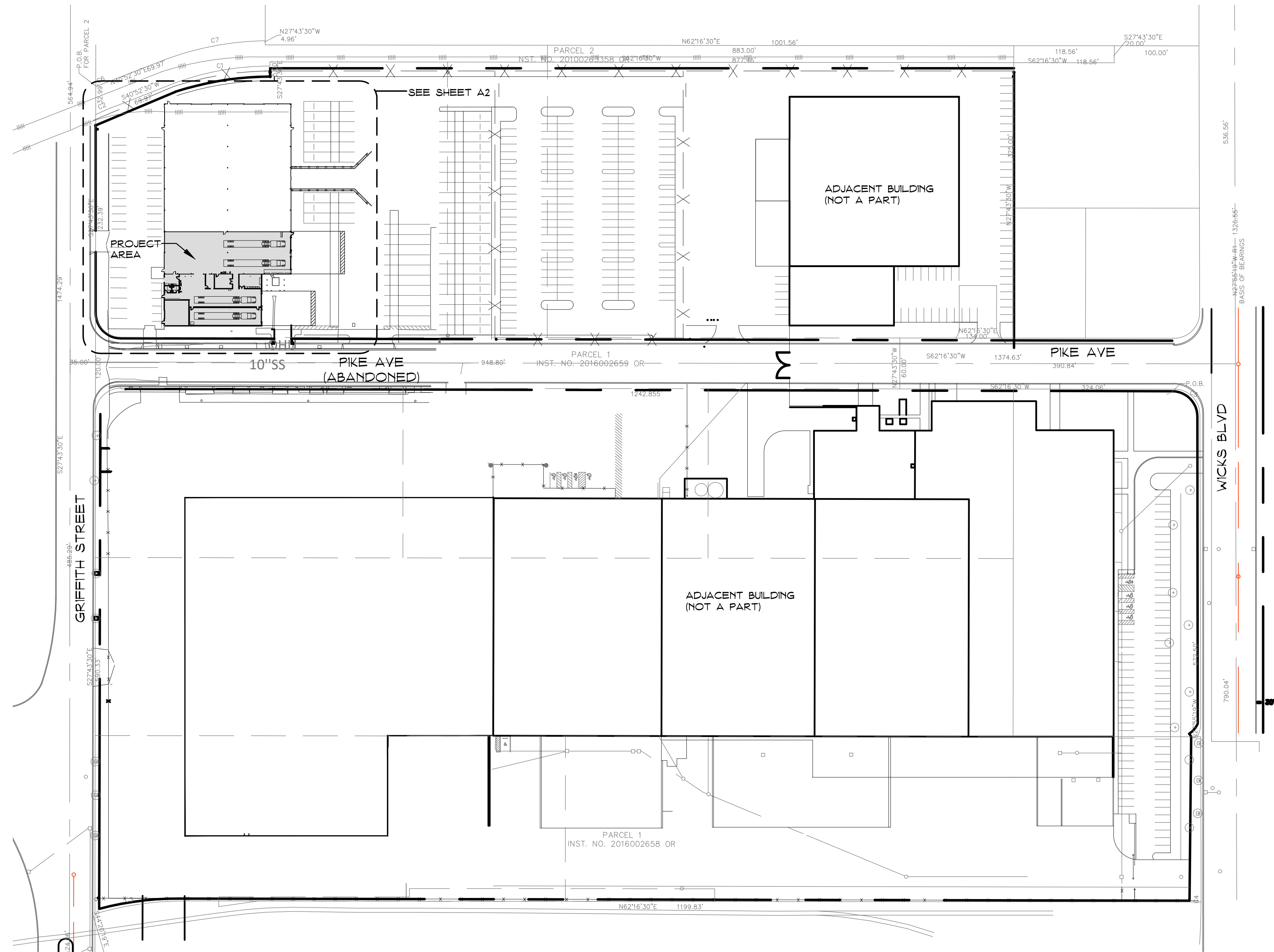
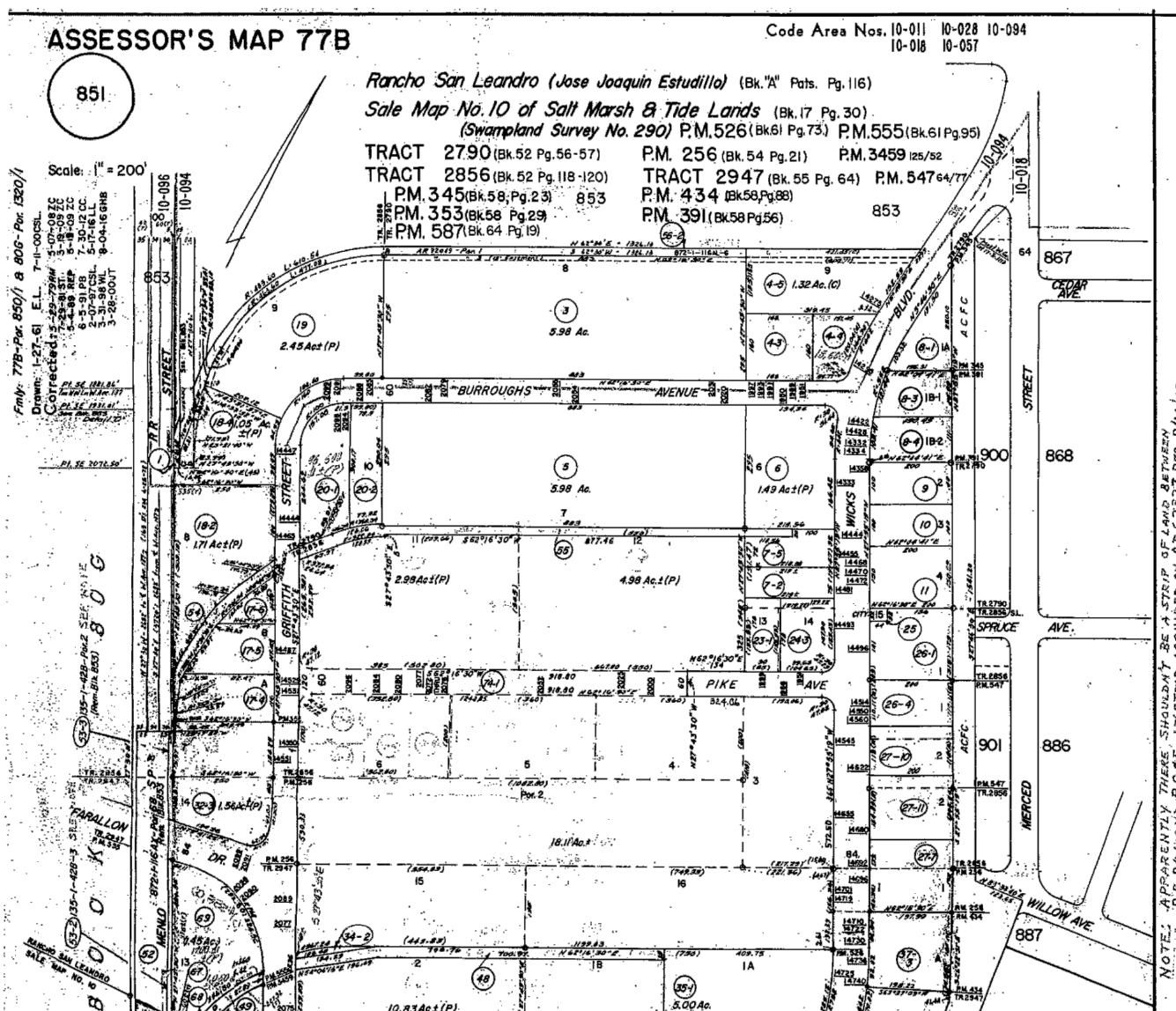
**OWNER**  
 LONE OAK - SAN LEANDRO, LLC  
 6250 NORTH RIVER ROAD, SUITE 9000  
 ROSEMONT, ILLINOIS 60015  
 (647) 430-9766

**ARCHITECT**  
 PWC ARCHITECTS  
 3320 DATA DRIVE, SUITE 200  
 RANCHO CORDOVA, CA. 95670  
 (916) 851-1400

**CIVIL ENGINEER**  
 KPFF  
 2250 DOUGLAS BOULEVARD, SUITE 200  
 ROSEVILLE, CA. 95661  
 (916) 772-7666

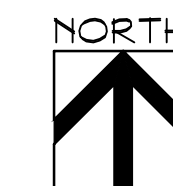
**ELECTRICAL ENGINEER**  
 OPTIMIZED ENERGY  
 5724 LONETREE BLVD.  
 ROCKLIN, CA. 95765  
 (916) 626-5518

**ACCESSORS MAP**



*Overall Site Plan*

1" = 80'-0"



**SHEET INDEX**

- AO OVERALL SITE PLAN
- AO.1 SITE PLAN - LANDSCAPE AREA
- A1 EXISTING SITE PLAN
- A2 PROPOSED SITE PLAN
- A3 FLOOR PLANS
- A4 ENLARGED FLOOR PLANS
- A5 EXISTING ELEVATIONS
- A6 PROPOSED ELEVATIONS
- A7 CONTEXT PHOTOS
- C1.0 COVER SHEET
- C2.0 PRELIMINARY DEMOLITION PLAN
- C3.0 PRELIMINARY GRADING & UTILITY PLAN
- C3.1 PRELIMINARY SECTIONS
- 1 OF 1 TOPOGRAPHIC SURVEY
- EO SITE PHOTOMETRIC ANALYSIS

**SITE SUMMARY**

APN:	77B-851-74-1
SITE ADDRESS:	2077 PIKE AVE
ZONE:	IG (INDUSTRIAL GENERAL DISTRICT)
SITE AREA:	27.378 AC (1,192,615 S.F.)
PROPOSED BUILDING AREA:	7,036 S.F.
CONSTRUCTION TYPE:	III-B
OCCUPANCY:	S-2
FIRE SPRINKLERS:	EXISTING
<b>PARKING STANDARDS:</b>	
WAREHOUSE:	1/1500 G.S.F.
FLEET SHOP:	1/400 G.S.F.
EXISTING BUILDINGS:	PARKING REQ'D
WAREHOUSE (371,709 S.F.):	248 SPACES
PROPOSED ADDITION:	
FLEET SHOP (7,036 S.F.):	18 SPACES
TOTAL SITE PARKING REQ'D:	266 SPACES
EXISTING CAR STALLS (9'X18):	305 SPACES
ACCESSIBLE STALLS:	10 SPACES
TOTAL PARKING PROVIDED:	315 SPACES

**PERKINS, WILLIAMS & COTTERILL**  
**ARCHITECTS**  
 3320 Data Drive, Suite 200 • Rancho Cordova, California 95670  
 T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com

*Overall Site Plan*

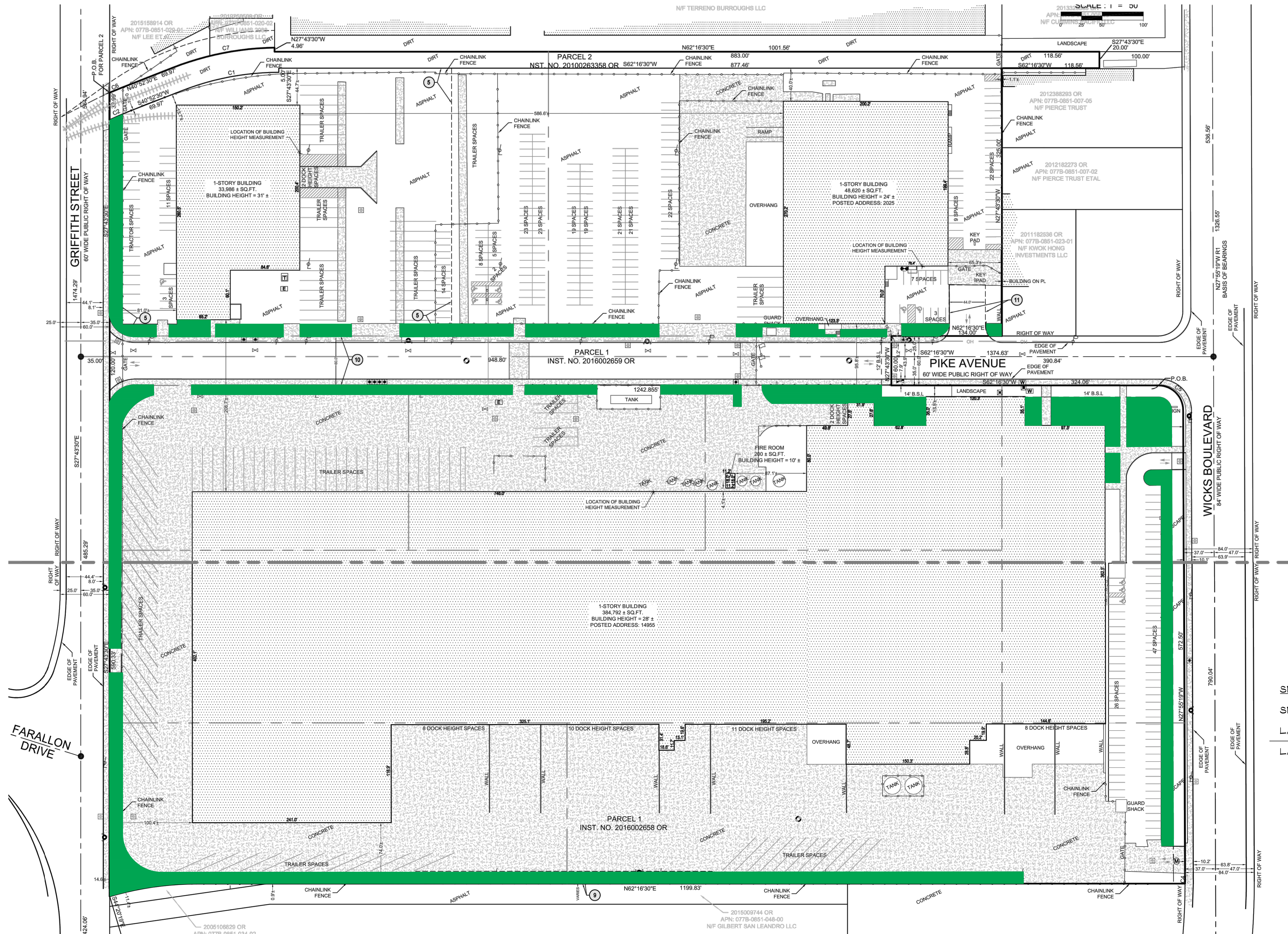
**Project:** REYES COCA-COLA

**Job No.** 21-311 **Date:** 6-14-21

**Scale:** 1" = 80'-0"

**Reyes Coca-Cola – Fleet Shop**  
 2077 Pike Ave., San Leandro, CA.

**A0**



SITE PLAN - LANDSCAPE AREA:

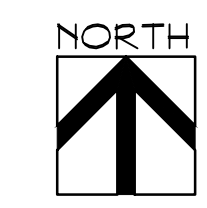
SITE AREA:	1,192,225 S.F.
LANDSCAPE AREA:	68,715 S.F.
LANDSCAPE PERCENTAGE:	5.7%

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Site Plan –  
 Landscape Area

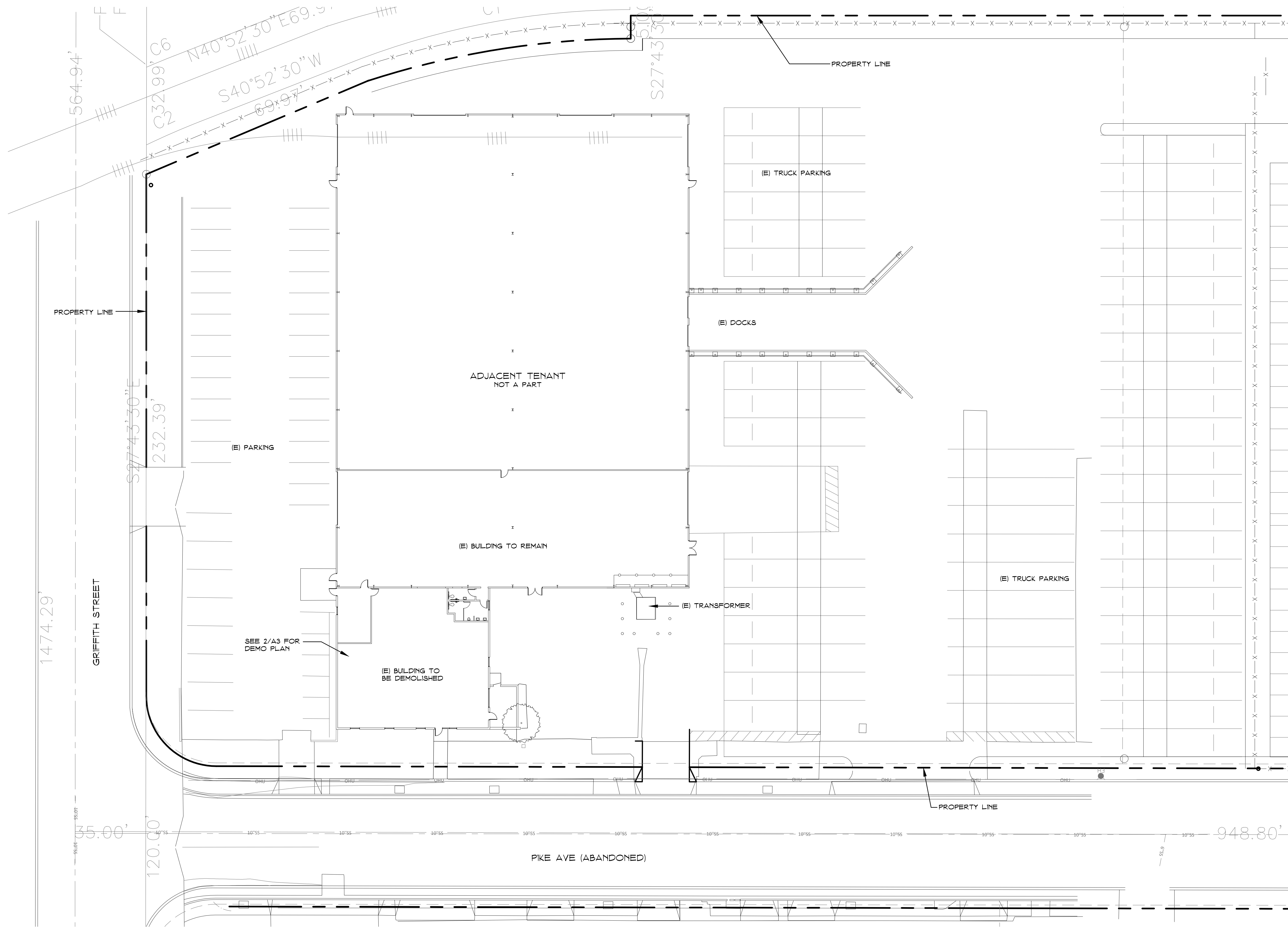
Project:	REYES COCA-COLA
Job No.	21-311
Date:	6-14-21
Scale:	1" = 60'-0"

Site Plan – Landscape Area



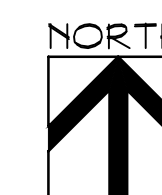
1" = 60'-0"

Reyes Coca-Cola – Fleet Shop  
 2077 Pike Ave., San Leandro, CA.



Existing Site Plan

1" = 20'-0"



Reyes Coca-Cola - Fleet Shop  
2077 Pike Ave., San Leandro, CA.

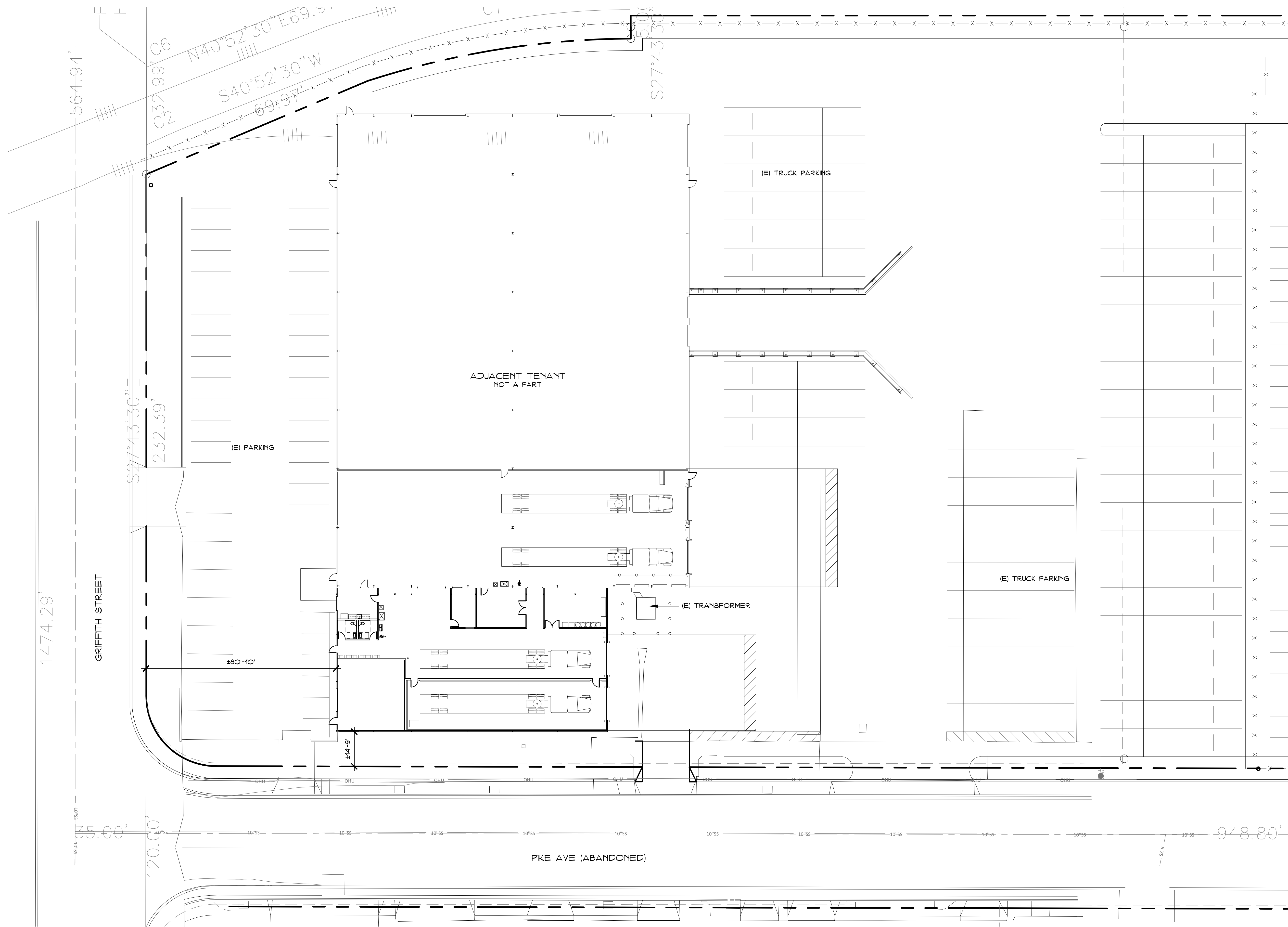
**PERKINS, WILLIAMS & COTTERILL ARCHITECTS**  
 3320 Data Drive, Suite 200 - Rancho Cordova, California 95670  
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Existing Site Plan

Project: REYES COCA-COLA

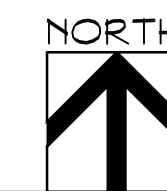
Job No. 21-311 Date: 4-9-21

Scale: 1" = 20'-0"



Proposed Site Plan

1" = 20'-0"



**Reyes Coca-Cola - Fleet Shop**  
 2077 Pike Ave., San Leandro, CA.

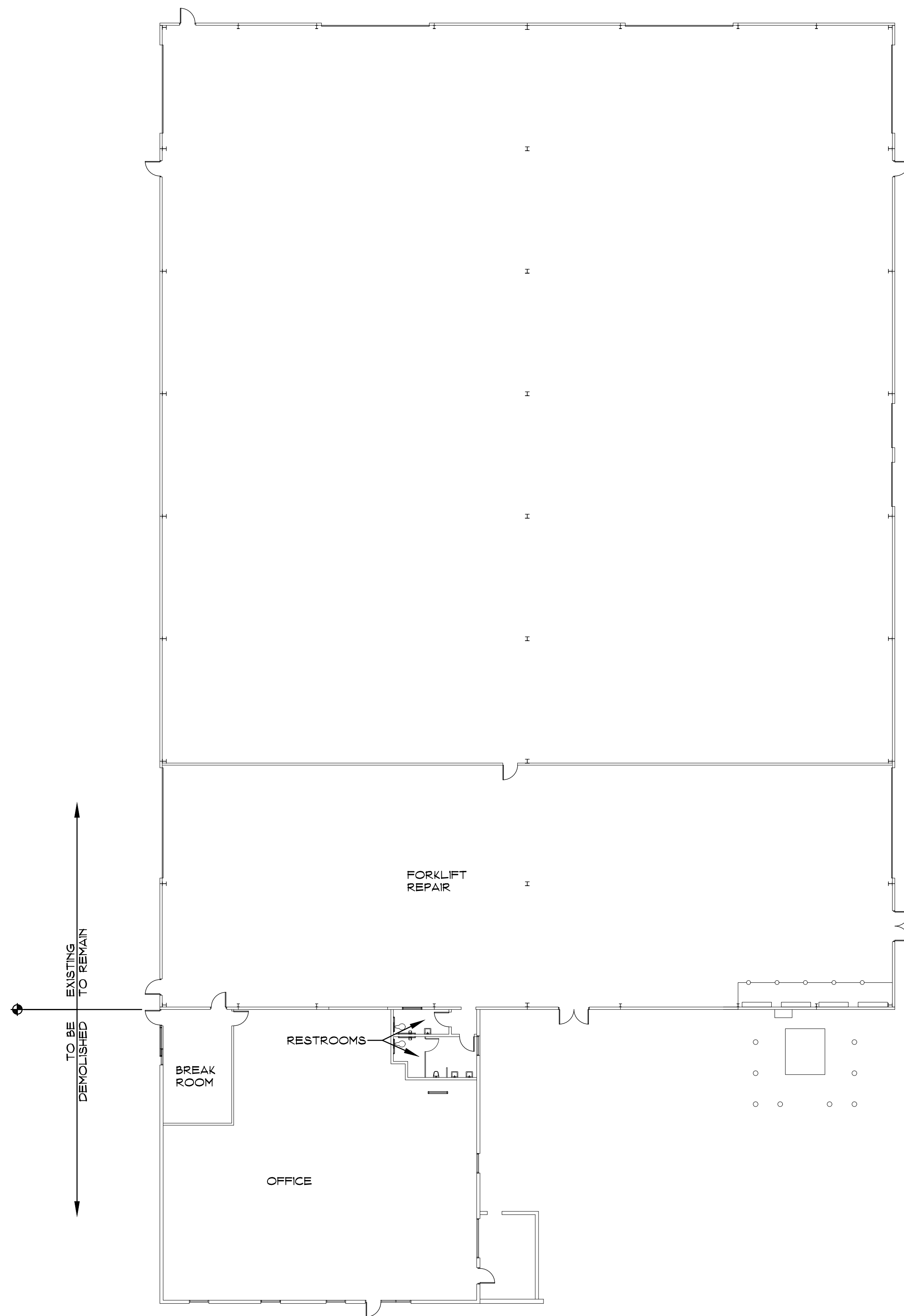
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**ARCHITECTS**  
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*Proposed Site Plan*

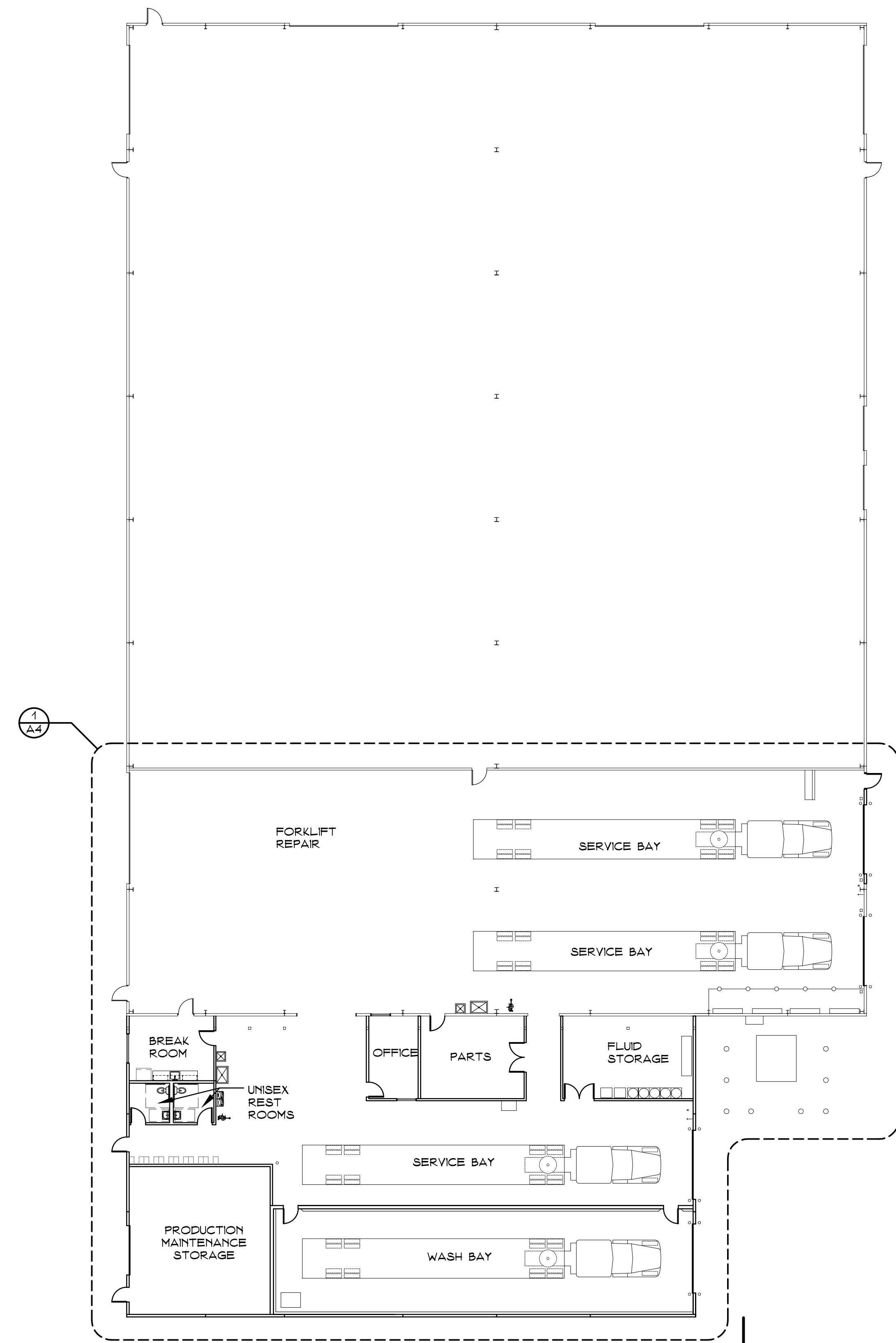
Project: REYES COCA-COLA

Job No. 21-311 Date: 4-9-21

Scale: 1" = 20'-0"



Existing Plan  
 1/16" = 1'-0"  
 NORTH



Proposed Plan  
 1/16" = 1'-0"  
 NORTH

**PERKINS, WILLIAMS & COTTERILL**  
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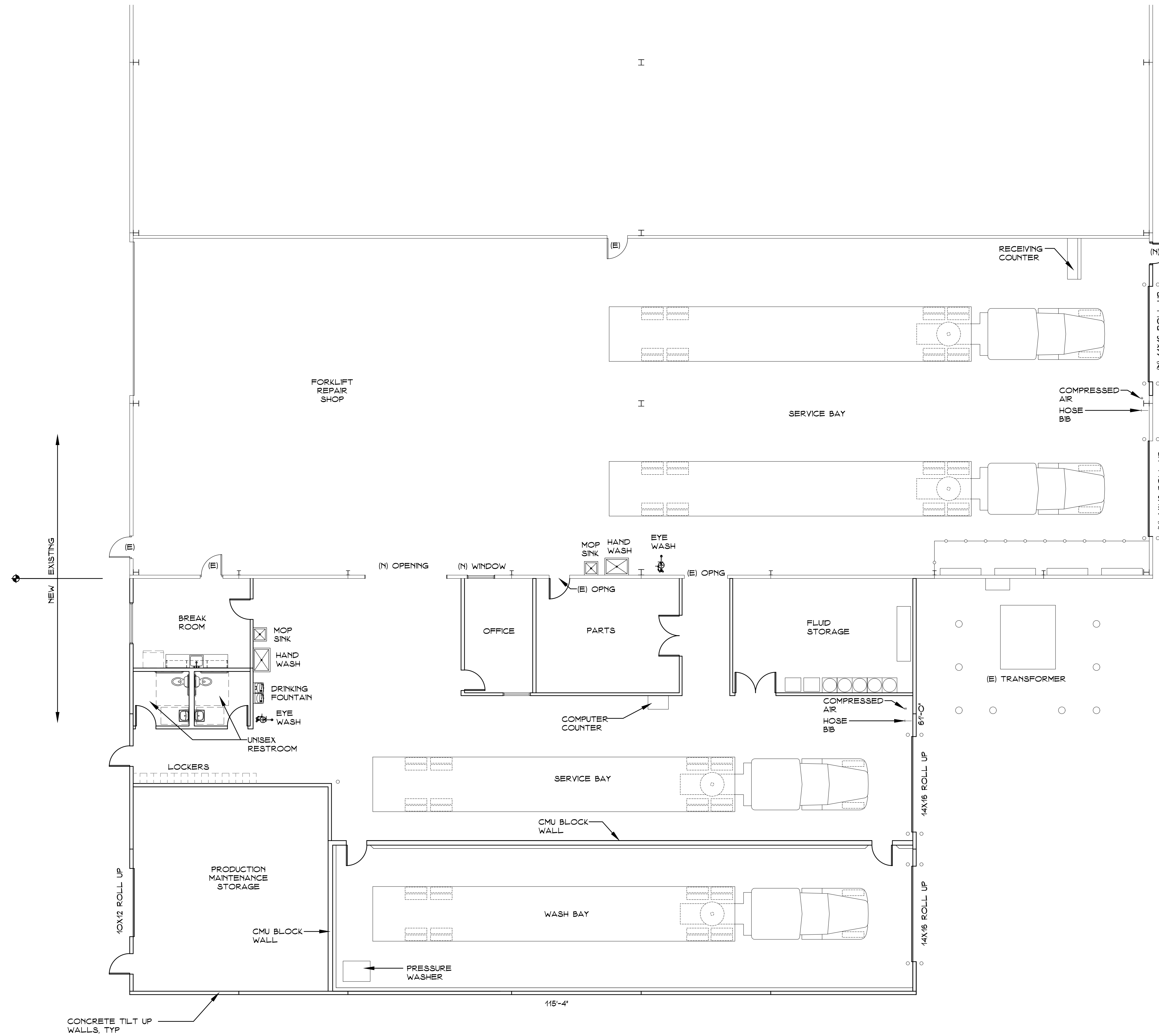
*Floor Plans*

Project: REYES COCA-COLA

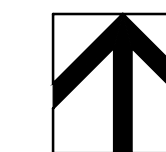
Job No. 21-311 Date: 4-9-21

Scale: 1/16" = 1'-0"

*Reyes Coca-Cola - Fleet Shop*  
 2077 Pike Ave, San Leandro, CA.



Enlarged Floor Plan



1/8" = 1'-0"

**Reyes Coca-Cola – Fleet Shop**  
 2077 Pike Ave, San Leandro, CA.

**PERKINS, WILLIAMS & COTTERILL**  
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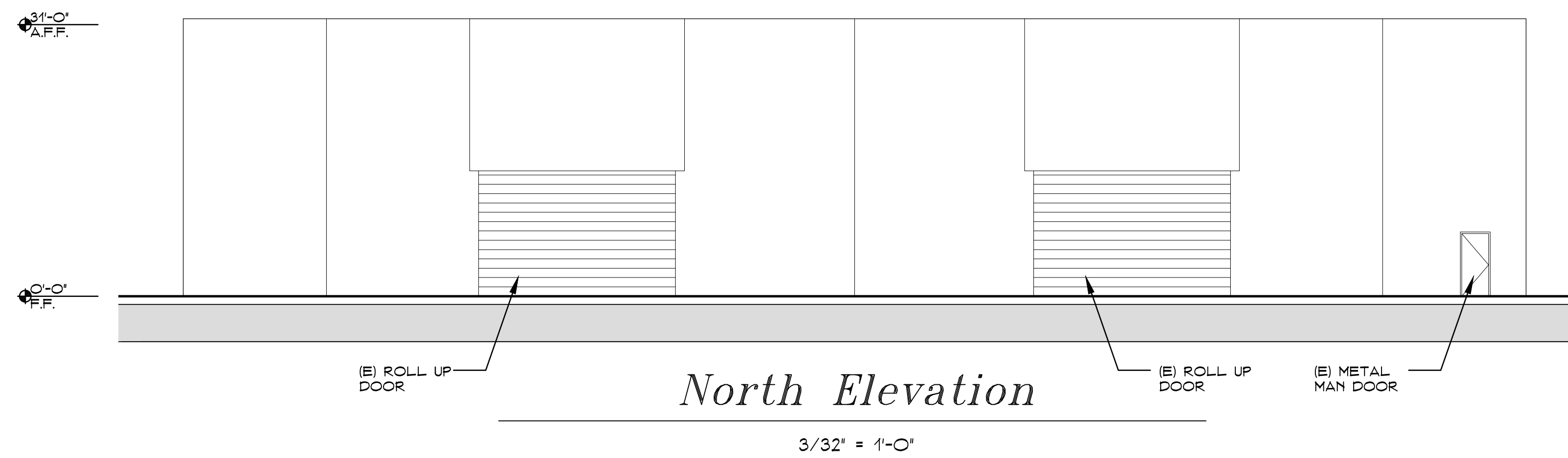
*Enlarged Floor Plan*

Project: REYES COCA-COLA

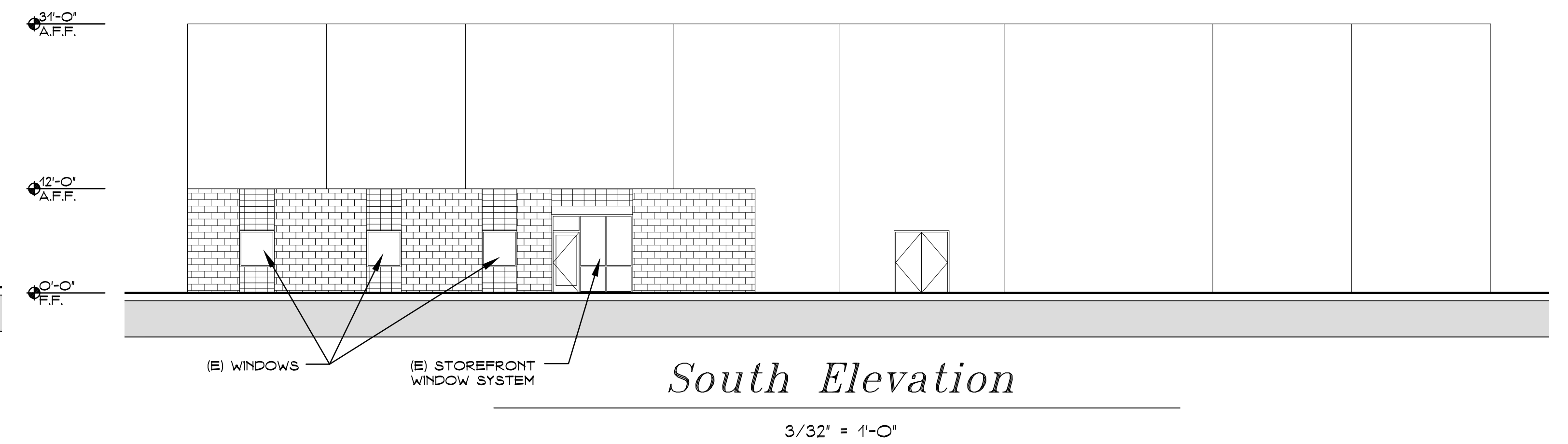
Job No. 21-311 Date: 4-9-21

Scale: 1/16" = 1'-0"

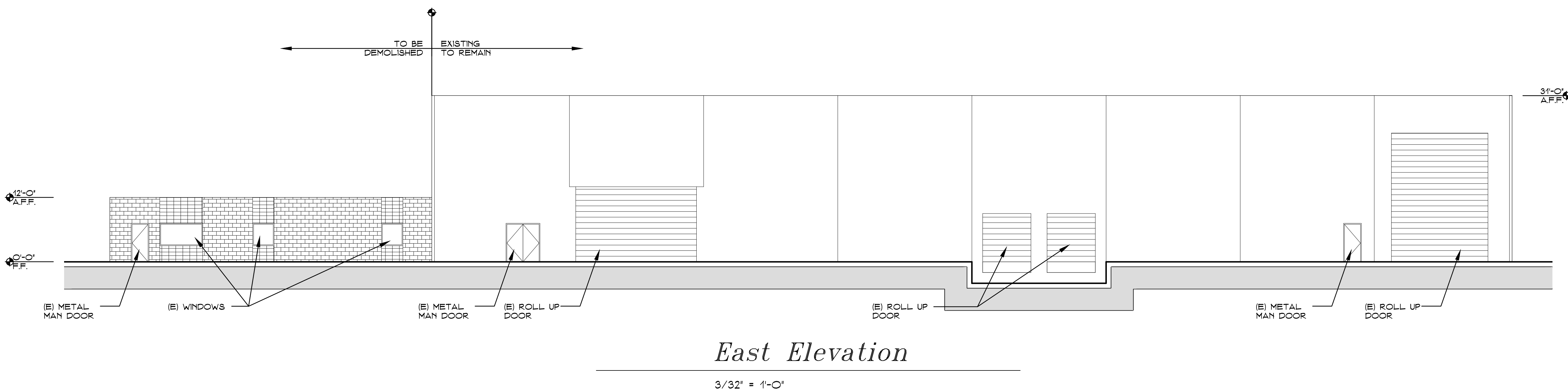
**A4**



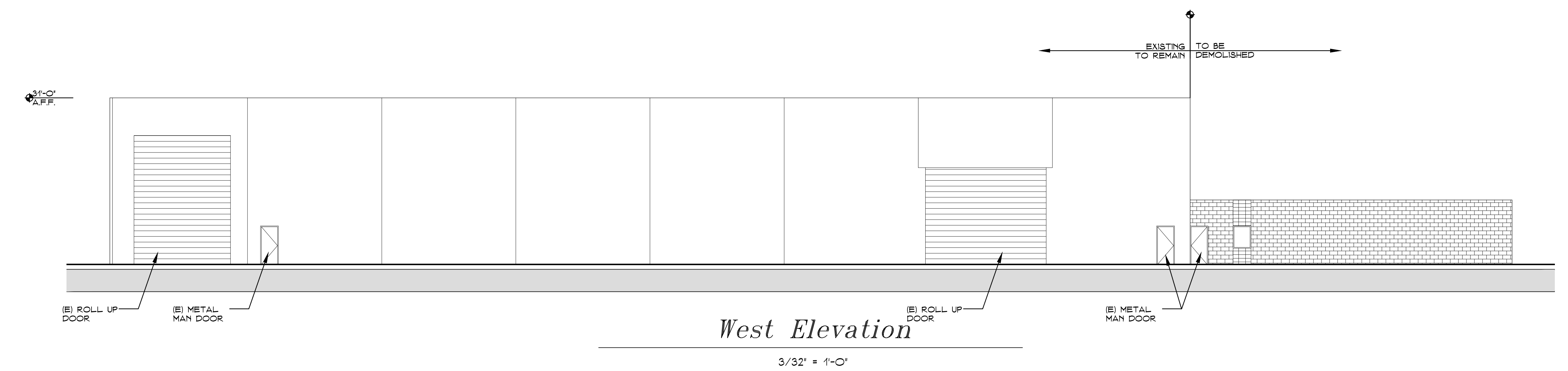
North Elevation



South Elevation



East Elevation



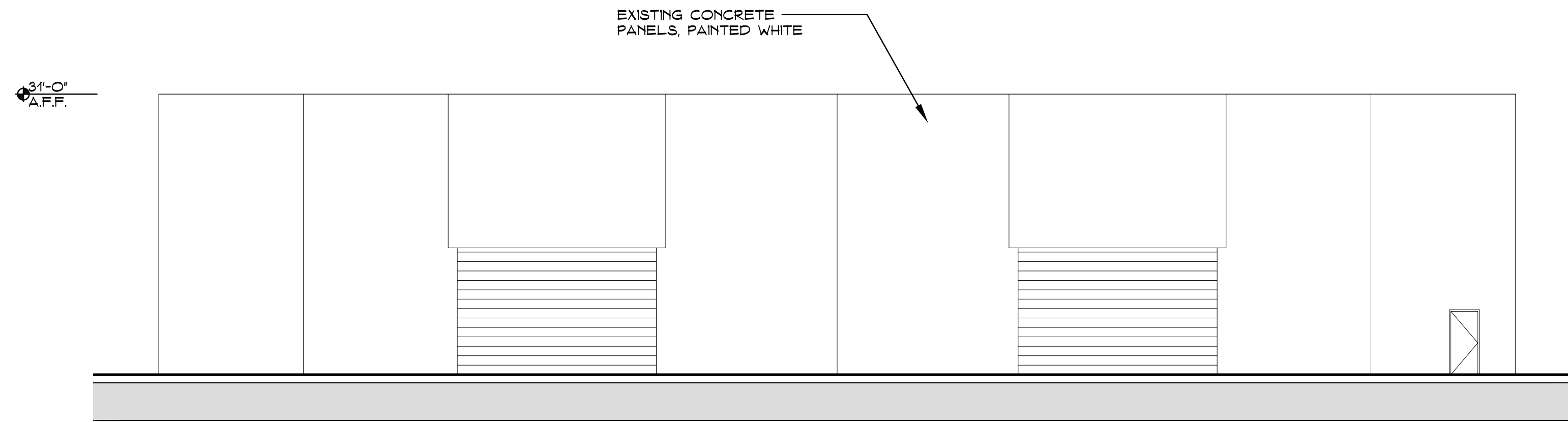
West Elevation

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*Existing Elevations*

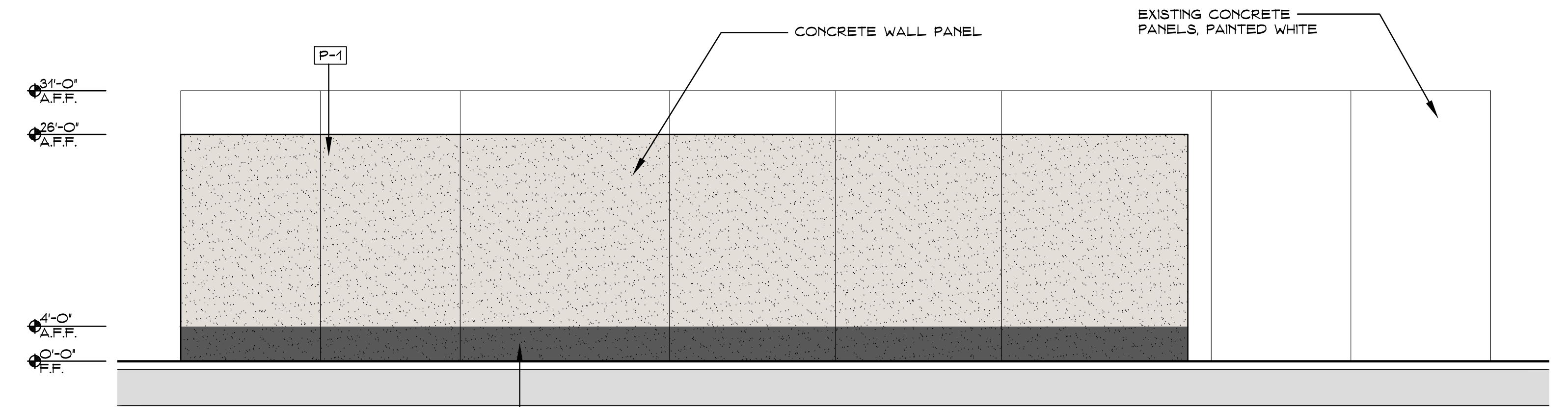
<b>Project:</b>	REYES COCA-COLA	
<b>Job No.</b>	21-311	<b>Date:</b> 4-9-21
<b>Scale:</b>	3/32" = 1'-0"	

*Reyes Coca-Cola - Fleet Shop*  
 2077 Pike Ave., San Leandro, CA.



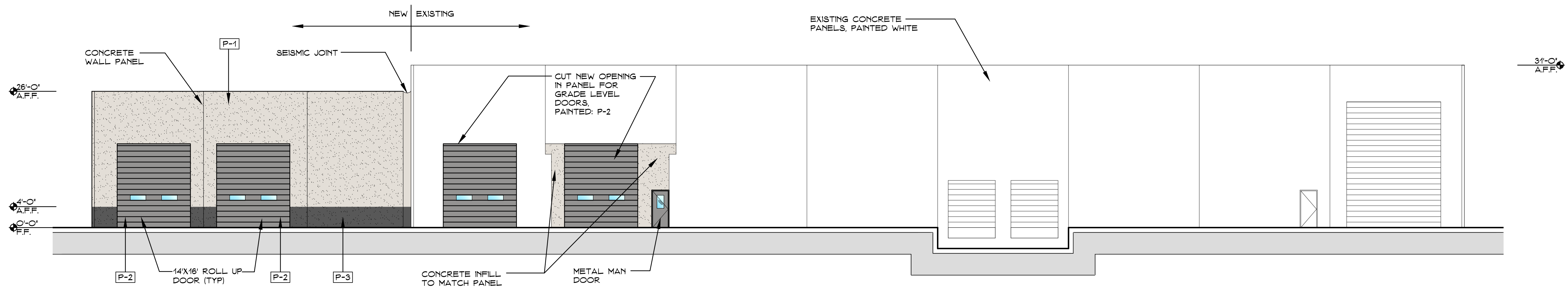
North Elevation

3/32" = 1'-0"



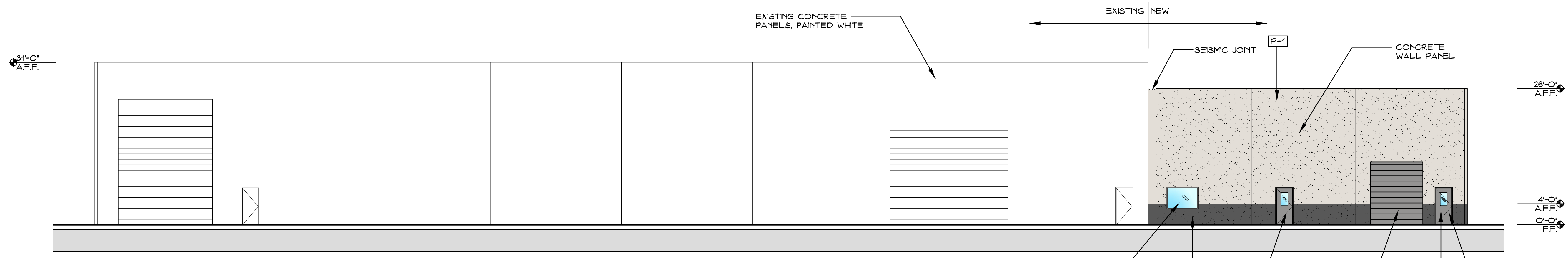
South Elevation

3/32" = 1'-0"



East Elevation

3/32" = 1'-0"



West Elevation

3/32" = 1'-0"

COLOR SCHEDULE	
	P-1 SHERWIN WILLIAMS MATCH EXISTING
	P-2 SHERWIN WILLIAMS MATCH EXISTING
	P-3 SHERWIN WILLIAMS #SW 7674 PEPPERCORN

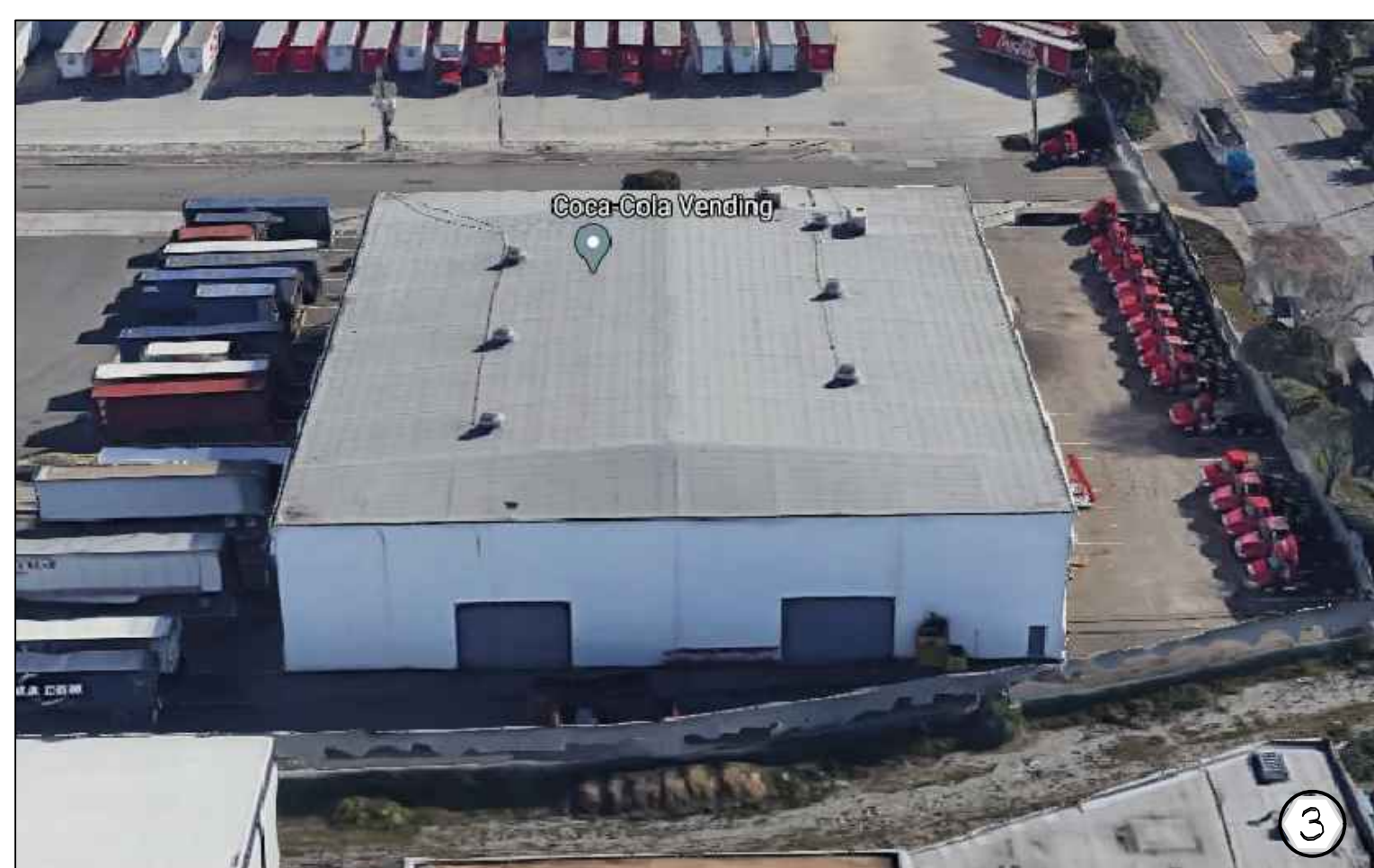
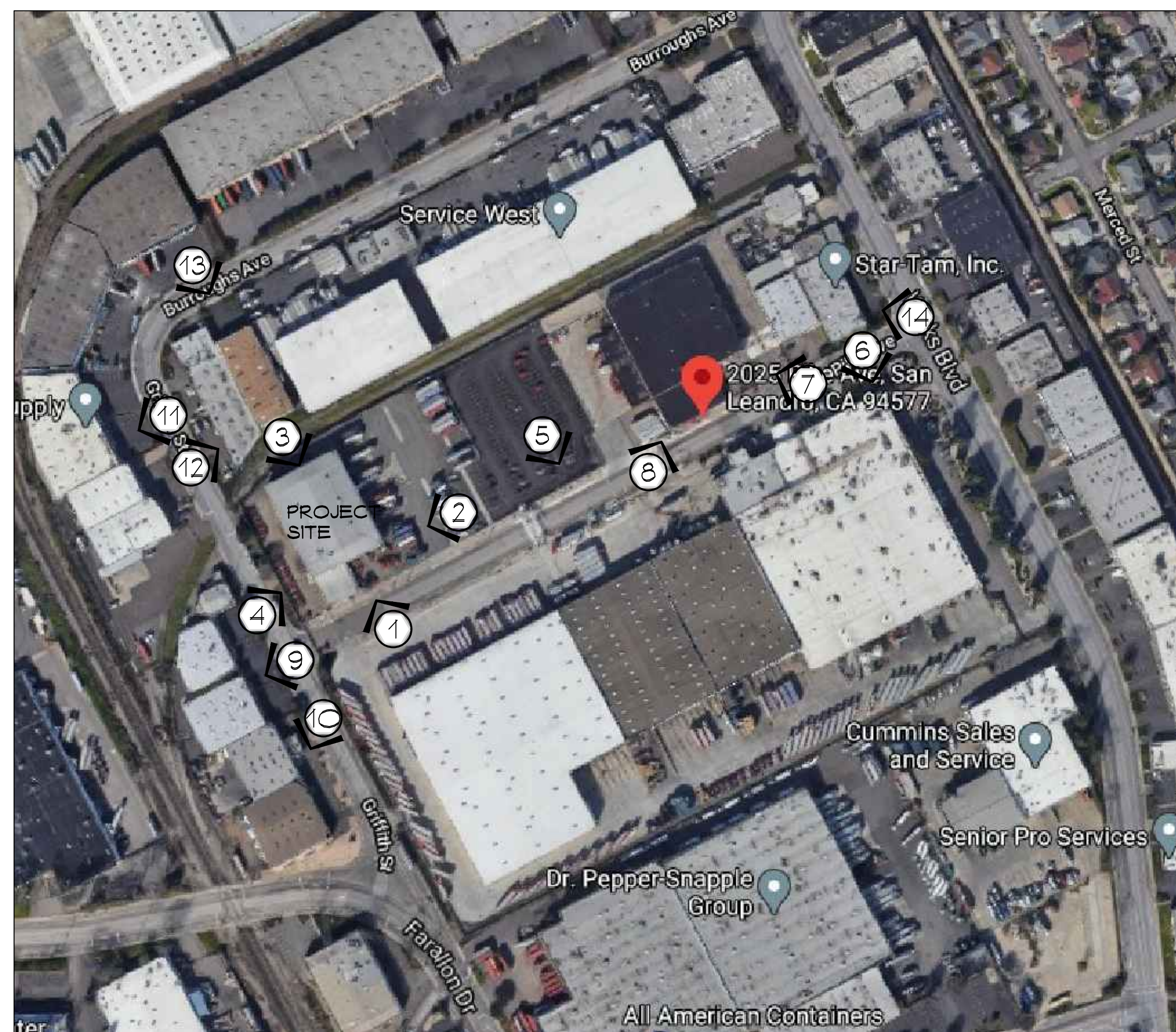
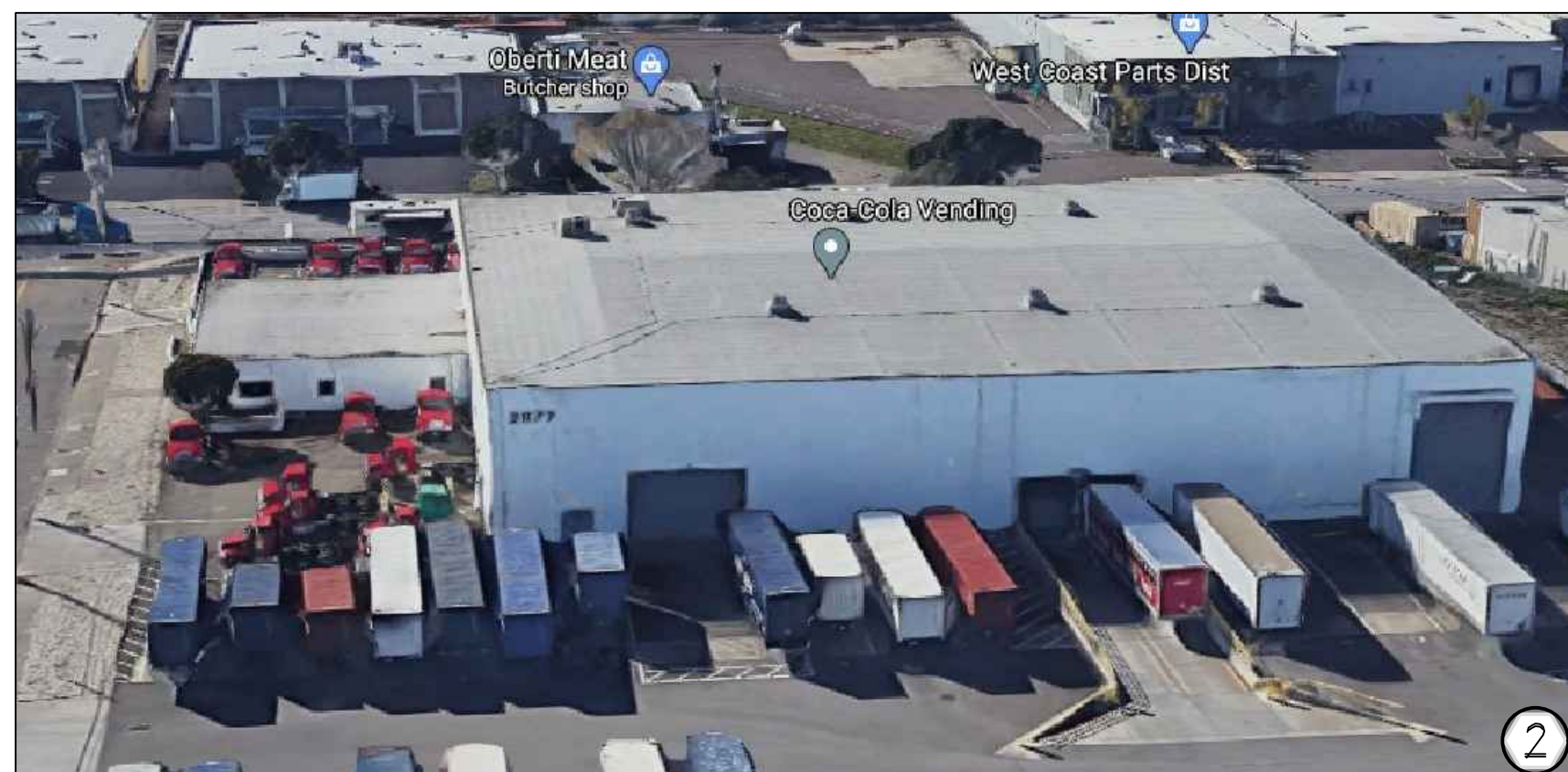
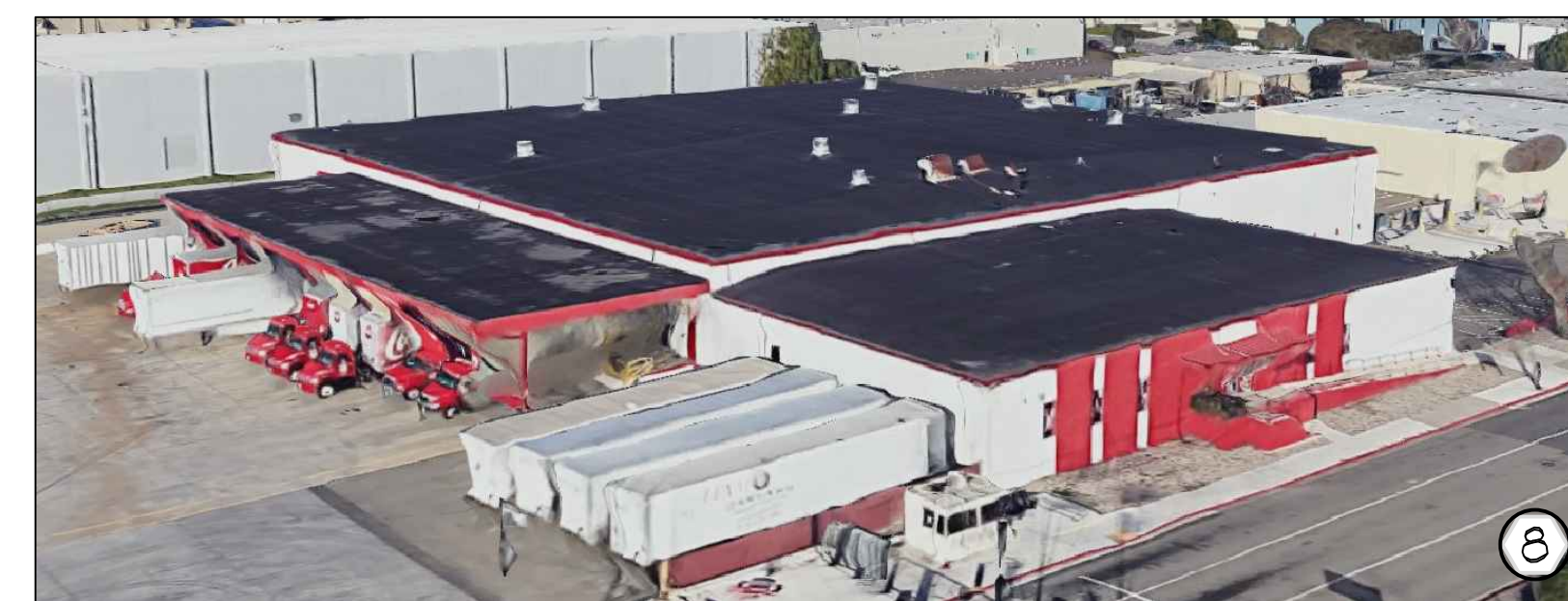
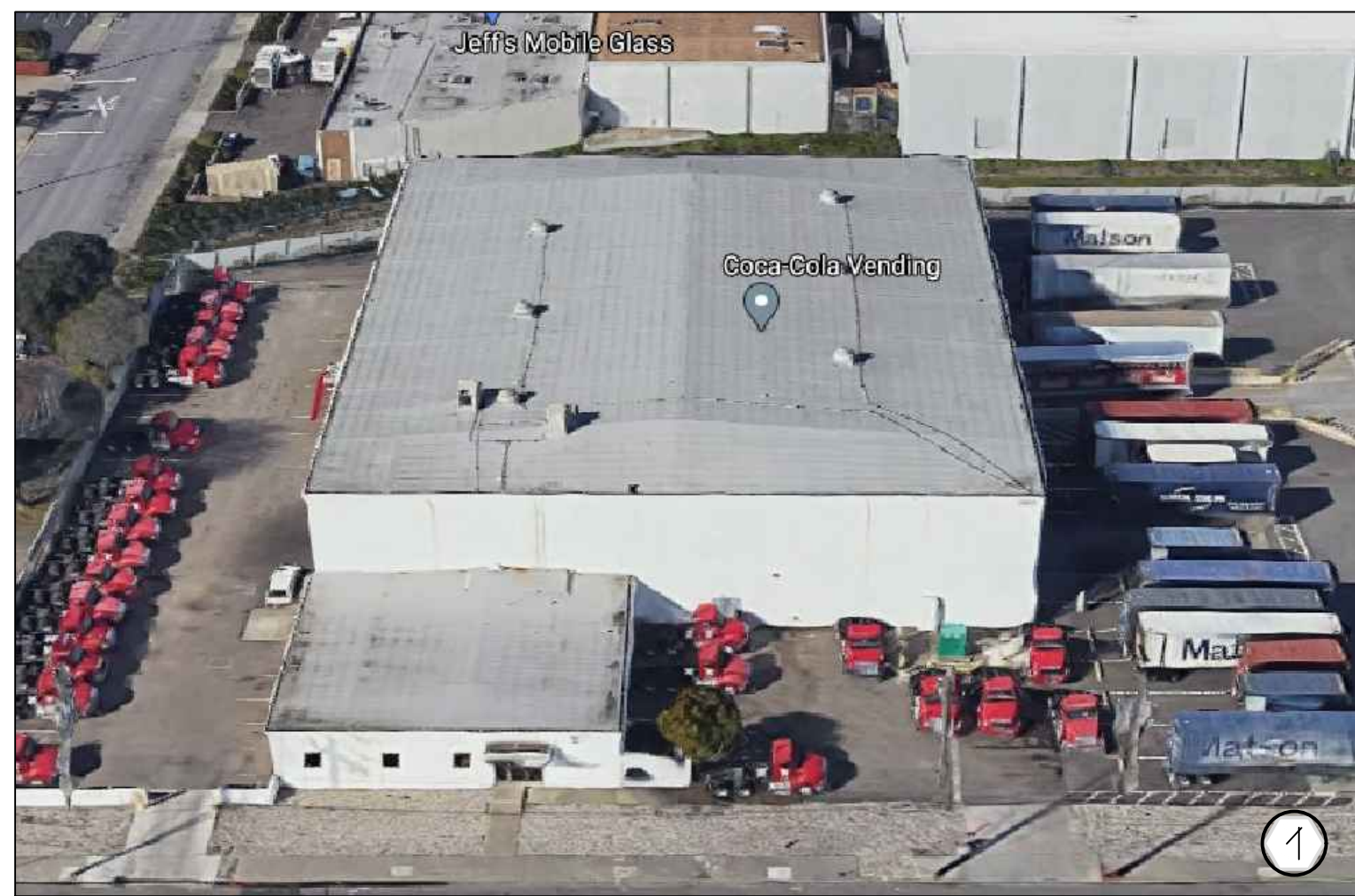
**Reyes Coca-Cola - Fleet Shop**  
2077 Pike Ave., San Leandro, CA.

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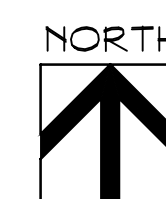
*Proposed Elevations*

Project: REYES COCA-COLA  
Job No. 21-311 Date: 6-14-21  
Scale: 3/32" = 1'-0"





Site Plan



NOT TO SCALE



Reyes Coca-Cola – Fleet Shop  
2077 Pike Ave., San Leandro, CA.

PERKINS, WILLIAMS & COTTERILL  
**ARCHITECTS**  
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T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com

Context Photos

Project: REYES COCA-COLA

Job No. 21-311 Date: 4-9-21

Scale: NOT TO SCALE

# PRELIMINARY GRADING AND UTILITY PLAN

## SAN LEANDRO FLEET SHOP

### 14655 WICKS BLVD

### SAN LEANDRO, CA

APN #77B-851-74-1

**kpff**

2250 Douglas Blvd, Suite 200  
Roseville, CA 95661  
O: 916.772.7688  
F: 916.772.7699  
www.kpff.com

Engineer's Stamp

PRELIMINARY  
NOT FOR  
CONSTRUCTION

Project

SAN LEANDRO SLEET SHOP  
14655 WICKS BLVD  
SAN LEANDRO, CA

Sheet Title

COVER  
SHEET

NO.	Date	Description	Approved

DATE 04/09/21

Designed MP

Drawn CD, SL

Checked RC

JOB NO. 2100-014

Drawing No.

**C1.0**

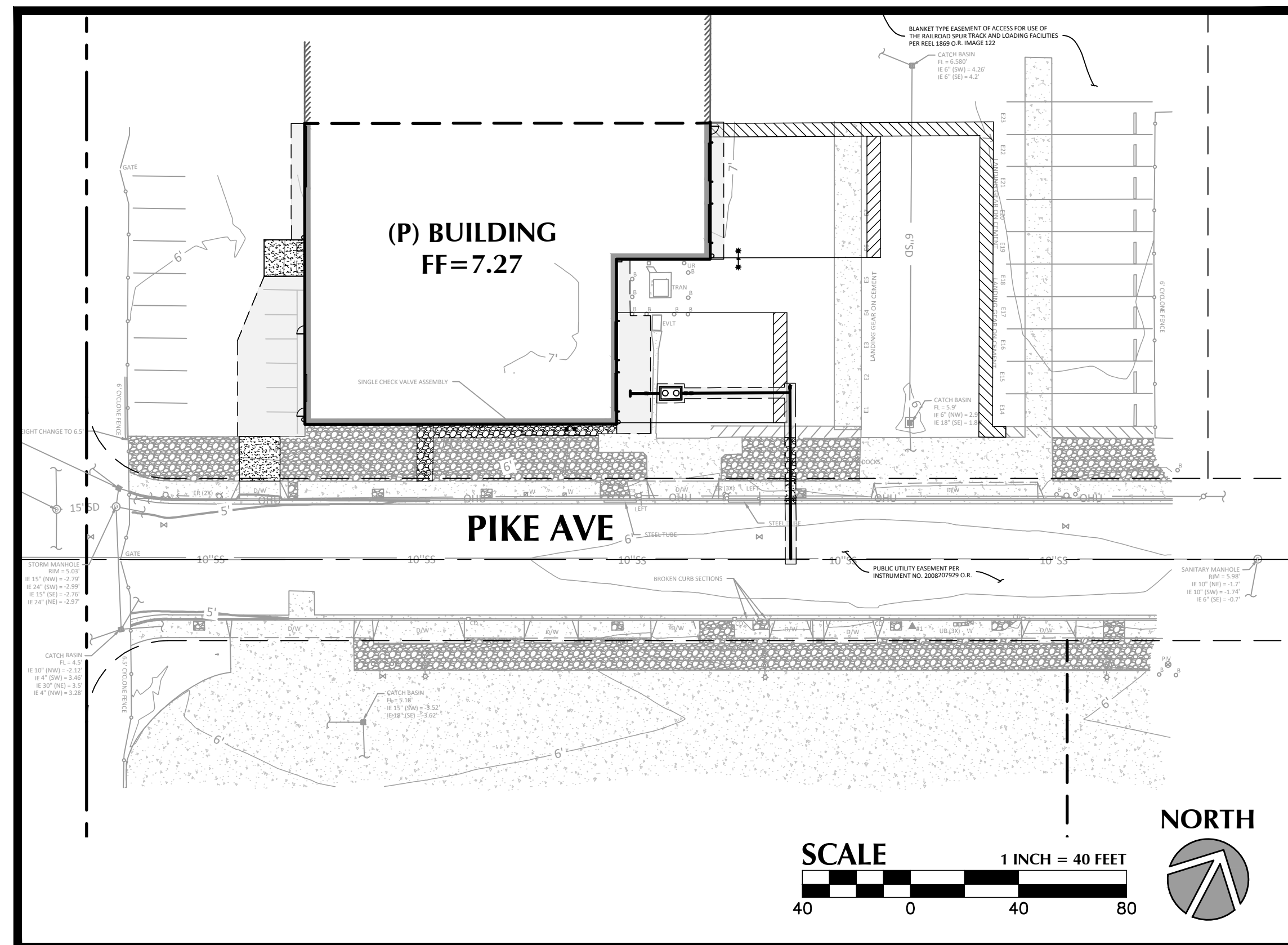
**LEGEND**

	PROPOSED	EXISTING
PROPERTY LINE / RIGHT-OF-WAY LINE	---	---
EASEMENT LINE	---	---
CENTERLINE	---	---
BUILDING OUTLINE	▬	▬
BUILDING OVERHANG	▬	▬
CURB	▬	▬
CURB AND GUTTER	▬	▬
SAWCUT LINE	---	---
ASPHALT PAVEMENT	▬	▬
ASPHALT PAVEMENT (HEAVY)	▬	▬
CONCRETE PAVEMENT	▬	▬
MAJOR CONTOUR	100	100
MINOR CONTOUR	99	99
GRADE BREAK	GB	GB
RETAINING WALL	▬	▬
GRADING SLOPE	▬	▬
DAYLIGHT LINE	▬	▬
GAS LINE	G	G
ELECTRIC LINE	E	E
FIBER OPTIC LINE	FO	FO
TELECOMMUNICATIONS LINE	T	T
JOINT TRENCH	JT	JT
SWALE	▬	▬
FENCE	▬	▬
STORM DRAIN LINE	24" SD	SD
SANITARY SEWER LINE	6" SS	SS
WATER MAIN LINE	12" W	W
STORM DRAIN MANHOLE	●	●
STORM DRAIN INLET	■	■
GRADED STORM DRAIN MANHOLE	▬	▬
FLARED END SECTION	▬	▬
CLEANOUT	▬	▬
SANITARY SEWER MANHOLE	●	●
GREASE INTERCEPTOR	▬	▬
FIRE HYDRANT	●	●
FIRE DEPARTMENT CONNECTION	▬	▬
BACKFLOW PREVENTOR/DDCV	▬	▬
GATE VALVE	▬	▬
POST INDICATOR VALVE	▬	▬
BLOW-OFF VALVE	▬	▬
AIR-RELEASE VALVE	▬	▬
WATER METER	▬	▬
CONCRETE THRUST BLOCK	▬	▬
LIGHT POLE - MAST ARM	▬	▬
LIGHT POLE	▬	▬
ELECTRIC BOX	▬	▬
TELEPHONE BOX	▬	▬
HANDICAP PARKING	▬	▬
POWER POLE	▬	▬
TREE PROTECTION	▬	▬
SPOT ELEVATIONS	XX.XX TC XX.XX FS	(XX.XX TC) (XX.XX FS)
GRADING SLOPE	2.00%	(2.00%)

**ABBREVIATIONS**

AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADA	AMERICAN DISABILITIES ACT
APPROX.	APPROXIMATE
B	BOLLARD
BLDG	BUILDING
BOT	BOTTOM OF PIPE
BOW	BACK OF WALK
BS	BOTTOM OF STAIR
BW	BOTTOM OF WALL
CB	CATCH BASIN
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CO	CLEANOUT
CONC.	CONCRETE
COTG	CLEANOUT TO GRADE
CP	CONTROL POINT
Δ	DELTA
D/W	DRIVEWAY
DCO	DRAIN CLEANOUT
DI	DRAIN INLET
DI, Ø	DIAMETER
DIP	DUCTILE IRON PIPE
E	ELECTRICAL
EG	EXISTING GRADE
(E)	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOWLINE
FND	FOUNDATION
FS	FINISHED SURFACE
G	GRADE BREAK
GL	GAS LINE
GR	GRATE ELEVATION
GV	GATE VALVE
H	HEIGHT
HP	HIGH POINT
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
INV	INVERT
IRR.	IRRIGATION
JT	JOINT TRENCH
LF	LINEAR FEET
LP	LIGHT POLE
MH	MANHOLE
MIN	MINIMUM
N	NORTHING
O.D	OUTSIDE DIAMETER
OF	OUTFALL
OH/OH	OVERHEAD
(P)	PROPOSED
P.L.	PROPERTY LINE
PE	PEDESTRIAN
PIV	POST INDICATOR VALVE
PM	PARKING METER
POC	POINT ON CURVE
PP	POWER POLE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENT
P.U.E	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
PVM	PAVEMENT
PVT	PRIVATE
RIM	RIM ELEVATION
RD	ROOF DRAIN
R.O.W	RIGHT-OF-WAY
S	SLOPE (FT/FT)
SCO	SEWER CLEAN OUT
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FEET
SHIT	SHEET
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
ST	STREET
STA	STATION
STD	STANDARD
S/W	SIDEWALK
TC	TOP OF CURB
TD	TRENCH DRAIN
TOP	TOP OF PIPE
TRANS.	TRANSFORMER
TS	TOP OF STAIR
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
W	WATER
W/W	WITH
WCR	WHEEL CHAIR RAMP
WM	WATER METER
WV	WATER VALVE

**SITE MAP**

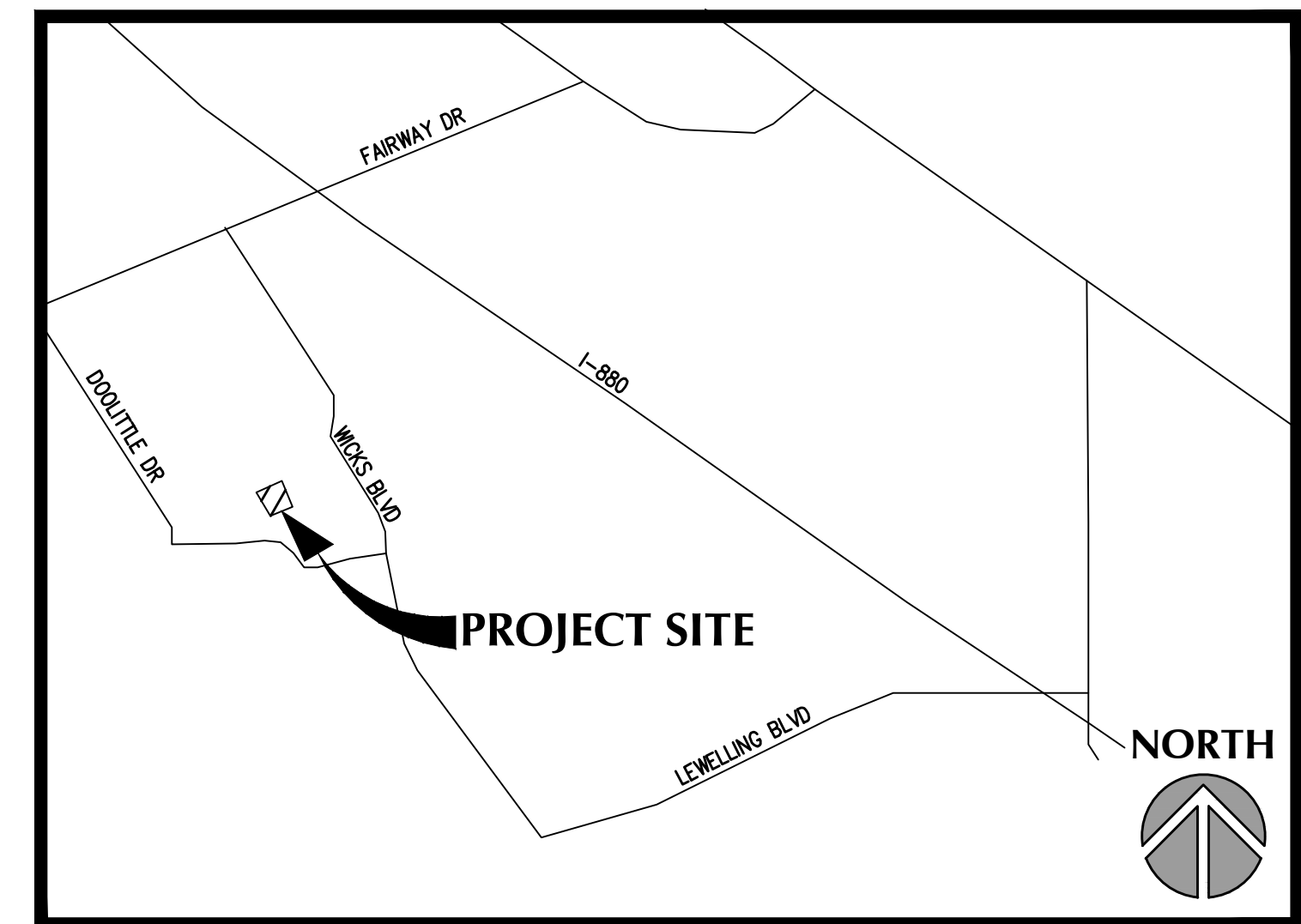


VERTICAL DATUM: CITY OF SAN LEANDRO (NGVD29)  
BENCHMARK: MONUMENT DISC IN INTERSECTION  
BENCHMARK NO. WICKS PIKE  
EL. 6.113'

TOTAL IMPERVIOUS AREA	
PRE-CONSTRUCTION (IMPERV.)	0.42 ACRES
POST-CONSTRUCTION (IMPERV.)	0.41 ACRES
CHANGE IN IMPERV. AREA	-0.01 ACRES

**VICINITY MAP**

SCALE: NTS



**PROJECT CONTACTS**

CLIENT:  
REYES HOLDINGS, LLC  
6250 N RIVER RD. STE 9000  
ROSEMONT IL 60018  
CONTACT: PHIL ERDMAN

ARCHITECT:  
PWC ARCHITECTS  
3320 DATA DRIVE, SUITE 200  
ROSELILLE, CA 95670  
CONTACT: ROY COTTERILL

CIVIL ENGINEER:  
KPFF CONSULTING ENGINEERS  
2250 DOUGLAS BLVD, SUITE 200  
ROSELILLE, CA 95661  
TEL: 916-772-7688  
CONTACT: RYAN CARTER

**SHEET INDEX**

COVER SHEET	C1.0
PRELIMINARY DEMOLITION PLAN	C2.0
PRELIMINARY GRADING & UTILITY PLAN	C3.0
PRELIMINARY SECTIONS	C3.1



CALL BEFORE YOU DIG



Engineer's Stamp

PRELIMINARY  
NOT FOR  
CONSTRUCTION

Project

**SAN LEANDRO SLEET SHOP**  
**14655 WICKS BLVD**  
**SAN LEANDRO, CA**

Sheet Title

**PRELIMINARY  
GRADING &  
UTILITY PLAN**

NO.	Date	Description	Approved

DATE 04/09/21

Designed MP

Drawn CD, SL

Checked RC

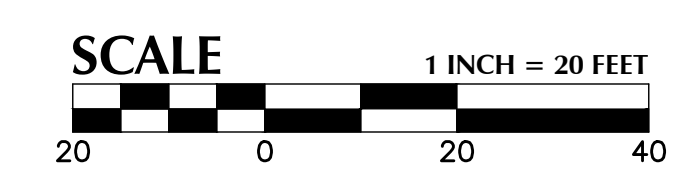
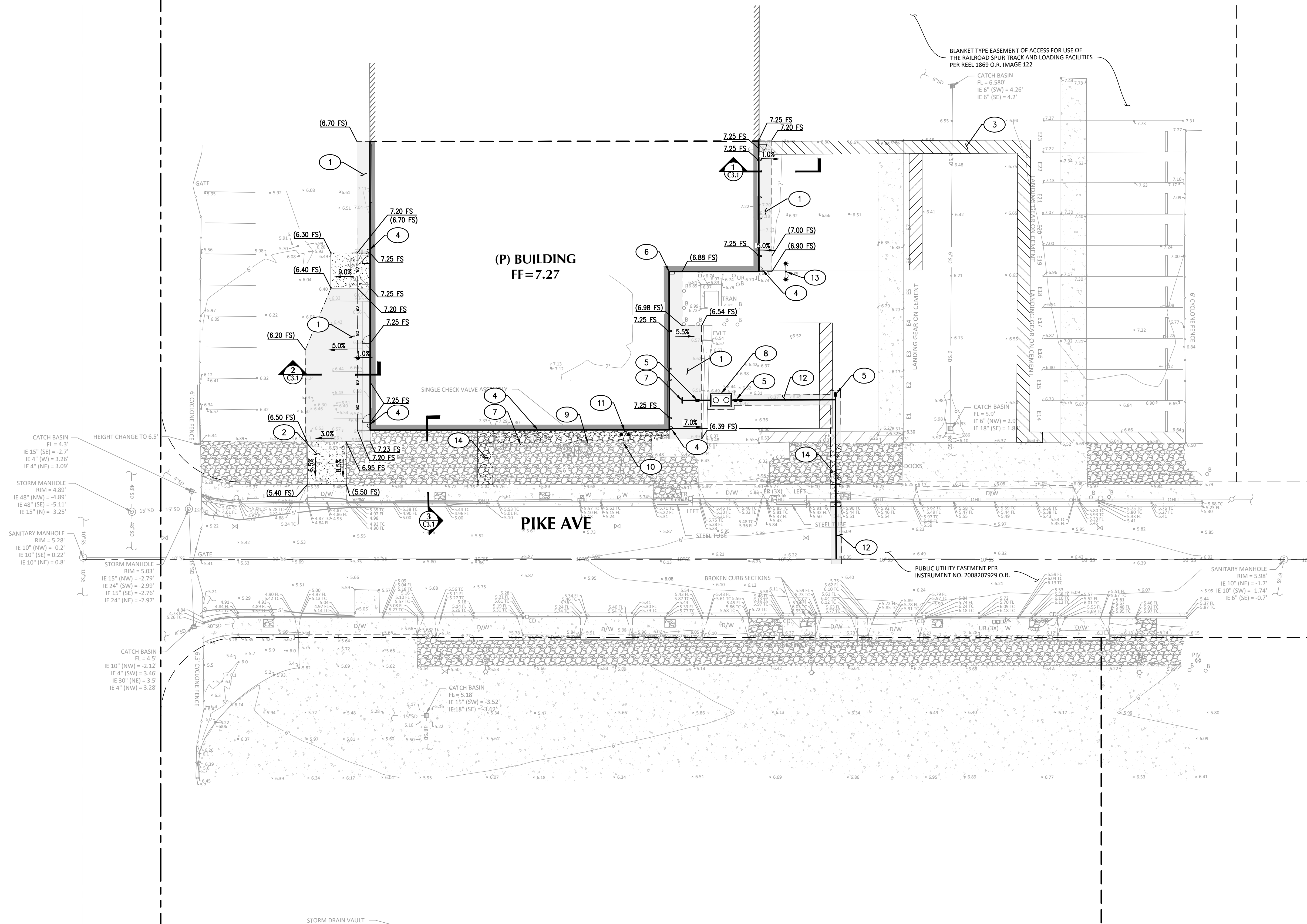
JOB NO. 2100-014

Drawing No.

**C3.0**

**PRELIMINARY GRADING & UTILITY KEY NOTES**

- 1 PROPOSED STANDARD DUTY ASPHALT CONCRETE PAVEMENT
- 2 PROPOSED CONCRETE PAVEMENT
- 3 PROPOSED ACCESSIBLE PATH OF TRAVEL STRIPING
- 4 PROPOSED ROOF DRAIN POINT OF CONNECTION
- 5 PROPOSED CLEANOUT
- 6 RELOCATED GAS ASSEMBLY
- 7 PROPOSED SANITARY SEWER POINT OF CONNECTION
- 8 PROPOSED SAND/OIL SEPARATOR
- 9 PROPOSED DOMESTIC WATER POINT OF CONNECTION
- 10 PROPOSED FIRE SERVICE POINT OF CONNECTION
- 11 PROPOSED FIRE DEPARTMENT CONNECTION
- 12 SAWCUT, REMOVE, AND REPLACE MATERIAL AND BACKFILL TRENCH
- 13 RELOCATED LIGHT POLE
- 14 PROPOSED LOOSE ROCK TO MATCH SURROUNDING AREA



File: C3.0 Prelim Grading & Utility Plan.dwg TAB:C3.0  
Plot: 4/9/21 on 100% scale by cdw/2100-014 xst  
XREFS: 2100-014\_xib 2100-014\_xsv 2100-014\_xst



# TOPOGRAPHIC SURVEY

14655 WICKS BLVD  
CITY OF SAN LEANDRO, ALAMEDA COUNTY, CALIFORNIA  
FIELD SURVEYED: 02-04-2021



VICINITY MAP  
NOT TO SCALE

### LEGEND:

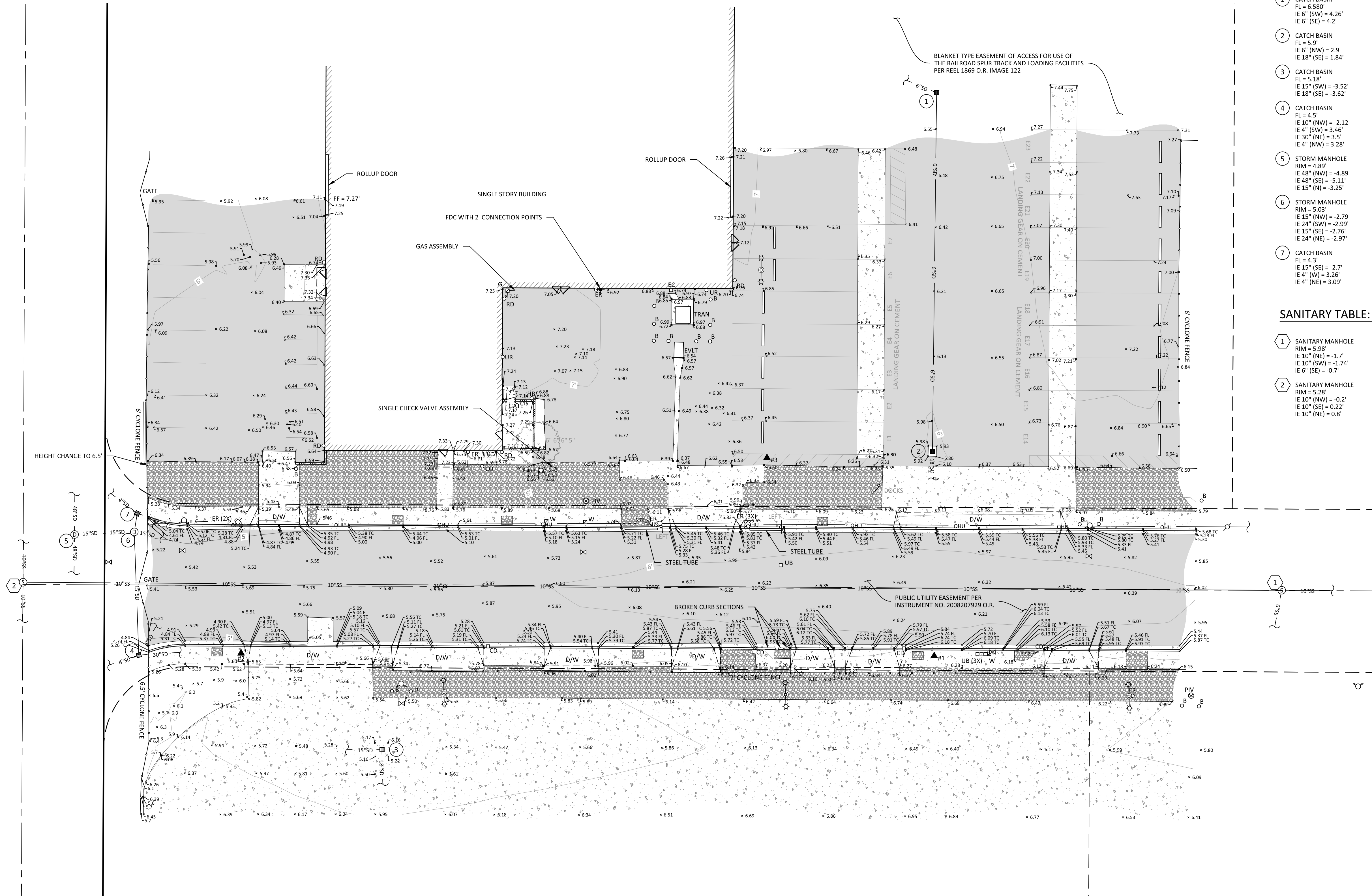
- BUILDING OUTLINE WITH DOOR
- CONCRETE SURFACE
- ASPHALT SURFACE
- WALL
- BUILDING OVERHANG
- CURB LINE
- EDGE OF ASPHALT
- EASEMENT LINE
- LOT LINE
- PROPERTY LINE
- STORM LINE
- SANITARY SEWER LINE
- OVERHEAD UTILITY LINES
- SIGN
- DOUBLE POST SIGN
- BOLLARD
- DRIVEWAY ENTRY
- TOP OF CURB
- FLOW LINE
- ROOF DRAIN
- ELECTRICAL RISER
- ELECTRICAL CABINET
- ELECTRICAL VAULT
- TRANSFORMER
- GUY ANCHOR
- POWER POLE
- OVERHEAD LIGHT
- GAS METER
- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN/AREA DRAIN
- CURB DRAIN
- SANITARY/STORM CLEAN OUT
- SANITARY/STORM STRUCTURE #
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- POST INDICATOR VALVE
- FIRE DEPARTMENT CONNECT
- HOSE BIB
- UNKNOWN UTILITY RISER
- UNKNOWN UTILITY BOX
- DECIDUOUS TREE W/ TRUNK DIAMETER - PERIMETER REPRESENTS DRIPLINE
- PROJECT CONTROL POINT

### STORM TABLE:

- 1 CATCH BASIN  
FL = 5.18'  
IE 6" (SW) = 4.26'  
IE 6" (SE) = 4.2'
- 2 CATCH BASIN  
FL = 5.9'  
IE 6" (NW) = 2.9'  
IE 18" (SE) = 1.84'
- 3 CATCH BASIN  
FL = 5.18'  
IE 15" (SW) = -3.52'  
IE 18" (SE) = -3.62'
- 4 CATCH BASIN  
FL = 4.5'  
IE 10" (NW) = -2.12'  
IE 4" (SW) = 3.46'  
IE 30" (NE) = 3.5'  
IE 4" (NW) = 3.28'
- 5 STORM MANHOLE  
RIM = 4.89'  
IE 48" (NW) = -4.89'  
IE 48" (SE) = -5.11'  
IE 15" (N) = -3.25'
- 6 STORM MANHOLE  
RIM = 5.03'  
IE 15" (NW) = -2.79'  
IE 24" (SW) = -2.99'  
IE 15" (SE) = -2.76'  
IE 24" (NE) = -2.97'
- 7 CATCH BASIN  
FL = 4.3'  
IE 15" (SE) = -2.7'  
IE 4" (W) = 3.26'  
IE 4" (NE) = 3.09'

### SANITARY TABLE:

- 1 SANITARY MANHOLE  
RIM = 5.98'  
IE 10" (NE) = -1.7'  
IE 10" (SW) = -1.74'  
IE 6" (SE) = -0.7'
- 2 SANITARY MANHOLE  
RIM = 5.28'  
IE 10" (NW) = -0.2'  
IE 10" (SE) = 0.22'  
IE 10" (NE) = 0.8'



**PROJECT CONTROL:**

STATION	DESCRIPTION	NORTHING	EASTING	ELEVATION
1	SCRIBED "X" IN CONCRETE	2,080,030.13	6,079,114.66	6.21'
2	SCRIBED "X" IN CONCRETE	2,079,911.29	6,078,888.95	5.50'
3	MAG NAIL W/ SHINER	2,080,065.65	6,079,026.08	6.52'

**NOTES:**

- 1.) VERTICAL DATUM: CITY OF SAN LEANDRO (NGVD29)  
BENCHMARK: MONUMENT DISC IN INTERSECTION  
BENCHMARK NO. WICKS-PIKE  
ELEVATION = 6.113'
- 2.) UTILITY LOCATIONS SHOWN ARE PER OBSERVED FIELD EVIDENCE. UNLESS INDICATED, DEPTHS OF UTILITY LINES ARE NOT AVAILABLE. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED (POTHOLED) PRIOR TO CONSTRUCTION.



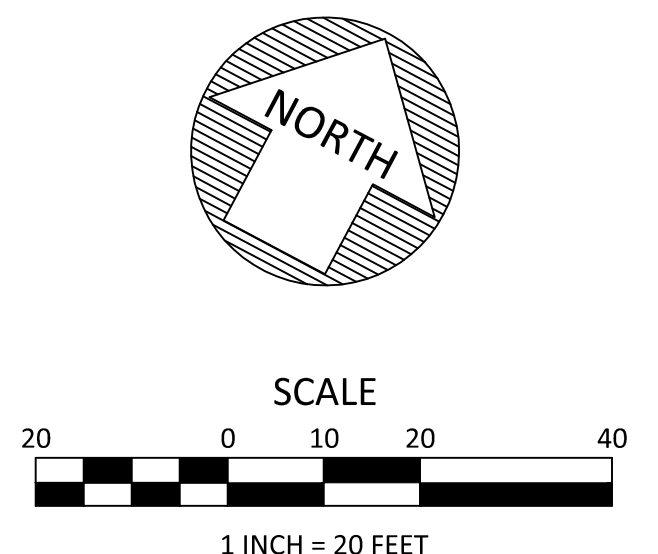
2250 Douglas Blvd., Suite 200  
Roseville, CA 95661  
O: 916.772.7688  
F: 916.772.7699  
www.kpff.com

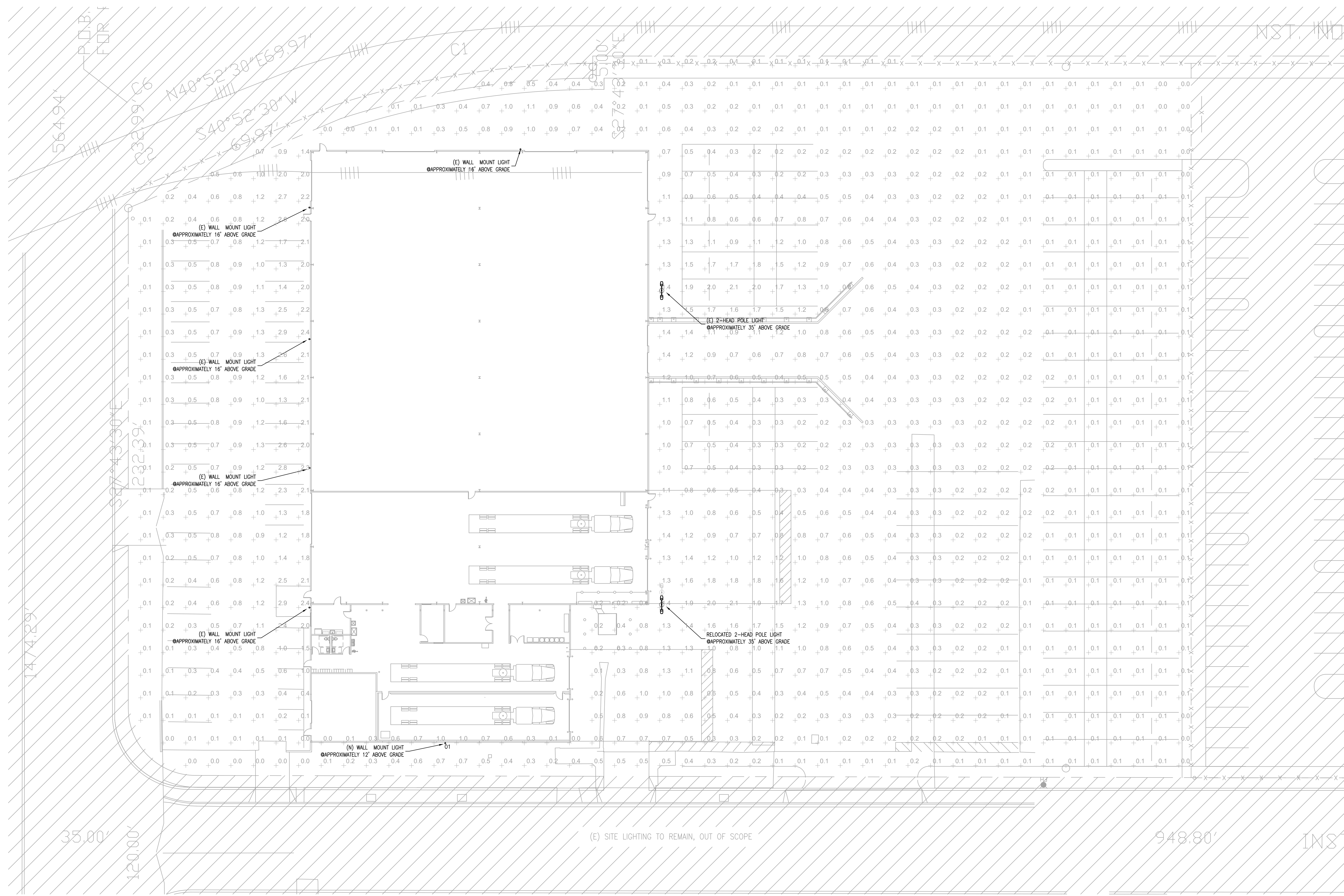
SURVEYED BY: JMB  
DRAWN BY: JMB  
CHECKED BY: DMG  
PROJECT NO.: 2100-014  
FILE: 2100-014.SB

TOPOGRAPHIC SURVEY  
**SAN LEANDRO FLEET SHOP**  
PWC  
CITY OF SAN LEANDRO / ALAMEDA COUNTY / CALIFORNIA

DATE: 02/12/2021  
CONTOUR INTERVAL: 1 FOOT  
SHEET NO.  
**1 OF 1**

PRELIMINARY





DATE	DESCRIPTION	REVISION

JOB NO.	21047
DRAWN	RMB
CHECKED	JRP
ORIGINAL DATE	04-09-2021

ISSUED FOR	PLANNING	DATE	04-09-2021
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**OPTIMIZED ENERGY**  
 & FACILITIES CONSULTING, INC.  
 5734 LoneTree Boulevard, Rocklin, CA 95765  
 Office: (916) 626-5518 www.oefinc.com

**REYES COCA-COLA**  
**FLEET SHOP**  
 2077 PIKE AVE.  
 SAN LEANDRO, CA

SHEET TITLE  
**SITE PHOTOMETRIC ANALYSIS**

SHEET NO.  
**E0**

**A SITE PHOTOMETRIC ANALYSIS**  
 SCALE: 1"=20'-0"

