

EXHIBIT A - COVER SHEET

PROJECT INTENT	
THE INTENT OF THE PROJECT IS TO CONSTRUCT A SUSTAINABLE DEVELOPMENT IN ACCORDANCE WITH THE CITY OF SAN LEANDRO. THE PROJECT PROPOSES A FULL DEMOLITION OF THE EXISTING STRUCTURE, AND A PLANNED DEVELOPMENT OF 6 NEW SINGLE-FAMILY CONDOMINIUMS TO COMPLY WITH REQUIRED CODES AND REGULATIONS.	
PROJECT SCOPE	
<ol style="list-style-type: none"> 1. APPLY FOR A PLANNED DEVELOPMENT PROJECT 2. PROPOSE TO CHANGE ZONING FROM RS TO RM-3000 3. DEMOLISH EXISTING BUILDING 4. PROPOSE 2 BUILDINGS 5. BLDG A 4 DWELLING UNITS, BLDG B 2 DWELLING UNITS 6. PROPOSE OFF-STREET PARKING 7. PROPOSE COMMON OPEN SPACE 8. PROPOSE HARDSCAPE TO BE OF PERMEABLE PAVERS 	
OWNER / CONSULTANT INDEX	
OWNER:	BAY HOME INVESTMENTS & LOANS, INC. 1731 HESPERIAN BLVD. SAN LORENZO, VA 94580 (C) 510-364-1179 (W) 925-880-8863 BROKER@HUNAG@ATT.NET
ARCHITECT / APPLICANT:	GKW ARCHITECTS, INC. GORDON K WONG, ARCHITECT AIA, LEED GA 710 E. MCCLAINCY LANE, SUITE 109, CAMPBELL, CA 95008 (408) 315-2125 GORDONKWONG@GKWARCHITECTS.COM
STRUCTURAL ENGINEER:	BETTA GROUP, INC. / STRUCTURAL ENGINEERING CO. 2053 LINCOLN AVENUE, SUITE A, SAN JOSE, CA 95125 408-267-7190 ASHUR@BETTA-GROUP.COM
CIVIL ENGINEER:	LC ENGINEERING / INH L.E. PE, QSD 598 E. SANTA CLARA ST. STE. 270, SAN JOSE, CA 95112 408-506-7187 INH@LCENGINEERING.NET
LANDSCAPE ARCHITECT:	JEFFREY HEID, LANDSCAPE ARCHITECT 6179 ONEDA DRIVE, SAN JOSE, CA 95123 WHEIDASLA@GMAIL.COM
TITLE 24 ENERGY CONSULTANT:	CARSTAIRS ENERGY TIMOTHY CARSTAIRS, CEA, HERS, GPR P.O. BOX 4736 SAN LUIS OBISPO, CA 94903 805-904-8048 TITLE24@YAHOO.COM WWW.CARSTAIRSENERGYCALCS.COM
PROJECT CONTACT INDEX	
CITY OF SAN LEANDRO, BUILDING	PERMIT CENTER 835 EAST 14TH STREET, SAN LEANDRO, CA 94577 510-371-3200 CITYCOMMENTS@SANLEANDRO.ORG
WATER & SEWAGE SERVICES	EBMUD - EAST BAY MUNICIPAL UTILITY DISTRICT 375 11TH STREET, OAKLAND, CA 94607 OFFICE 866-403-2683 CUSTOMER SERVICE@EBMUD.COM
PACIFIC GAS & ELECTRIC CO.	UTILITY CO. (HAYWARD) 24300 CLAWITTER ROAD, HAYWARD, CA 94546 800-743-9000
AT&T	800-288-2020 24 HOURS A DAY 800-924-9420 BURIED WIRE CENTER
COMCAST	RESIDENTIAL SERVICE 855-869-9035 CUSTOMER SERVICE 800-266-2278
PROJECT SUMMARY	
CLIENT:	BAY HOME INVESTMENTS & LOANS, INC.
ADDRESS:	874 LEWELLING BLVD., SAN LEANDRO, CA 94579
APN:	80G-1114-3-2
JURISDICTION:	CITY OF SAN LEANDRO, CA
LOT SIZE:	0.48 ACRE (20,829.74 SF)
GENERAL LAND USE:	MEDIUM DENSITY
(E) ZONING:	RESIDENTIAL SINGLE FAMILY (RS)
(P) ZONING:	RESIDENTIAL MULTI-FAMILY DISTRICT (RM-3000)
(P) OCCUPANCY:	R-3
EXISTING USE:	SINGLE FAMILY RESIDENTIAL
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL
TYPE OF CONSTRUCTION:	IBC TYPE V-B, SPRINKLERED
AUTO-SPRINKLER SYSTEM:	130 - SINGLE FAMILY WATER LINE
BUILDING INFORMATION	UNIT & LOT COVERAGE BREAKDOWN
PROPOSED NUMBER OF UNITS:	6 DWELLING UNITS
BUILDING FOOTPRINT:	
BUILDING A	2,888 SF
BUILDING B	3,092 SF
BUILDING TTL	5,980 SF
MAXIMUM LOT COVERAGE:	20,830 SF X 50% = 10,415 SF
PROPOSED LOT COVERAGE:	6,143 SF
	6,143 SF / 20,830 SF = 29%
DENSITY ALLOWED:	14.5 DU/ACRE
PROPOSED UNITS:	6 DU = 14.5 DU X .48 ACRE
PROPOSED UNIT SF TOTAL:	17,776 SF
PROPOSED PARKING COUNT:	12 COVERED + 2 GUEST + 1 ADA = 15
PARKING & CIRCULATION (PERVIOUS AREA)	7,894 SF
TOTAL OPEN SPACE (PERVIOUS AREA)	3,038 SF
BIO-RETENTION AREA:	237 SF
	UNIT BREAKDOWN
	BLDG UNIT # # BEDRMS # BATHRMS TTL SF, GROSS
	A 1 3 3 2,480 SF
	A 2 3 3 2,192 SF
	A 3 3 3 2,192 SF
	A 4 3 3 2,453 SF
	B 5 4 3 2,549 SF
	B 6 4 3 2,549 SF
	TOTAL 14,415 SF
	LOT COVERAGE BREAKDOWN
	BLDG UNIT # LOT AREA BLDG PAD
	A 1 1,127 SF 2,998 SF
	A 2 1,022 SF 2,998 SF
	A 3 1,022 SF 2,998 SF
	A 4 1,095 SF 2,998 SF
	B 5 1,790 SF 3,144 SF
	B 6 1,785 SF 3,144 SF
	TOTAL 7,841 SF 6,142 SF

LEWELLING CONDOMINIUMS

874 LEWELLING BLVD. SAN LEANDRO, CA 94579




BUILDING INFORMATION MODEL



FRONT VIEW



REAR VIEW

VICINITY MAP



PROJECT LOCATION

Sheet List	
Sheet Number	Sheet Name
G000	Cover Sheet & Project Summary
G001	Project General Notes
G002	Conditions of Approval
G003	Proposed Site Plan & Info
G004	Site Context & Streetscape
G005	Demolition Plan & Notes
G006	Fire Access Analysis & Signage
G007	Site, Details & Signage
T1	Tentative Map
T1	Boundary Survey and Topographic Map
C1	Overall Site Plan
C2	Impervious Areas Exhibit
C3	Grading and Drainage Plan
C4	Grading & Drainage Plan
C5	Cross Sections
C6	Utility And Striping Plan
C7	Erosion Control Plan
C8	Best Management Practices
C9	Best Management Practices
L1	Overall Site Plan
L2	Master Planting Plan
L3	Hydrozone Plan
L4	Irrigation Plan
L5	Photos & Details
A100	Building A, 1st & 2nd Level Floor Plans
A101	Building A, 3rd Level & Roof Plan
A102	Building B, 1st & 2nd Level Floor Plans
A103	Building B, Roof Plan
A200	Elevations Proposed, Bldg A
A201	Elevation Proposed, Bldg B
A300	Cross Sections, Bldg A
A301	Cross Sections, Bldg B
A400	Architectural Details
A500	Material Board
E1.1	Electrical Site Plan

PUBLIC WORKS & SITE PLAN NOTES


1. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
2. CONTRACTOR SHALL SCRAPE ALL SMOKE OR FIRE DAMAGED MEMBERS CLEAN. ANY FRAMING MEMBERS THAT LOSE MORE THAN 1/16" OF MATERIAL PER SURFACE MUST BE REPLACED OR REPAIRED. SMOKE DAMAGED MEMBERS MUST BE CLEANED AND SEALED.
3. CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER ALAMEDA COUNTY. OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS PER S.J.M.C. SECTION 17.20.540.
4. PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE.
5. ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE UBC, PROVIDED THE ADDITION ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR NEW BUILDING OR STRUCTURE PER IBC SECTION 903.2.
6. ALL PROPOSED ONSITE AND OFFSITE STORM DRAIN INLETS SHALL BE MARKED "NO DUMPING, DRAINS TO BAY" AS PER THE CITY OF SAN LEANDRO STANDARD PLAN DWG. NO. 294. ALL PROPOSED STORM DRAIN INLETS DOWNSTREAM OF THE BIORETENTION AREAS SHALL HAVE UNIFIED STORM WATER TRASH CAPTURE DEVICES.

APPLICABLE CODES

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA HISTORICAL BUILDING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA GREEN BUILDING CODE
- 2016 INTERNATIONAL BUILDING CODE
- SAN LEANDRO MUNICIPAL CODE
- ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS


SITE PLAN NOTES

1. CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES.
2. CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID.




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INTERNATIONAL



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San Leandro, CA 94579

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EXHIBIT B - PROJECT NOTES

GENERAL NOTES	PROJECT REPORTS / STUDY(S) / ASSESSMENT / OUT REACH	ABBREVIATIONS
<p>1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.</p> <p>2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.</p> <p>3. THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.</p> <p>4. NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.</p> <p>5. THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.</p> <p>6. ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>7. CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.</p> <p>8. ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.</p> <p>9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.</p> <p>10. ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.</p> <p>11. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.</p> <p>12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.</p> <p>13. ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND/ OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.</p> <p>14. OWNERSHIP OF DRAWINGS: THESE DRAWINGS ARE THE PROPERTY OF GKW ARCHITECTS, INC. - GORDON WONG, ARCHITECT, THE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.</p> <p>15. LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.</p>	<p>• NOISE STUDY - PROJECT SHALL COMPLY WITH A NOISE STATEMENT OR STUDY PREPARED BY A QUALIFIED PROFESSIONAL THAT ADDRESSES THE NECESSARY MEASURES TO LOWER DECIBEL LEVELS TO RESIDENTIAL CITY STANDARDS AND WILL BE PUT INTO PLACE TO MITIGATE FOR THE NOISE FROM ADJACENT LEWELLING BLVD AND INTERSTATE 880.</p> <p>• GEOTECHNICAL REPORT (ENG) - PROJECT SHALL SUBMIT FINAL GEOTECHNICAL REPORT FOR CITY REVIEW.</p> <p>• MUNICIPAL REGIONAL STORMWATER PERMIT PROVISIONS (ENG) - PER PROVISION C.3.b OF THE SAN FRANCISCO BAY REGION MUNICIPAL REGIONAL STORMWATER NPDES PERMIT (RDER NO. R-2015-0049, NPDES PERMIT NO. CAS612008, ADOPTED 11/9/2015). REGULATED PROJECTS SHALL PROVIDE THE FOLLOWING DOCUMENTATION AS PART OF THE PLANNING APPLICATION:</p> <p>• CLEAN WATER PROGRAM - SUBMIT TO ENGINEERING & TRANSPORTATION A FILLED-OUT PLANNING PERMIT SUBMITTAL CHECKLIST IN TABLE 3-1 OF THE ALAMEDA COUNTY CLEAN WATER PROGRAM C.3 STORMWATER TECHNICAL GUIDANCE.</p> <p>• PHASE 1 ENVIRONMENTAL CEQA SITE ASSESSMENT - SUBMIT PHASE 1 (ESA) AS PART OF CEQA COMPLIANCE, AN INITIAL STUDY AND FURTHER REQUIREMENTS WILL NEED TO BE MET WHEN SUFFICIENT INFORMATION IS OBTAINED TO MAKE A DETERMINATION (I.E., CATEGORICAL EXEMPTION, NEGATIVE DECLARATION, MITIGATED NEGATIVE DECLARATION)</p> <p>• INCLUSIONARY HOUSING - UNDER THE INCLUSIONARY ZONING ORDINANCE, APPLICANT HAS THE OPTION TO PAY THE IN LIEU HOUSING FEE OR PROVIDE ONE MODERSTATE INCOME UNIT.</p> <p>• IN LIEU FEE - PLEASE CONTACT TOM LIAO AT TLIAO@SANLEANDRO.ORG OR 510-577-6003 IF THE APPLICANT WOULD LIKE AN ESTIMATE OF THE IN LIEU FEE. OUR NONPRFIT HOMEBUYER CONSULTANT, BAY AREA AFFORDABLE HOMEOWNERSHIP ALLIANCE OR BAAHA, WHICH ADMINISTERS THE CITY HOMEBUYER PROGRAMS CALCULATES THE FEE. TYPICALLY ESTIMATED 1LF AT THE ONSET OF THE PROJECT (APPLICANT CAN PLUG PRO FORMA OR FINANCIAL ANALYSIS). PRIOR TO DISCRETIONARY REVIEW (BZA, PC OR ADMIN REVIEW) THE FINAL FEE CALCULATION PRIOR TO PULLING BUILDING PERMITS.</p> <p>• NEIGHBORHOOD OUTREACH - ADJACENT NEIGHBORS SHALL BE INTRODUCED TO THE PROPOSED PROJECT AND INVITE COMMENTS AND FEEDBACK. PROPERTY OWNERS AND BUSINESSES WITHIN 500 FEET RADIUS OF THE PROJECT SHALL BE INVITED.</p>	<p>A</p> <p>ABV ABOVE AC ASPHALT CONCRETE AD AREA DRAIN ADDL ADDITIONAL AFF ABOVE FINISH FLOOR ASPH ASPHALT</p> <p>B</p> <p>BITUM BITUMINOUS BKG BACKING BLDG BUILDING BM BEAM BR BACKER ROD BUR BUILT-UP-ROOF BDR BEDROOM BW BOTTOM OF WALL</p> <p>C</p> <p>CAB CABINET CB CATCH BASIN CEM CEMENT CF CUBIC FEET CJ CONTROL JOINT CL CLOSET CTL CENTERLINE CLG CEILING CONC CONCRETE CPT CARPET</p> <p>D</p> <p>DR DECK DR DRAIN DU DWELLING UNIT</p> <p>E</p> <p>(E) EXISTING E EAST ELEC ELECTRICAL EP ELECTRICAL PANEL EXT EXTERIOR</p> <p>F</p> <p>FDN FOUNDATION FH FIRE HYDRANT FIN FINISH FF FINISH FLOOR FL FLOW LINE FLUOR FLUORESCENT FOC FACE OF CONCRETE FOF FACE OF FINISH FOS FACE OF STUD FR FIRE RATED FS FLOOR SINK FSL FIRE SPRINKLER FTG FOOTING FURR FURRING</p> <p>G</p> <p>GALV GALVANIZED GC GENERAL CONTRACTOR GL GLASS GND GROUND GWB GYPSUM WALL BOARD GYP GYSUM</p> <p>H</p> <p>HDBD HARDBOARD HDR HEADER HDWR HARDWARE HDWD HARDWOOD HTR HEATER HVAC HEATING, VENT. & A.C.</p> <p>I</p> <p>IN INCH INCAND INCANDESCENT INSUL INSULATION INT INTERIOR INV INVERT</p> <p>J</p> <p>JST JOIST JT JOINT</p> <p>K</p> <p>KIT KITCHEN KP KICK PLATE</p> <p>L</p> <p>LOC LOCATION LT LIGHT</p> <p>M</p> <p>MB MACHINE BOLT MDF MEDIUM DENSITY MECH FIBERBOARD MEMB MECHANICAL MET MEMBRANE MH METAL MSC MANHOLE MTD MISCELLANEOUS MTL MOUNTED METAL</p> <p>N</p> <p>(N) NEW N NORTH NIC NOT IN CONTRACT NOM NOMINAL NP NO PARKING NR NON-RATED NTS NOT TO SCALE</p> <p>O</p> <p>OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER/ DIMENSION OFCI OWNER FURNISHED CONTRACTOR OFOI INSTALLED OWNER FURNISHED OWNER INSTALL</p> <p>P</p> <p>PENN PENETRATION PERF PERFORATED PERP PERPENDICULAR PL PLATE PL PROPERTY LINE PLAS PLASTER PLBG PLUMBING PLWD PLYWOOD PNL PANEL POC POINT OF CONNECTION PP PERMEABLE PAVERS PREFAB PREFABRICATED PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PTD PAINTED PTR PRESSURE TREATED PTRWD PRESSURE TREATED WOOD</p> <p>Q</p> <p>QTY QUANTITY</p> <p>R</p> <p>RECYLE RECYCLE RAD RADIUS RCP REINFORCED CONCRETE PIPE RD ROOF DRAIN REF REFERENCE REFL REFLECTED REFR REFRIGERATOR RET RETAINING OR RETARDANT REG REGISTER RO ROUGH OPENING</p> <p>S</p> <p>SCD SEE CIVIL DRAWINGS SCHD SCHEDULE SD STORM DRAIN SECT SECTION SED SEE ELECTRICAL DRAWINGS SF SQUARE FOOT OR FEET SHR SHOWER SHT SHEET SHTG SHEATHING SIM SIMILAR SJ SEISMIC JOINT SL SEALANT SLD SEE LANDSCAPE DRAWINGS SM SHEET METAL SMD SEE MECHANICAL DRAWINGS SOF SOFFIT SOG SLAB ON GRADE SPD SEE PLUMBING DRAWINGS SPEC/S SPECIFICATION SQ SQUARE SS SANITARY SEWER SSD SEE STRUCTURAL DRAWINGS STC SOUND TRANSMISSION STD COEFFICIENT STL STANDARD STOR STEEL STRL STORAGE SY STRUCTURAL SQUARE YARD</p> <p>T</p> <p>T&B TOP AND BOTTOM T&G TONGUE AND GROOVE TC TOP OF CURB TOC TOP OF CONCRETE TOP TOP OF PAVING TOS TOP OF STEEL TRD TREAD TW TOP OF WALL</p> <p>U</p> <p>UL UNDERWRITERS LABORATORIES UTIL UTILITIES</p> <p>V</p> <p>VCP VITREOUS CLAY PIPE VERT VERTICAL VERT VENT THROUGH ROOF VTR</p> <p>W</p> <p>WEST OR WIDTH WC WATER CLOSET WOOD WC WINDOW WD WITHOUT WDW WATER PROOF WO WORKING POINT WP WATER RESISTANT WPT WR</p>
	<p>PRELIMINARY ENGINEERING CONDITIONS</p> <p>1. ALL PROPOSED ONSITE AND OFFSITE STORM FRAIN INLETS SHALL BE MARKED "NO DUMPING, DRAINS TO BAY" AS PER THE CITY OF SAN LEANDRO STANDARD PLAN DWG. NO. 204. ALL PROPOSED STORM DRAIN INLETS DOWNSTREAM OF THE BIORETENTION AREAS SHALL HAVE "UNITED STORM WATER" TRASH CAPTURE DEVICES</p> <p>2. ANY CONNECTION OF THE ON-SITE STORM DRAIN SYSTEM TO THE CITY'S STORM DRAIN MAIN IN LEWELLING BOULEVARD SHOULD CONNECT TO A NEW STORM DRAIN CATCH BASIN ALONG THE PROPERTY FRONTAGE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD PLAN 204.</p>	
	<p>GRAPHIC SYMBOLS</p> <p>ASPHALT CONCRETE </p> <p>PERMEABLE PAVERS </p> <p>EARTH </p> <p>SAND </p> <p>RIGID INSULATION </p> <p>DEMO EX PARTS </p> <p>FIRE ACCESS </p> <p>BUILDING SECTION </p> <p>DATUM REFERENCE </p> <p>DETAIL REFERENCE </p> <p>DOOR TYPE </p> <p>KEYNOTE </p> <p>REVISION </p> <p>ROOM TAGS </p> <p>WALL TYPE </p> <p>WINDOW TYPE </p> <p>FIRE HYDRANT </p> <p>CATCH BASIN </p> <p>STORM DRAIN PERFORATED TUBE </p> <p>APPROXIMATE LINE OF WORK </p> <p>REMOVE </p> <p>CHECK VALVE, SD-201 </p> <p>FIRE SERVICE, SD-204 </p> <p>DOMESTIC WATER SERVICE, SD-213 </p> <p>IRRIGATION WATER SERVICE </p> <p>DOMESTIC WATER METERS </p> <p>IRRIGATION WATER METER, SD-202 </p> <p>SANITARY SEWER MANHOLE </p> <p>CLEAN OUT BOX, SD-313 </p> <p>STANDARD HOUSE SEWER SD-312 </p> <p>BACK FLOW PREVENTOR SD-314 </p>	



PROJECT REPRESENTATIVE
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Project Schedule Revision

No.	Date	Description
1	2018.08	Planning
2	2018.07	Planning
3	2018.05	Planning
4	2018.01	Planning

Project General Notes

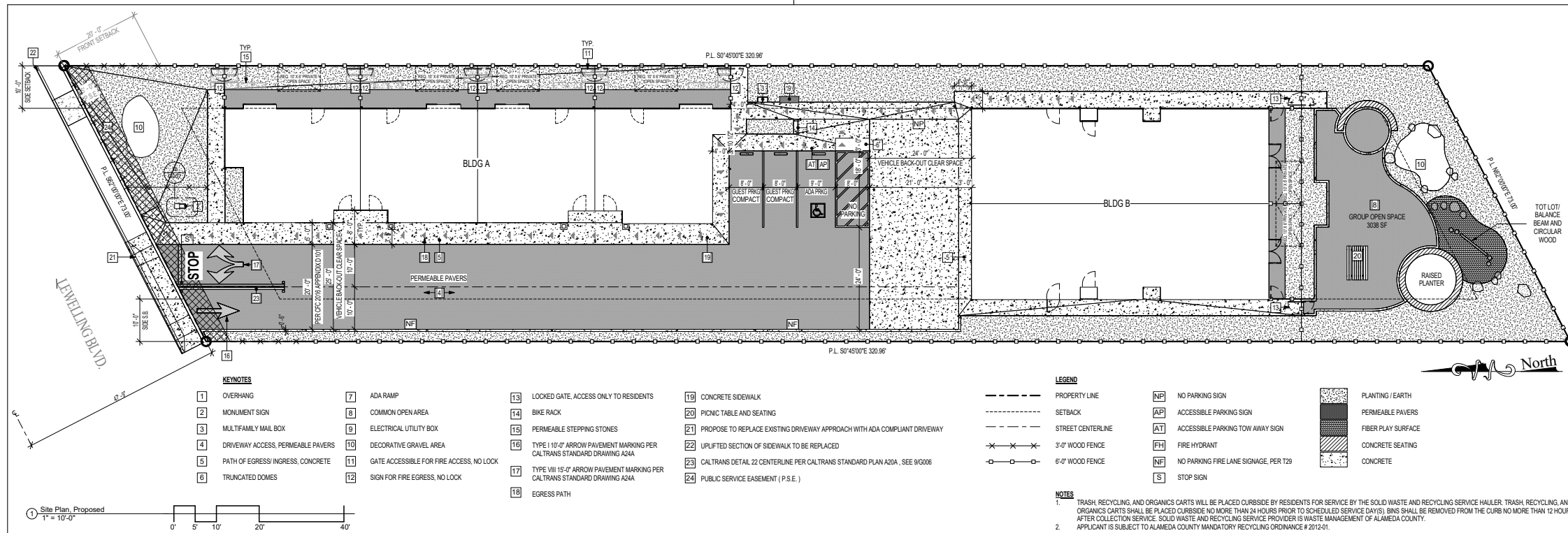
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Project General Notes

EXHIBIT C - PROPOSED SITE PLAN



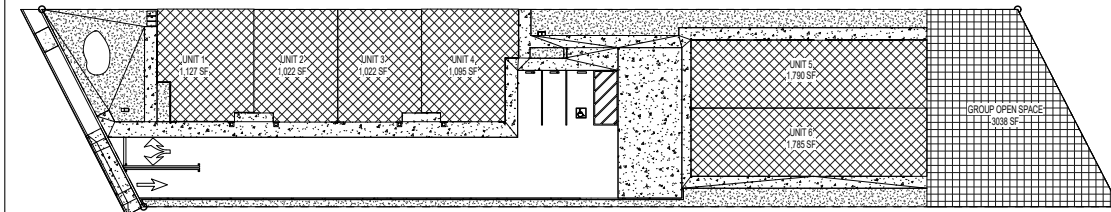
- KEYNOTES**
- 1 OVERHANG
 - 2 MONUMENT SIGN
 - 3 MULTIFAMILY MAIL BOX
 - 4 DRIVEWAY ACCESS, PERMEABLE PAVERS
 - 5 PATH OF EGRESS/INGRESS, CONCRETE
 - 6 TRUNCATED DOMES
 - 7 ADA RAMP
 - 8 COMMON OPEN AREA
 - 9 ELECTRICAL UTILITY BOX
 - 10 DECORATIVE GRAVEL AREA
 - 11 GATE ACCESSIBLE FOR FIRE ACCESS, NO LOCK
 - 12 SIGN FOR FIRE EGRESS, NO LOCK
 - 13 LOCKED GATE, ACCESS ONLY TO RESIDENTS
 - 14 BIKE RACK
 - 15 PERMEABLE STEPPING STONES
 - 16 TYPE I 10'-0" ARROW PAVEMENT MARKING PER CALTRANS STANDARD DRAWING A24A
 - 17 TYPE VIII 15'-0" ARROW PAVEMENT MARKING PER CALTRANS STANDARD DRAWING A24A
 - 18 EGRESS PATH
 - 19 CONCRETE SIDEWALK
 - 20 PICNIC TABLE AND SEATING
 - 21 PROPOSE TO REPLACE EXISTING DRIVEWAY APPROACH WITH ADA COMPLIANT DRIVEWAY
 - 22 UPLIFTED SECTION OF SIDEWALK TO BE REPLACED
 - 23 CALTRANS DETAIL 22 CENTERLINE PER CALTRANS STANDARD PLAN A24A, SEE 9/0308
 - 24 PUBLIC SERVICE EASEMENT (P.S.E.)

- LEGEND**
- PROPERTY LINE
 - - - SETBACK
 - - - STREET CENTERLINE
 - 3'-0" WOOD FENCE
 - 6'-0" WOOD FENCE
 - NP NO PARKING SIGN
 - AP ACCESSIBLE PARKING SIGN
 - AT ACCESSIBLE PARKING TOW AWAY SIGN
 - FH FIRE HYDRANT
 - NF NO PARKING FIRE LANE SIGNAGE, PER T29
 - S STOP SIGN
 - PLANTING / EARTH
 - PERMEABLE PAVERS
 - FIBER PLAY SURFACE
 - CONCRETE SEATING
 - CONCRETE

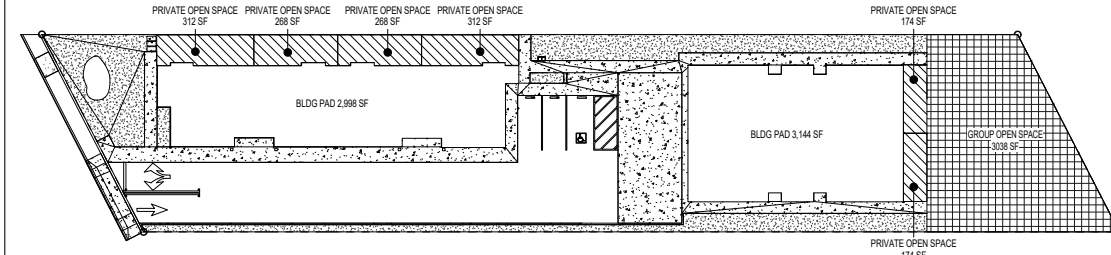
NOTES

- TRASH, RECYCLING, AND ORGANICS CARTS WILL BE PLACED CURBSIDE BY RESIDENTS FOR SERVICE BY THE SOLID WASTE AND RECYCLING SERVICE HAULER. TRASH, RECYCLING, AND ORGANICS CARTS SHALL BE PLACED CURBSIDE NO MORE THAN 24 HOURS PRIOR TO SCHEDULED SERVICE DAYS. BINS SHALL BE REMOVED FROM THE CURB NO MORE THAN 12 HOURS AFTER COLLECTION SERVICE. SOLID WASTE AND RECYCLING SERVICE PROVIDER IS WASTE MANAGEMENT OF ALAMEDA COUNTY.
- APPLICANT IS SUBJECT TO ALAMEDA COUNTY MANDATORY RECYCLING ORDINANCE # 2012-01.

1 Site Plan, Proposed
1" = 10'-0"



2 Site Plan, Area Calculation
1" = 20'-0"



3 Site Plan, Building Pad Calculation
1" = 20'-0"

CITY OF SAN LEANDRO DEVELOPMENT STANDARDS

STANDARD SETBACKS

EXISTING (RS)	PROPOSED (RM-3000)
FRONT YARD 20'-0"	FRONT YARD 20'-0"
SIDE YARD 5'-0"	SIDE YARD MIN 6', AVERAGE 10'
REAR YARD 15'-0"	REAR YARD 15'-0"
HEIGHT 30'-0"	HEIGHT 40'-0"

ZONING REQUIREMENTS FOR RESIDENTIAL DISTRICTS - CITY OF SAN LEANDRO

EXISTING (RS)	PROPOSED (RM-3000)
MIN. SITE AREA / UNIT 5,000 SF	MIN. SITE AREA / UNIT 3,000 SF
MIN. LOT AREA 5,000 SF	MIN. LOT AREA 6,000 SF
MIN. LOT WIDTH 50'-0"	MIN. LOT WIDTH 60'-0"
MAX. SITE COVERAGE 50%	MAX. SITE COVERAGE 50%

PARKING REQUIREMENTS

EXISTING (RS)	PROPOSED (RM-3000)
RES. SINGLE FAMILY / SINGLE FAMILY DWELLING 2 NON-TANDEM COVERED UNIT	MULTI-FAMILY / THREE + BDRMS 2.0 COVERED SPACE, + 0.5 UNCOVERED SPACE/UNIT; 0.25 SPACE/UNIT MUST BE GUEST PARKING
	MULTI-FAMILY / TWO BDRM 2.0 COVERED SPACE + 0.25 UNCOVERED SPACE/UNIT GUEST PARKING

PARKING STANDARDS / PROPOSED RM-3000 PARKING

REQUIRED PARKING	# AMT	# BDRM	COVERED SPACE	GUEST	ADA
	4	2	4 X 2.0 = 8	4 X 0.25 = 1	
	2	4	2 X 2.0 = 4	2 X 0.5 = 1	
TOTAL REQUIRED:	12			2	1
TOTAL PROPOSED:	12			2	1

PARKING STALL EXCEPTION: COMPACT STALL ARE ALLOWED TO COMPRISE A MAX. OF 35% OF THE REQUIRED PARKING 18 X 35% = 6.3 PARKING

COMPACT STALL WIDTH DIM: 8' X 15' WITH AISLE WIDTH OF 21.8'

GARAGE AND DRIVEWAY STANDARDS

STORAGE SPACE REQUIREMENT: MIN. DIMENSION OF 4'X8' WITH A 250 CUBIC VOL.

OPEN SPACE REQUIREMENTS

TOTAL OPEN SPACE HAVING THREE OR MORE DWELLINGS: 200 S.F. PER 6 DWELLING UNIT = 1,200 REQ. OPEN SPACE

PRIVATE OPEN SPACE/BALCONY/PATIO: 1ST LEVEL 2ND LEVEL OR HIGHER MIN. AREA OF 60 SF AT PATIO DIMENSION X > 6 FT MIN. BALCONY AREA OF 120 SF, DIMENSION X > 6 FT

COMMON OPEN SPACE: AREA OF 300 SF, DIMENSION X > 10 FT

PLANTING AREA REQUIREMENTS

PLANTING AREAS: AT LEAST 50% OF EACH INTERIOR SIDE AND REAR YARD SHALL BE PLANTING ADJOINING RS DISTRICT MIN. WIDTH OF 3 FT DISTRICT OTHER THAN RS MIN. WIDTH OF 3 FT

ADA SIDEWALK

5. WALKING SURFACES: CLEAR WIDTH E. 3. THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 36" MINIMUM.

AREA SUMMARY

TOTAL LOT AREA	20,829.74 SF / 0.48 ACRES
TOTAL BUILDING PAD	
BLDG A	2,998 SF
BLDG B	3,144 SF
TOTAL	6,142 SF
TOTAL FLOOR AREA GROSS	14,415 SF
TOTAL PRIVATE OPEN SPACE	1,508 SF
TOTAL SHARED OPEN SPACE	3,038 SF
TOTAL OPEN SPACE	4,546 SF
TOTAL PARKING	15 PARKING SPACES
TOTAL PLANTING AREA	4,698 SF

AREA CALCULATION

UNIT #	LOT AREA	BLDG PAD	GARAGE	1ST LEVEL	2ND LEVEL	3RD LEVEL	TTL SF, GROSS
1	1,127 SF		598 SF	787 SF	816 SF	877 SF	2,480 SF
2	1,022 SF	2,998 SF	544 SF	724 SF	708 SF	760 SF	2,192 SF
3	1,022 SF		544 SF	724 SF	708 SF	760 SF	2,192 SF
4	1,095 SF		563 SF	760 SF	816 SF	877 SF	2,453 SF
5	1,790 SF	3,144 SF	525 SF	1,545 SF	1,004 SF	-	2,549 SF
6	1,785 SF		525 SF	1,545 SF	1,004 SF	-	2,549 SF
TOTAL	7,841 SF	6,142 SF					14,415 SF

USABLE OPEN SPACE

UNIT #	OPEN SPACE	REQUIRED	PROPOSED	COMPLIANT (Y/N)
1	312 SF	300 SF	3,038 SF	YES
2	268 SF	900 SF	1,508 SF	YES
3	268 SF	1,200 SF	4,546 SF	YES
4	312 SF			
5	174 SF			
6	174 SF			
TOTAL	1,508 SF			

200 SF / 1 DU = TTL OPEN SPACE REQ.
200 SF X 6 DU = 1,200 SF TTL OPEN SPACE
COMMON + PRIVATE = REQUIRED TOTAL OPEN SPACE
300 + 900 = 1,200 SF

PLANTING AREA

YARD TYPE	TTL YARD	REQUIRED PLANTING	PROPOSED PLANTING	COMPLIANT (Y/N)
INTERIOR SIDE, WEST	2,816 SF	1,408 SF	1,436 SF	YES
INTERIOR SIDE, EAST	2,816 SF	1,408 SF	2,425 SF	YES
REAR	1,093 SF	547.5 SF	1,093 SF	YES

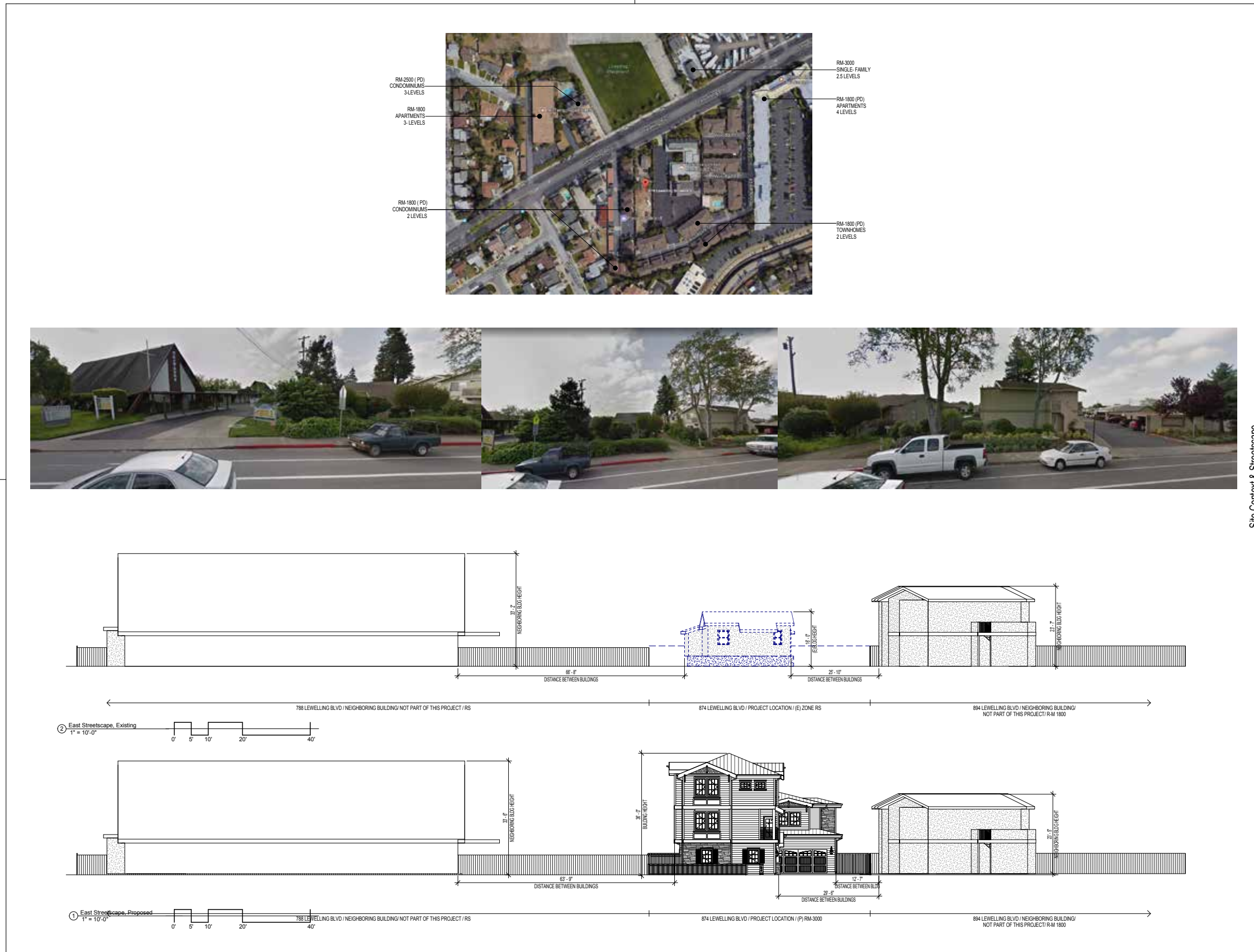
ARCHITECTS
 GREGORY A. JOHNSON ARCHITECTS
 874 Lewelling Boulevard
 San Leandro, CA 94579
 (925) 251-1111
 www.gajarchitects.com

Project Schedule Revision

No.	Date	Description
1	2018.08	Planning
2	2019.07	Planning
3	2019.05	Planning
4	2019.11	Planning
5	2019.08	Pre/Programming

Proposed Site Plan & Info
G003
 SCALE: As indicated
 9/12/2019 11:39:56 AM

EXHIBIT D - STREETSCAPE



Site Context & Streetscape

PROFESSIONAL ARCHITECT
 JENNIFER WONG & ASSOCIATES
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PROFESSIONAL ENGINEER
 JENNIFER WONG & ASSOCIATES
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Levellings Condominiums
 874 Levellings Boulevard
 San Leandro, CA 94579

Project Schedule Revision		
No.	Date	Description
1	2019.09.09	Planning
2	2019.09.07	Planning
3	2019.09.05	Planning
4	2019.07.11	Planning

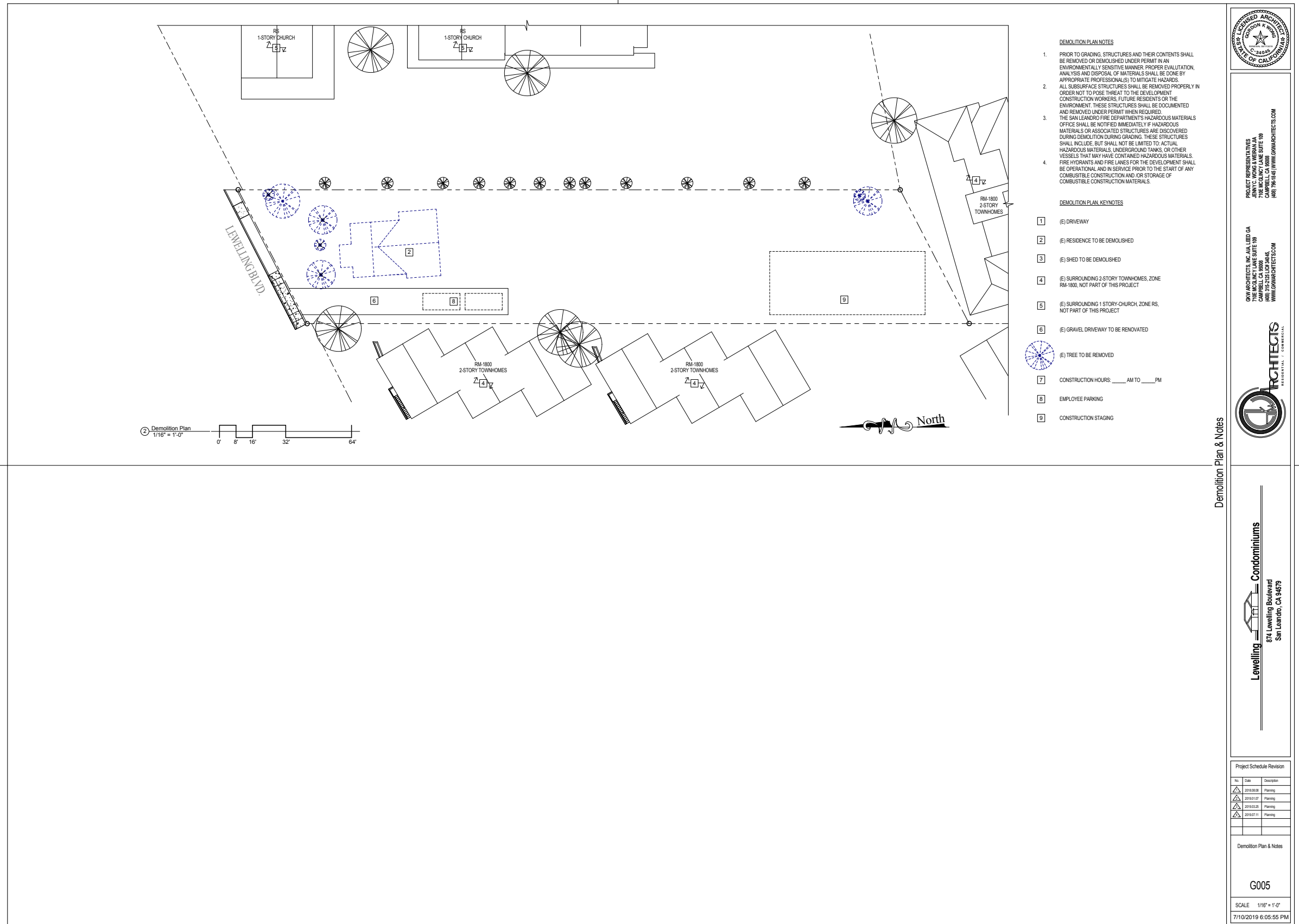
Site Context & Streetscape

G004

SCALE 1" = 10'-0"

7/10/2019 6:05:53 PM

EXHIBIT E - DEMOLITION PLAN



- DEMOLITION PLAN NOTES**
1. PRIOR TO GRADING, STRUCTURES AND THEIR CONTENTS SHALL BE REMOVED OR DEMOLISHED UNDER PERMIT IN AN ENVIRONMENTALLY SENSITIVE MANNER. PROPER EVALUATION, ANALYSIS AND DISPOSAL OF MATERIALS SHALL BE DONE BY APPROPRIATE PROFESSIONALS TO MITIGATE HAZARDS.
 2. ALL SUBSURFACE STRUCTURES SHALL BE REMOVED PROPERLY IN ORDER NOT TO POSE A THREAT TO THE DEVELOPMENT CONSTRUCTION WORKERS, FUTURE RESIDENTS OR THE ENVIRONMENT. THESE STRUCTURES SHALL BE DOCUMENTED AND REMOVED UNDER PERMIT WHEN REQUIRED.
 3. THE SAN LEANDRO FIRE DEPARTMENT'S HAZARDOUS MATERIALS OFFICE SHALL BE NOTIFIED IMMEDIATELY IF HAZARDOUS MATERIALS OR ASSOCIATED STRUCTURES ARE DISCOVERED DURING DEMOLITION DURING GRADING. THESE STRUCTURES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO: ACTUAL HAZARDOUS MATERIALS, UNDERGROUND TANKS, OR OTHER VESSELS THAT MAY HAVE CONTAINED HAZARDOUS MATERIALS.
 4. FIRE HYDRANTS AND FIRE LANES FOR THE DEVELOPMENT SHALL BE OPERATIONAL AND IN SERVICE PRIOR TO THE START OF ANY COMBUSTIBLE CONSTRUCTION AND OR STORAGE OF COMBUSTIBLE CONSTRUCTION MATERIALS.
- DEMOLITION PLAN KEYNOTES**
- 1 (E) DRIVEWAY
 - 2 (E) RESIDENCE TO BE DEMOLISHED
 - 3 (E) SHED TO BE DEMOLISHED
 - 4 (E) SURROUNDING 2-STORY TOWNHOMES, ZONE RM-1800, NOT PART OF THIS PROJECT
 - 5 (E) SURROUNDING 1-STORY CHURCH ZONES, NOT PART OF THIS PROJECT
 - 6 (E) GRAVEL DRIVEWAY TO BE RENOVATED
 - 7 (E) TREE TO BE REMOVED
 - 8 CONSTRUCTION HOURS: ___ AM TO ___ PM
 - 9 EMPLOYEE PARKING
 - 9 CONSTRUCTION STAGING



PROF. OF ARCHITECTURE
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PROF. OF ARCHITECTURE
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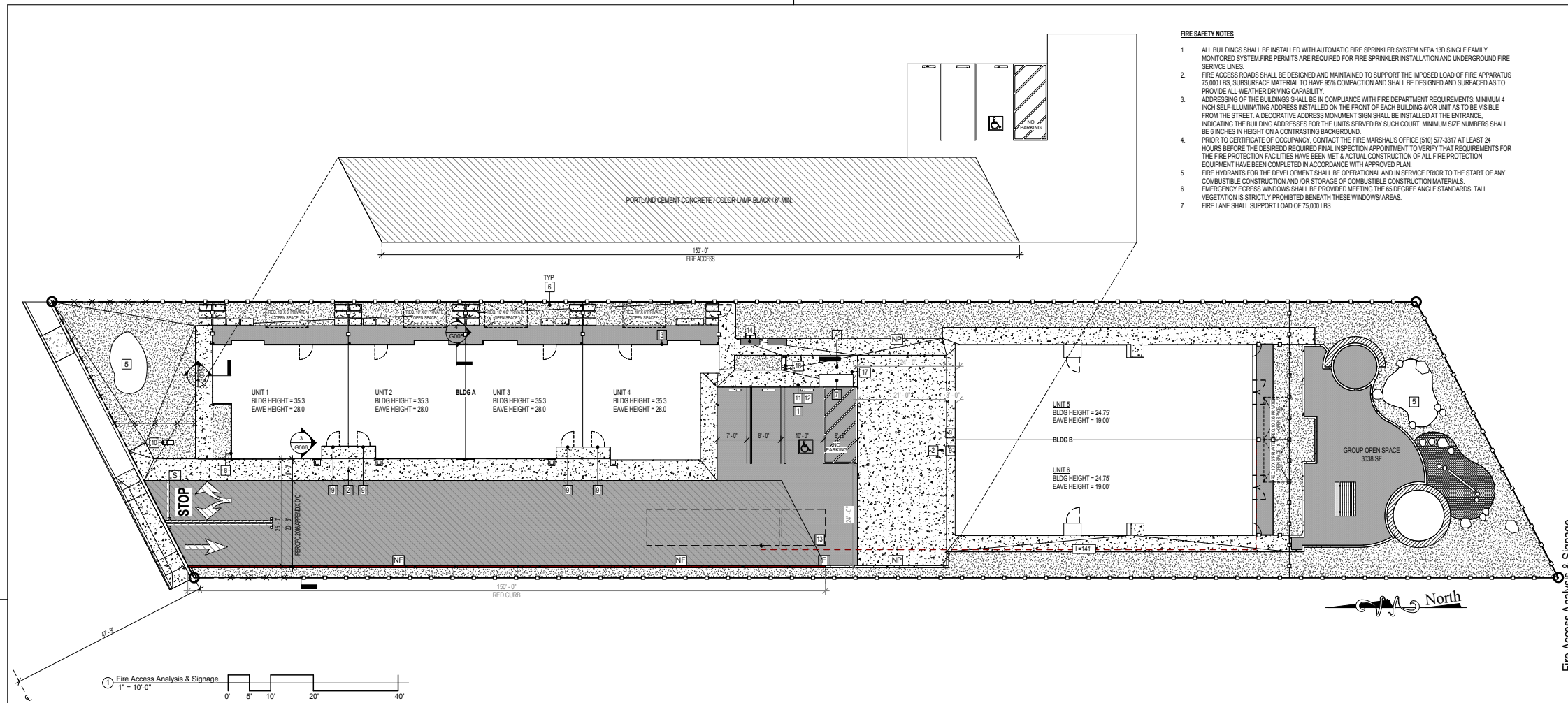
Demolition Plan & Notes

Leveling
 874 Lewelling Boulevard
 San Leandro, CA 94579

Project Schedule Revision		
No.	Date	Description
1	2018.03.08	Planning
2	2018.01.07	Planning
3	2018.03.25	Planning
4	2018.07.11	Planning

Demolition Plan & Notes
G005
 SCALE 1/16" = 1'-0"
 7/10/2019 6:05:55 PM

EXHIBIT F - FIRE ACCESS



- FIRE SAFETY NOTES**
1. ALL BUILDINGS SHALL BE INSTALLED WITH AUTOMATIC FIRE SPRINKLER SYSTEM NFPA 13D SINGLE FAMILY MONITORED SYSTEM FIRE PERMITS ARE REQUIRED FOR FIRE SPRINKLER INSTALLATION AND UNDERGROUND FIRE SERVICE LINES.
 2. FIRE ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS 75,000 LBS. SUBSURFACE MATERIAL TO HAVE 95% COMPACTION AND SHALL BE DESIGNED AND SURFACED AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITY.
 3. ADDRESSING OF THE BUILDINGS SHALL BE IN COMPLIANCE WITH FIRE DEPARTMENT REQUIREMENTS MINIMUM 4 INCH SELF-ILLUMINATING ADDRESS INSTALLED ON THE FRONT OF EACH BUILDING AND UNIT AS TO BE VISIBLE FROM THE STREET. A DECORATIVE ADDRESS MONUMENT SIGN SHALL BE INSTALLED AT THE ENTRANCE, INDICATING THE BUILDING ADDRESSES FOR THE UNITS SERVED BY SUCH COURT. MINIMUM SIZE NUMBERS SHALL BE 8 INCHES IN HEIGHT ON A CONTRASTING BACKGROUND.
 4. PRIOR TO CERTIFICATE OF OCCUPANCY, CONTACT THE FIRE MARSHAL'S OFFICE (510) 577-3317 AT LEAST 24 HOURS BEFORE THE DESIRED REQUIRED FINAL INSPECTION APPOINTMENT TO VERIFY THAT REQUIREMENTS FOR THE FIRE PROTECTION FACILITIES HAVE BEEN MET & ACTUAL CONSTRUCTION OF ALL FIRE PROTECTION EQUIPMENT HAVE BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLAN.
 5. FIRE HYDRANTS FOR THE DEVELOPMENT SHALL BE OPERATIONAL AND IN SERVICE PRIOR TO THE START OF ANY COMBUSTIBLE CONSTRUCTION AND FOR STORAGE OF COMBUSTIBLE CONSTRUCTION MATERIALS.
 6. EMERGENCY EGRESS WINDOWS SHALL BE PROVIDED MEETING THE 60 DEGREE ANGLE STANDARDS. TALL VEGETATION IS STRICTLY PROHIBITED BENEATH THESE WINDOWS AREAS.
 7. FIRE LANE SHALL SUPPORT LOAD OF 75,000 LBS.



REGISTERED ARCHITECT
MATTHEW A. JOHNSON
716 MCCLAIN LANE, SUITE 109
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REGISTERED ARCHITECT
DONAHUE ARCHITECTS
716 MCCLAIN LANE, SUITE 109
CAMPBELL, CA 95008
(408) 796-1645 | WWW.DONAHUESRCHITECTS.COM



Fire Access Analysis & Signage

KEYNOTES

- 1 ADA ACCESSIBLE AISLE 6' x 12'
- 2 CONCRETE WALKWAY
- 3 ELECTRICAL UTILITY BOX
- 4 ADA RAMP
- 5 DECORATIVE GRAVEL AREA
- 6 GATE ACCESSIBLE FOR FIRE ACCESS, NO LOCK
- 7 TRUNCATED DOMES
- 8 ADDRESS MINIMUM 6" MONUMENT SIGN
- 9 ADDRESS MINIMUM 4" ILLUMINATED SIGN
- 10 PROJECT SIGNAGE, SEE SHEET 00.04
- 11 ACCESSIBLE PARKING SIGN
- 12 ACCESSIBLE PARKING TOW AWAY SIGN
- 13 STD. 42' FIRE TRUCK
- 14 MULTIFAMILY MAIL BOX
- 15 GATE ACCESSIBLE FOR FIRE ACCESS, NO LOCK
- 16 SIGN FOR FIRE EGRESS, NO LOCK
- 17 NO PARKING SIGN
- 18 BIKE RACK

MATERIALS & ABBREVIATIONS

ASPHALT CONCRETE
PERMEABLE PAVERS
PLANTING
FIRE ACCESS
FENCE 6'-0"
FIRE HOSE LENGTH
FIRE HYDRANT
NO PARKING FIRE LANE SIGNAGE, PER T29
STOP SIGN, R1-1, SEE G008 FOR SPEC
FIRE SIGN, 150'-0"

EBMUD FIRE SERVICE AVAILABLE FLOW & PRESSURE INFORMATION

Property Information:
874 Lewelling Blvd
SAN LEANDRO, 94579
Approximate Elevation (feet): 21.8
Assessor's Parcel Number: 800-114-3-2

The following available flow and pressure information is based on a Maximum Day Demand Hydraulic Model Analysis of EBMUD's water distribution system. This information should be used as a guideline of the approximate available flow. It is recommended that a design allowance be made for possible reductions in pressure and/or flow that could occur under other possible scenarios. Applicant understands that the District cannot guarantee any specific values for pressure and flow. If you have any questions, please contact us at info@ebmud.com or call (510)237-1058.

Available flow and pressure at possible fire service connection for above property:

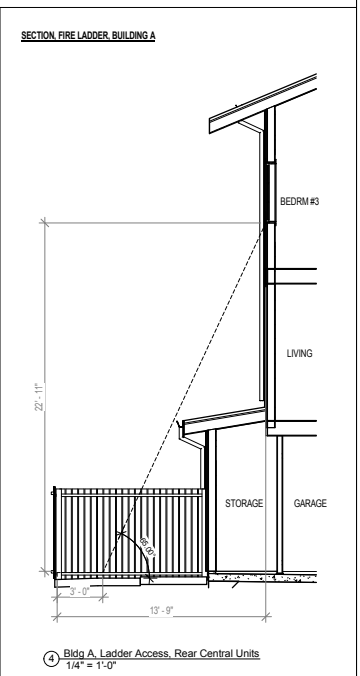
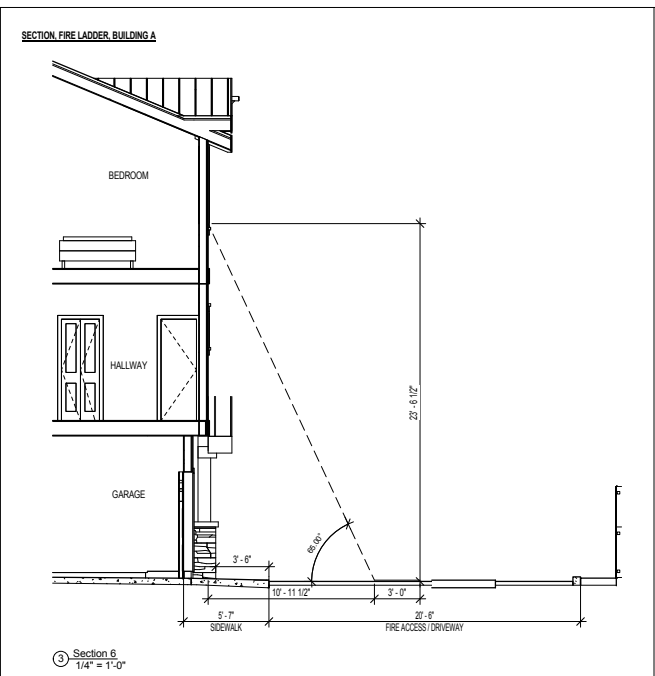
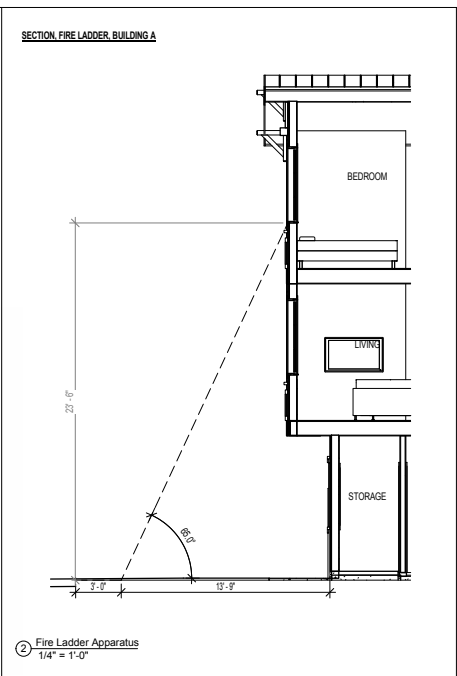
Possible Fire Service Connection #1
Off of the 12-inch main (12A63) in Lewelling Boulevard, on the south side of Lewelling Boulevard, approximately 505 feet east of Sedgehorn Street.

Pressure Zone: Central
Connection Point Elevation (feet): 20
Connection Point Static Pressure (psig): 88
Residual Pressure at 750 gpm (gpm): 67
Residual Pressure at 1500 gpm (gpm): 55

Engineer's Comments: The pressure and flow information stated is available at the street main connection in Lewelling Boulevard.

Flow and pressure data is valid for one year after the approval date. You will need to submit a new request and pay appropriate fee after the expiration date.

MBO: KVALTUNGS Engineer: CHENH Supervisor: JACOBREGO Date: 2019-01-15 13:50:27.8



Leveling Condominiums
874 Lewelling Boulevard
San Leandro, CA 94579

Project Schedule Revision

No.	Date	Description
1	2018.08	Planning
2	2018.07	Planning
3	2018.05	Planning
4	2018.11	Planning

Fire Access Analysis & Signage
G006
SCALE: As indicated
7/10/2019 6:06:06 PM

EXHIBIT G.1 - BUILDING A FLOORS 1 AND 2

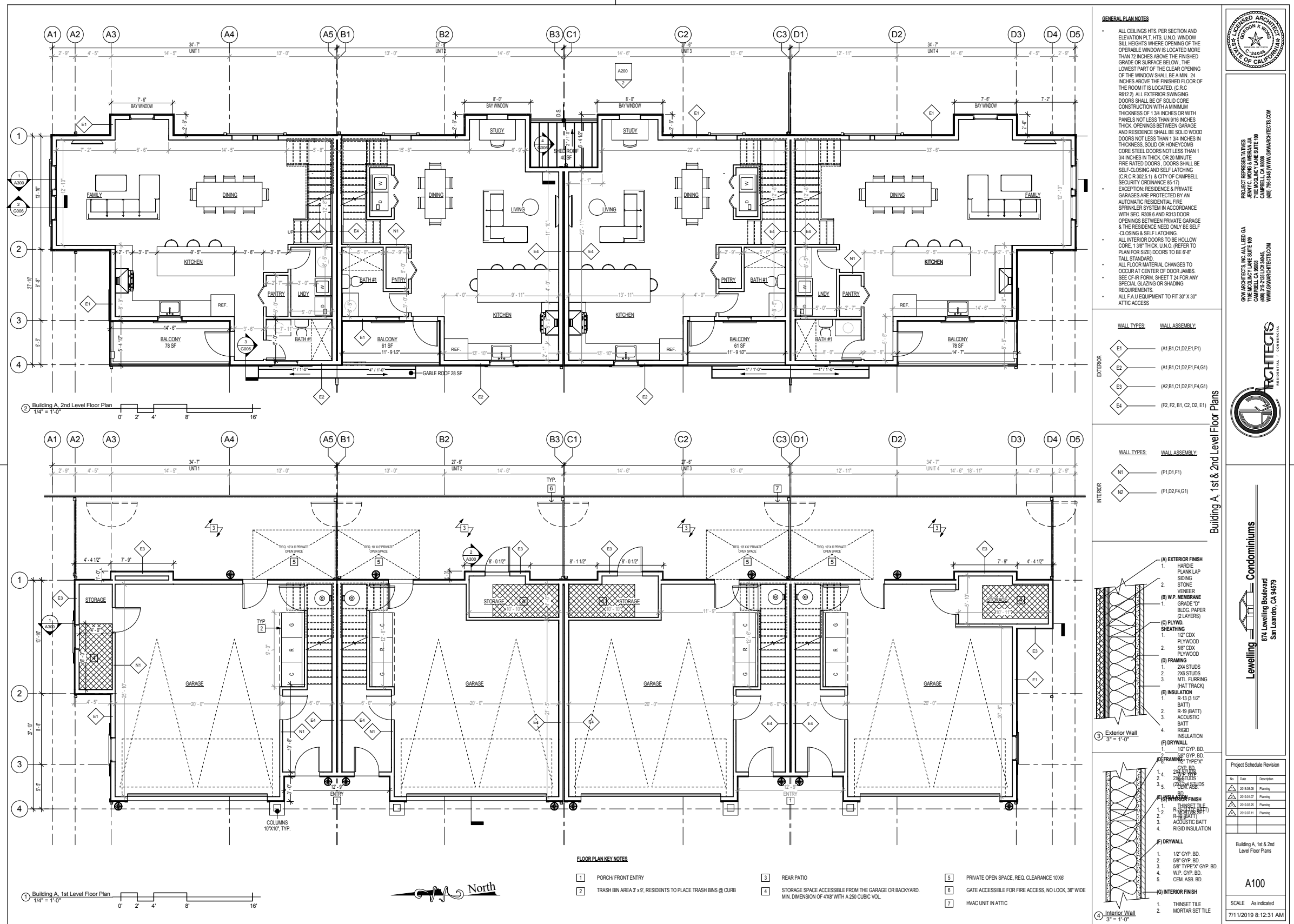
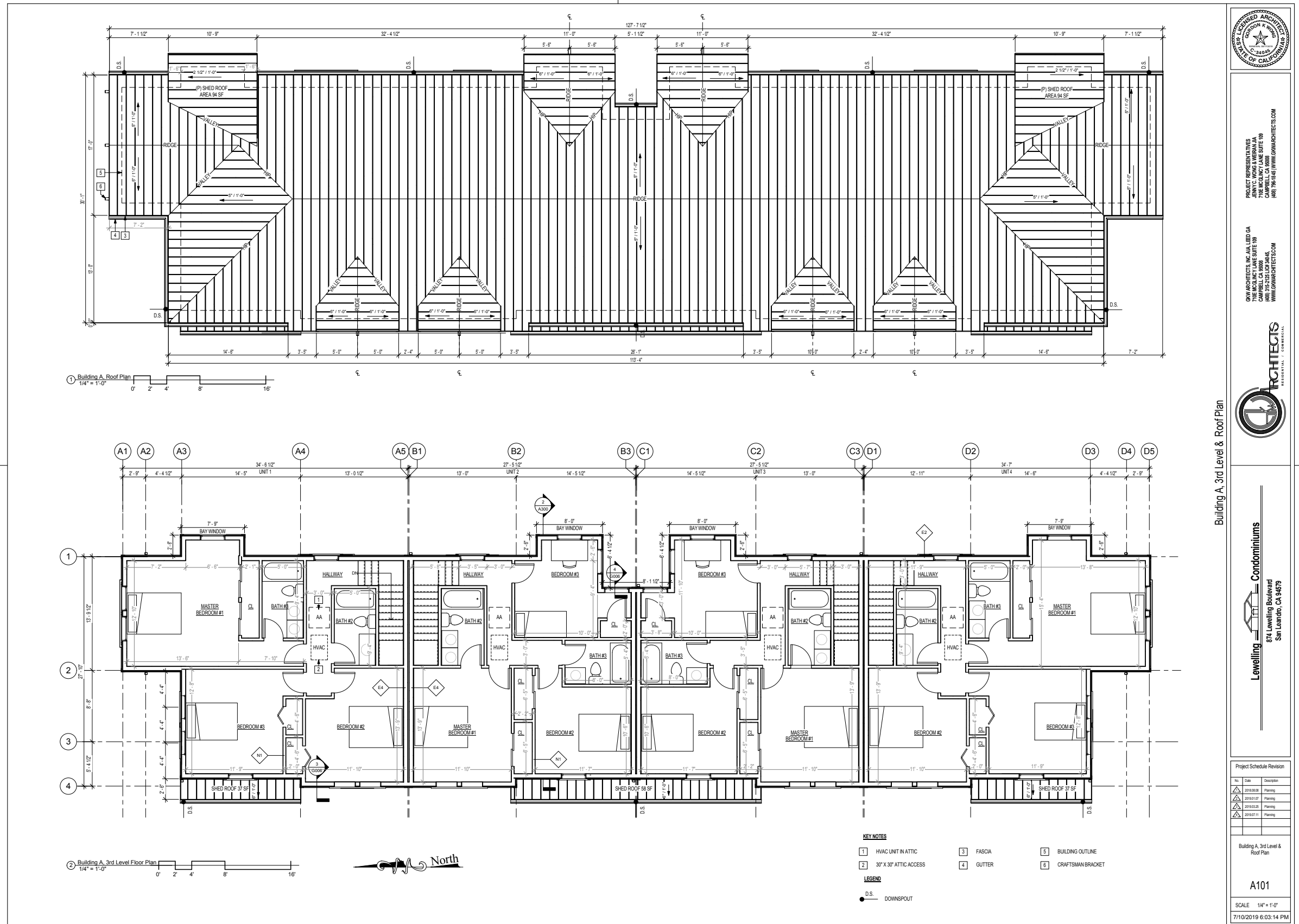




EXHIBIT G.2 - BUILDING A FLOOR 3 AND ROOF

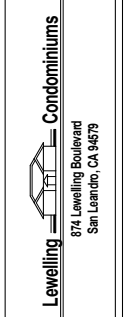


Building A, 3rd Level & Roof Plan



PROFESSIONAL ARCHITECT
DAVID J. JOHNSON & ASSOCIATES, INC.
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874 Levellings Boulevard
San Leandro, CA 94579

EXHIBIT G.3 - BUILDING B FLOORS 1 AND 2

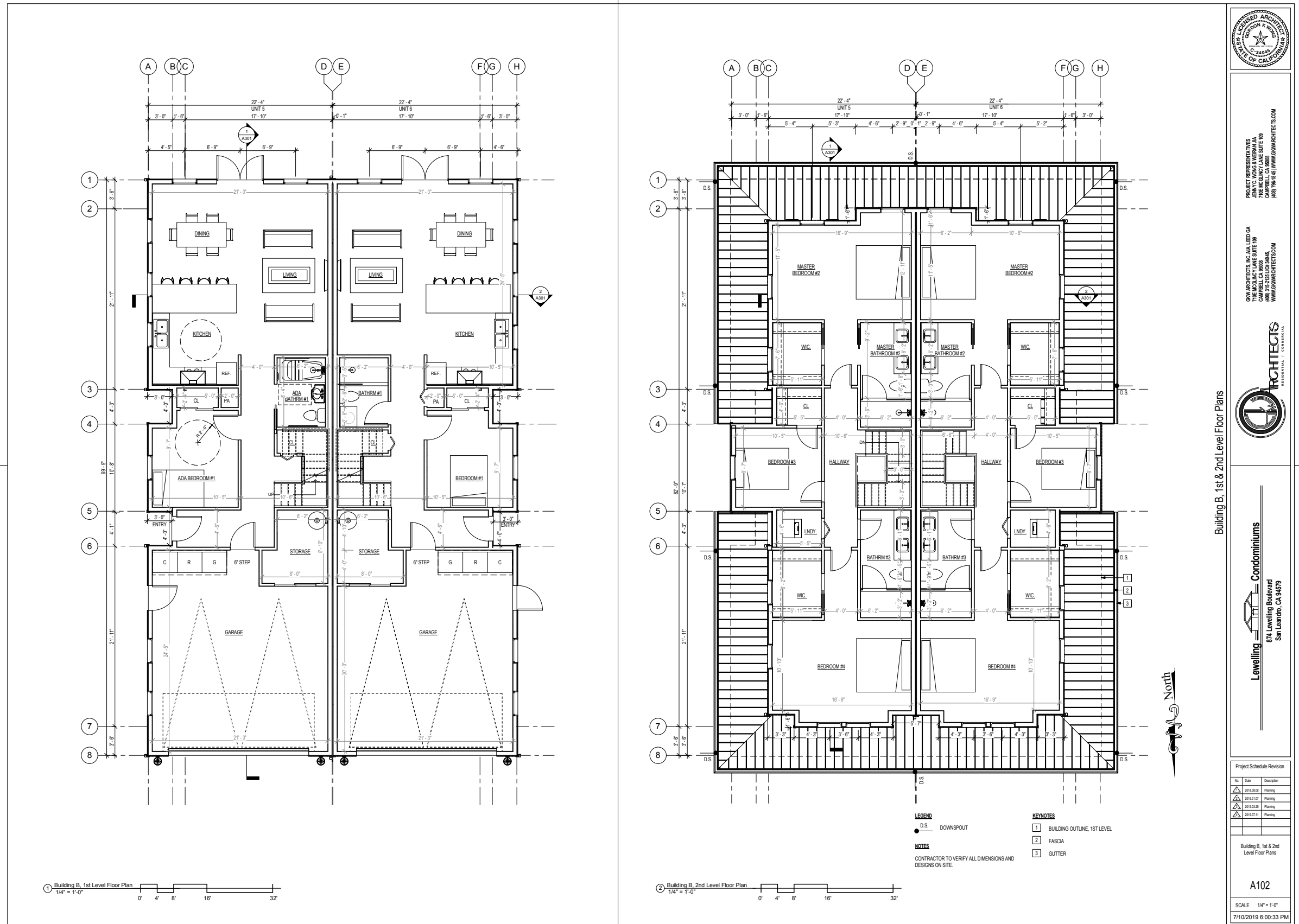


EXHIBIT G.4 - BUILDING B ROOF

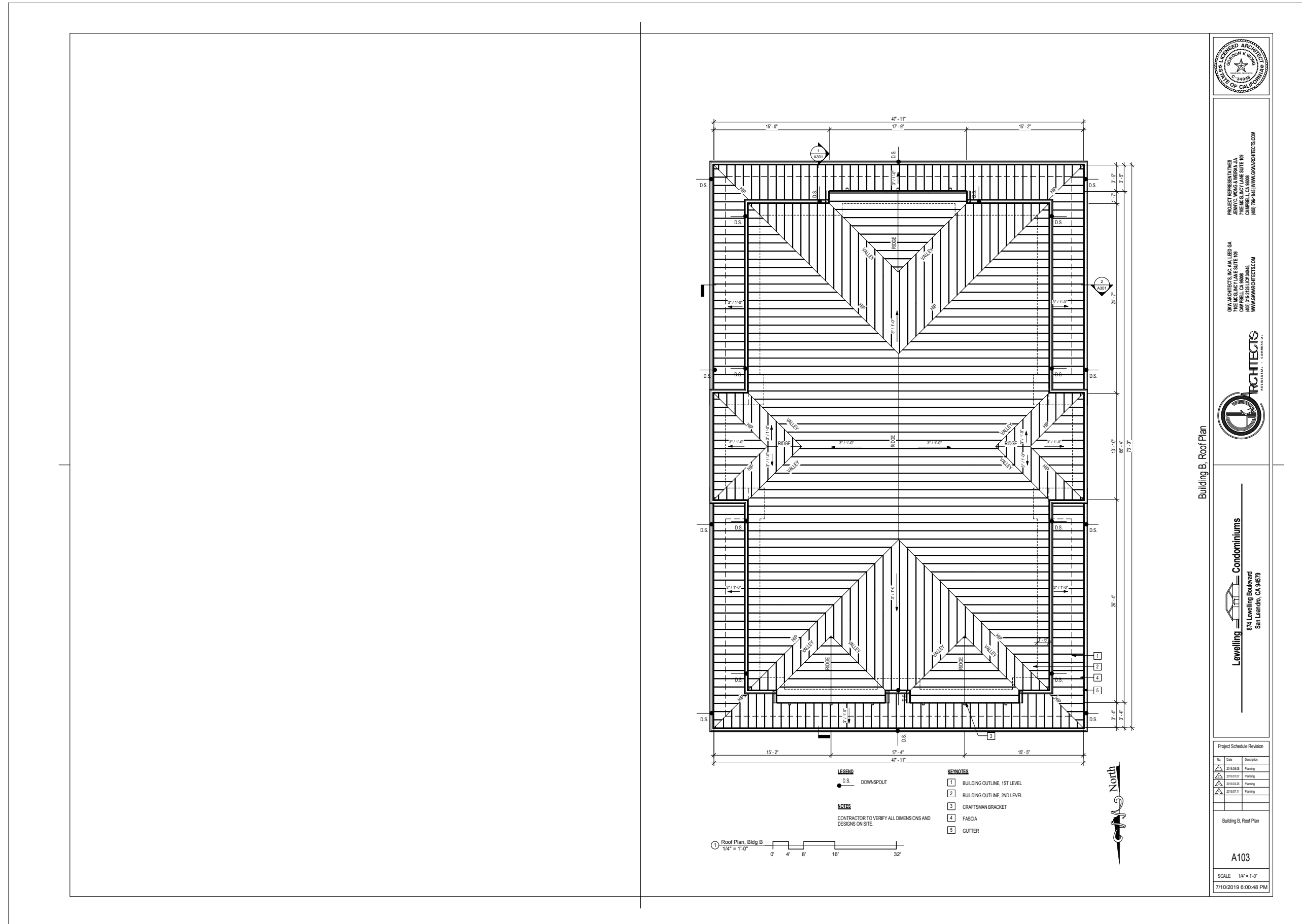


EXHIBIT H.1 - BUILDING A ELEVATION



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Elevations Proposed, Bldg A

Leveling
 874 Lewelling Boulevard
 San Leandro, CA 94579

EXTERIOR WALL SCHEDULE & ROOF MATERIAL

TRIM & TREATMENTS

TRIM - ARCTIC WHITE

UPPER TREATMENT
 PRODUCT: HARDIE SHINGLE SIDING, STRAIGHT EDGE PANEL
 COLOR: ARCTIC WHITE

WALL

UPPER
 PRODUCT: HARDIE PLANK LAP SIDING, SMOOTH
 COLOR: LIGHT MIST

ACCENT
 PRODUCT: HARDIE PLANK LAP SIDING, SMOOTH
 COLOR: BOOTHBAY BLUE

BASE
 PRODUCT: HARDIE PLANK LAP SIDING, SMOOTH
 COLOR: NIGHT GRAY

BASE ACCENT
 MANUFACTURER: CULTURED STONE
 STYLE: COUNTRY LEDGESTONE
 COLOR: GRAND MESA

ROOF

ROOF MATERIAL TYPE:
 STANDING SEAM METAL
 BRAND: BERRIDGE

ELEVATIONS KEYNOTES

- 1 STANDING SEAM METAL ROOF, SEE TO ROOF PLAN
- 2 DORMER ROOF
- 3 PORCH ROOF
- 4 2X FASCIA
- 5 DOWNSPOUT
- 6 GUTTER
- 7 DECORATIVE SHUTTER
- 8 OVERHEAD GARAGE DOOR
- 9 WINDOW TRIM
- 10 WALL TRIM
- 11 UPPER TREATMENT HARDIE SHINGLE SIDING
- 12 HARDIE PLANK LAP SIDING, SMOOTH
- 13 CULTURESTONE VENEER
- 14 STORAGE DOOR
- 15 BALCONY RAILING
- 16 BALCONY DOOR
- 17 FRONT DOOR
- 18 REAR DOOR
- 19 FENCE 6'-0"
- 20 WALL SCOUNCE
- 21 CRAFTSMAN BRACKET
- 22 ADDRESS LETTER, PER 50308
- 23 FLOOD VENT

Project Schedule Revision		
No.	Date	Description
1	2018.08.08	Planning
2	2018.09.07	Planning
3	2018.09.25	Planning
4	2018.11.11	Planning
5	2018.08.19	Permitting

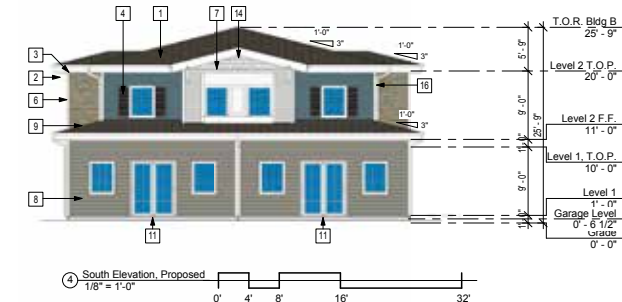
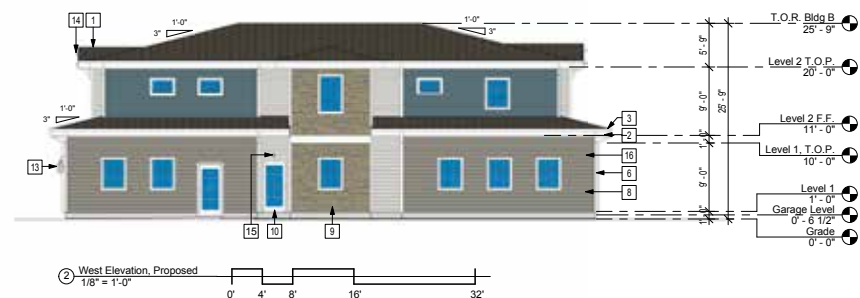
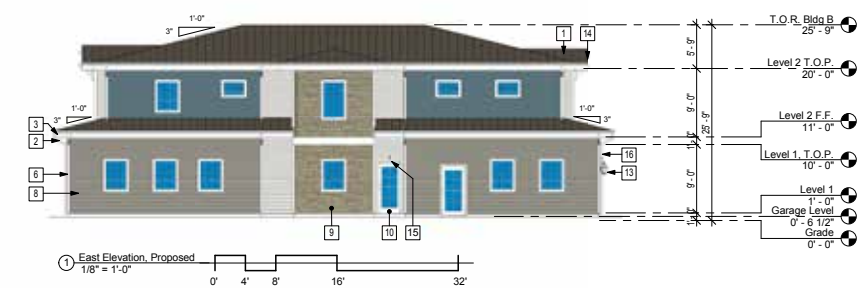
Elevations Proposed,
 Bldg A

A200

SCALE 1/8" = 1'-0"

8/19/2019 10:28:59 AM

EXHIBIT H.2 - BUILDING B ELEVATION



EXTERIOR WALL SCHEDULE & ROOF MATERIAL

TRIM & TREATMENTS



TRIM - ARCTIC WHITE



UPPER TREATMENT
PRODUCT: HARDIE SHINGLE SIDING, STRAIGHT EDGE PANEL
COLOR: ARCTIC WHITE

WALL



UPPER
PRODUCT: HARDIE PLANK LAP SIDING, SMOOTH
COLOR: LIGHT MIST



ACCENT
PRODUCT: HARDIE PLANK LAP SIDING, SMOOTH
COLOR: BOOTHBAY BLUE



BASE
PRODUCT: HARDIE PLANK LAP SIDING, SMOOTH
COLOR: NIGHT GRAY



BASE ACCENT
MANU. NAME: CULTURED STONE
STYLE: COUNTRY LEDGESTONE
COLOR: GRAND MESA

ROOF



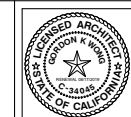
ROOF MATERIAL TYPE:
STANDING SEAM METAL
BRAND: BERRIDGE

ELEVATIONS KEYNOTES

- 1 STANDING SEAM METAL ROOF, SEE TO ROOF PLAN A103
- 2 ZX FASCIA
- 3 GUTTER
- 4 DECORATIVE SHUTTER
- 5 WINDOW TRIM
- 6 WALL TRIM
- 7 UPPER TREATMENT HARDIE SHINGLE SIDING
- 8 HARDIE PLANK LAP SIDING, SMOOTH
- 9 CULTURESTONE VENER
- 10 FRONT, ENTRY DOOR
- 11 REAR DOOR, TO PRIVATE OPEN SPACE/ PATIO
- 12 FENCE 6'-0"
- 13 WALL SCOSNCE
- 14 CRAFTSMAN BRACKET
- 15 ADDRESS LETTER, PER 5/G306
- 16 DOWNSPOUT
- 17 GARAGE DOOR FLOOD VENT, 16" X 8"

NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND DESIGNS ON SITE.
2. SEE CIVIL SHEET C3 FOR GRADE AND FINISH FLOOR ELEVATIONS.



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Elevations Proposed, Bldg B

Leveling
874 Leavelle Boulevard
San Leandro, CA 94579

Project Schedule Revision		
No.	Date	Description
1	2018.08.08	Planning
2	2018.09.07	Planning
3	2018.09.25	Planning
4	2018.11.11	Planning

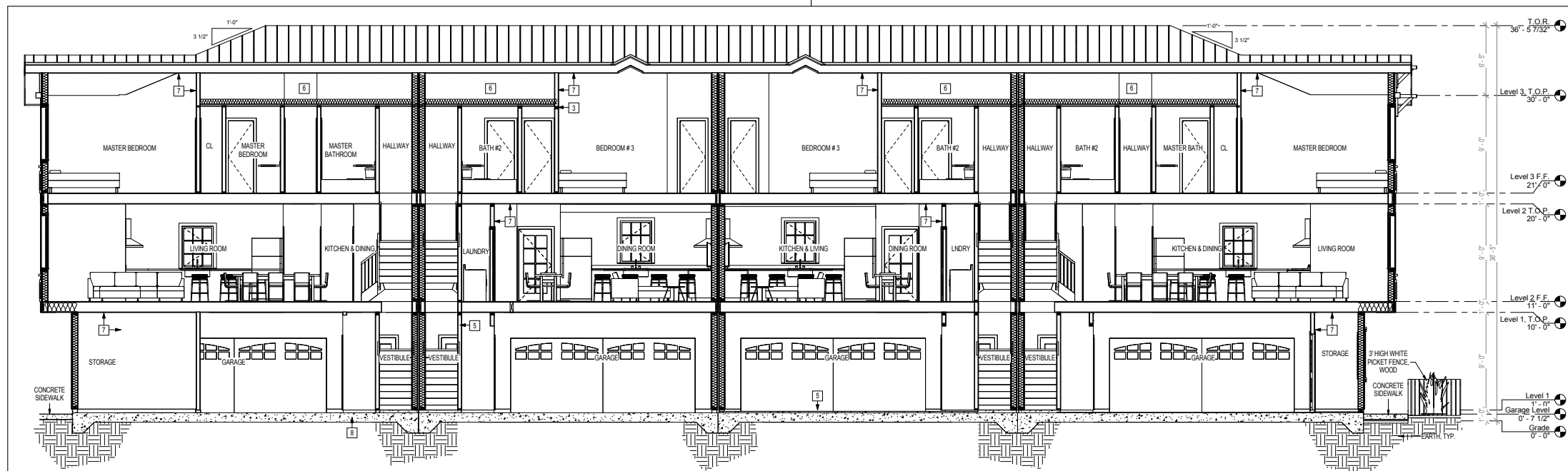
Elevations Proposed,
Bldg B

A201

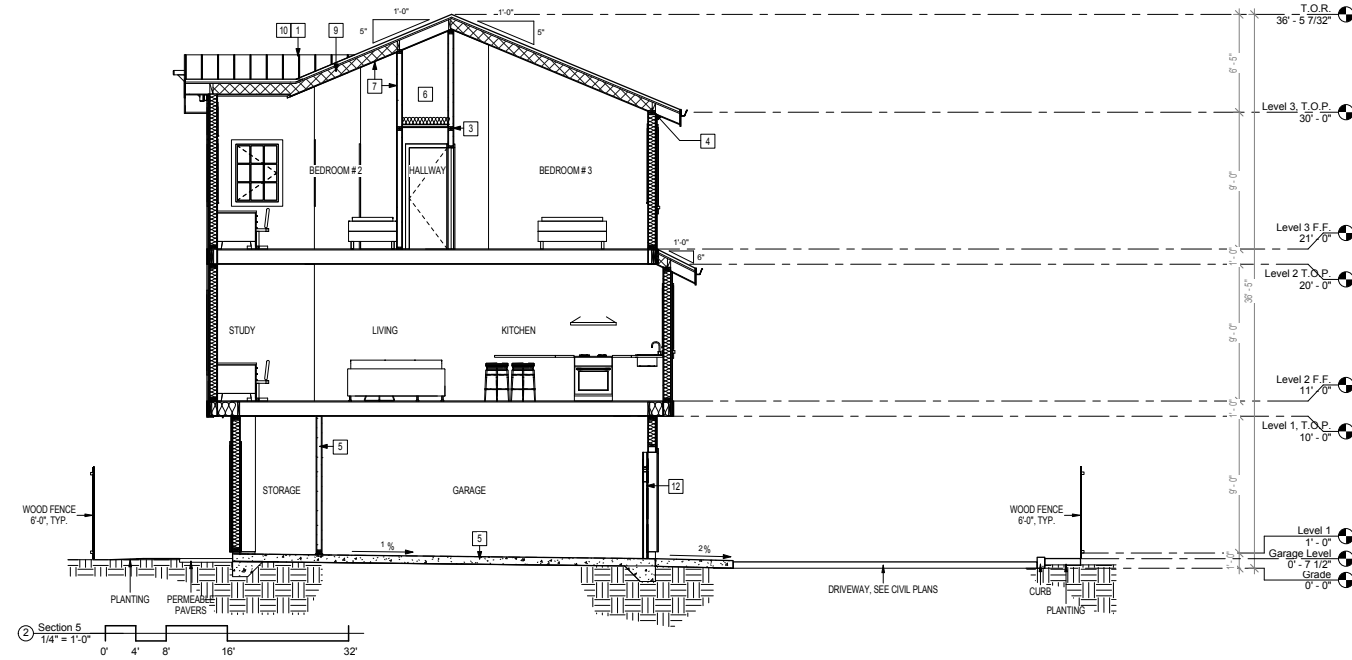
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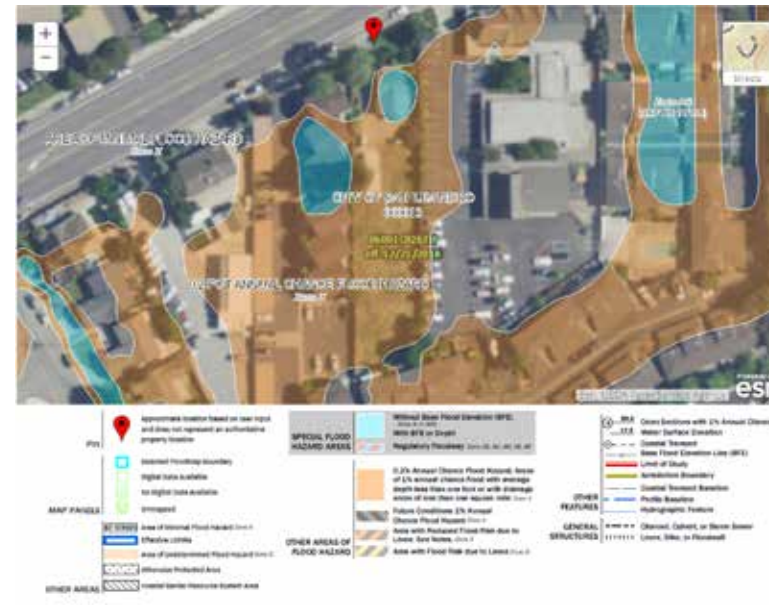
EXHIBIT I.1 - BUILDING A CROSS-SECTION



Section 4
1/4" = 1'-0"



Section 5
1/4" = 1'-0"



GENERAL SECTION NOTES

ALL CEILING HTS. PER SECTION AND ELEVATION P.L. HTS. U.N.O. WINDOW SILL HEIGHTS WHERE OPENING OF THE OPERABLE WINDOW IS LOCATED MORE THAN 12 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW. THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MIN. 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IT IS LOCATED. (C.R.C. R612.2)

ALL EXTERIOR SWINGING DOORS SHALL BE OF SOLID CORE CONSTRUCTION WITH A MINIMUM THICKNESS OF 1 3/4 INCHES OR WITH PANELS NOT LESS THAN 9/16 INCHES THICK. OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE SOLID WOOD DOORS NOT LESS THAN 1 3/4 INCHES IN THICKNESS. SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/4 INCHES IN THICK. OR 20 MINUTE FIRE RATED DOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING (C.R.C. R 302.5.1) & CITY OF CAMPBELL SECURITY ORDINANCE 85-17)

ALL INTERIOR DOORS TO BE HOLLOW CORE, 1 3/8" THICK, U.N.O. (REFER TO PLAN FOR SIZE); DOORS TO BE 6'-8" TALL STANDARD.

ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR JAMBS.

ALL F.A.U. EQUIPMENT TO FIT 30" X 30" ATTIC ACCESS

ATTIC NOTES

FURNACE SHALL BE LISTED FOR INSTALLATION IN FURRED SPACE AND BE LISTED FOR USED ON COMBUSTIBLE FLOORING

VERIFY SIZE OF ATTIC OPENING WITH MANUFACTURERS SPECS

PROVIDE MINIMUM 24" WIDE SOLID CONTINUOUS FLOOR FOR PASSAGEWAY

FURNACE SHALL BE NOT MORE THAN 20 FT FROM ATTIC OPENING

PROVIDE UNOBSTRUCTED WORK SPACE OF 30" MIN DEPTH IN FRONT OF EQUIPMENT

VENT THROUGH ROOF A MIN OF 5 FT. ABOVE THE HIGHEST VENT COLLAR WHICH IT SERVES

FURNACE INSTALLATION SHALL MEET ALL LISTED CLEARANCES RAISE PLATFORM AND PASSAGEWAY FLOOR SUFFICIENTLY SO INSULATION BENEATH WILL NOT BE COMPRESSED

FLOODPLAIN MANAGEMENT NOTES

PER CITY OF SAN LEANDRO MUNICIPAL CODE, ARTICLE 5, PROVISIONS FOR FLOOD HAZARD REDUCTION

7-9-2018 STANDARDS OF CONSTRUCTION

(1) RESIDENTIAL CONSTRUCTION, NEW OR SUBSTANTIAL IMPROVEMENTS, SHALL HAVE THE LOWEST FLOOR, INCLUDING BASEMENT: (1) IN AN AO ZONE, ELEVATED ABOVE THE HIGHEST ADJACENT GRADE TO A HEIGHT EQUAL TO OR EXCEEDING THE DEPTH NUMBER SPECIFIED IN FEET ON THE FIRM, OR ELEVATED AT LEAST (2) ABOVE THE HIGHEST GRADE IF NO DEPTH NUMBER IS SPECIFIED.

REQUIRED ELEVATED HEIGHT: 1'-0"

PROPOSED ELEVATED HEIGHT: 1'-0"

SECTION KEYNOTES & NOTES

1 STANDING SEAM METAL ROOF

2 2X FLOOR AND CEILING JOISTS

3 1X OVER 2X TOP PLATE AT INTERIOR NON-BEARING WALLS

4 DOUBLE 2X TOP PLATE AT EXTERIOR AND BEARING WALLS

5 2X4 STUDS AT 16" O.C.

6 ATTIC

7 1/2" GYPSUM BOARD - TYP. AT ALL WALLS AND CEILING

8 SLAB ON GRADE, TYP.

9 SPRAY ON FOAM INSULATION @ ROOF

10 DORMER ROOF

11 DOWNSPOUT

12 GARAGE DOOR TO HAVE FLOOD OPENINGS PER FEMA

NOTE:

1. SEE CIVIL SHEET C3 FOR GRADE AND FINISH FLOOR ELEVATIONS.

PROFESSIONAL ARCHITECT
JENNIFER A. WILSON, ARCHITECT
716 MCCLAIN LANE, SUITE 109
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(408) 752-1234 | WWW.JAWILSONARCHITECTS.COM

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Leveling Architects
874 Lewelling Boulevard
San Leandro, CA 94579

Project Schedule Revision

No.	Date	Description
1	2018.08	Planning
2	2019.07	Planning
3	2019.05	Planning
4	2019.11	Planning

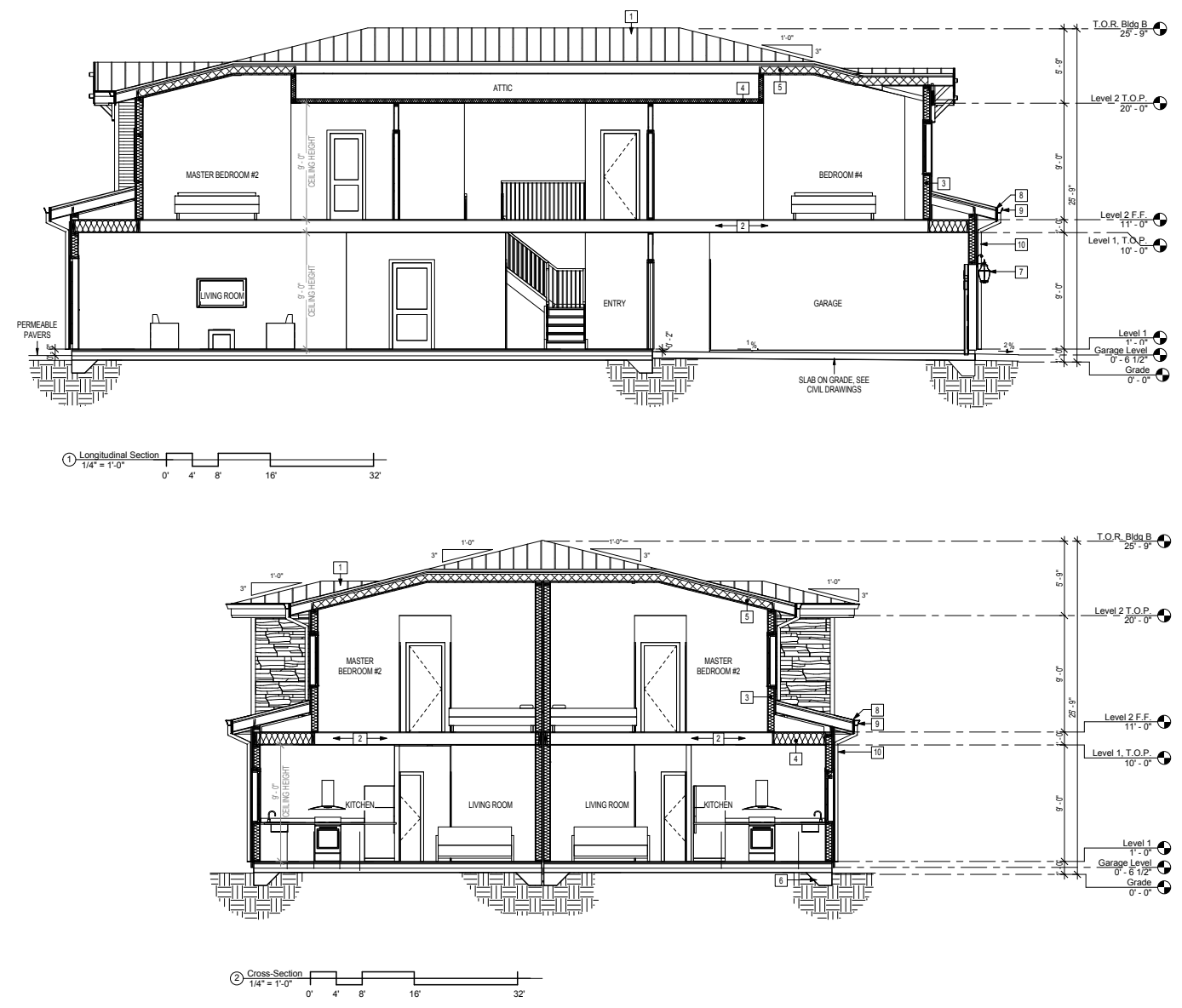
Cross Sections, Bldg A

A300

SCALE 1/4" = 1'-0"

7/11/2019 8:56:55 AM

EXHIBIT I.2 - BUILDING B CROSS-SECTION



GENERAL SECTION NOTES	F.A.U. IN ATTIC NOTES	SECTION KEYNOTES	NOTES
<p>ALL CEILING HEIGHTS PER SECTION AND ELEVATION P.L.T. HTS. UNO. WINDOW SILL HEIGHTS WHERE OPENING OF THE OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW. THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MIN. 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IT IS LOCATED. (C.R.C R812.2)</p> <p>ALL EXTERIOR SWINGING DOORS SHALL BE OF SOLID CORE CONSTRUCTION WITH A MINIMUM THICKNESS OF 1 3/4 INCHES OR WITH PANELS NOT LESS THAN 9/16 INCHES THICK. OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE SOLID WOOD DOORS NOT LESS THAN 1 3/4 INCHES IN THICKNESS. SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/4 INCHES IN THICK. OR 20 MINUTE FIRE RATED DOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING (C.R.C R 302.5.1) & CITY OF CAMPBELL SECURITY ORDINANCE 85-17)</p> <p>ALL INTERIOR DOORS TO BE HOLLOW CORE, 1 3/8" THICK, UNO. (REFER TO PLAN FOR SIZE) DOORS TO BE 6'-8" TALL STANDARD.</p> <p>ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR JAMBS.</p> <p>ALL F.A.U EQUIPMENT TO FIT 30" X 30" ATTIC ACCESS</p> <p>CONTRACTOR TO VERIFY ALL DIMENSIONS AND DESIGNS ON SITE.</p>	<p>FURNACE SHALL BE LISTED FOR INSTALLATION IN FURRED SPACE AND BE LISTED FOR USED ON COMBUSTIBLE FLOORING</p> <p>VERIFY SIZE OF ATTIC OPENING WITH MANUFACTURERS SPECS</p> <p>PROVIDE MINIMUM 24" WIDE SOLID CONTINUOUS FLOOR FOR PASSAGEWAY</p> <p>FURNACE SHALL BE NOT MORE THAN 20 FT FROM ATTIC OPENING</p> <p>PROVIDE UNOBSTRUCTED WORK SPACE OF 30" MIN DEPTH IN FRONT OF EQUIPMENT</p> <p>VENT THROUGH ROOF A MIN OF 5 FT. ABOVE THE HIGHEST VENT COLLAR WHICH IT SERVES</p> <p>FURNACE INSTALLATION SHALL MEET ALL LISTED CLEARANCES RAISE PLATFORM AND PASSAGEWAY FLOOR SUFFICIENTLY SO INSULATION BENEATH WILL NOT BE COMPRESSED</p>	<p>1 STANDING SEAM METAL ROOF</p> <p>2 FLOOR AND CEILING JOISTS, SEE STRUCTURAL</p> <p>3 WALL INSULATION PER T-24</p> <p>4 CEILING INSULATION PER T-24</p> <p>5 SPRAY FOAM INSULATION PER T-24</p> <p>6 FOUNDATION, SLAB ON GRADE</p> <p>7 WALL SCONCE</p> <p>8 2X FASCIA</p> <p>9 GUTTER</p> <p>10 DOWNSPOUT</p>	<p>1 CONTRACTOR TO VERIFY ALL DIMENSIONS AND DESIGNS ON SITE. SEE CIVIL SHEET C3 FOR GRADE AND FINISH FLOOR ELEVATIONS.</p>

PROFESSIONAL ARCHITECT
STATE OF CALIFORNIA
C. 24065

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WWW.JWARCHITECTS.COM

ARCHITECTS
ARCHITECTURAL + INTERIOR

Leveling Condominiums

874 Lewelling Boulevard
San Leandro, CA 94579

Project Schedule Revision		
No.	Date	Description
1	2018.08	Planning
2	2019.07	Planning
3	2019.05	Planning
4	2019.11	Planning

Cross Sections, Bldg B

A301

SCALE 1/4" = 1'-0"

7/11/2019 8:50:12 AM

EXHIBIT J - COLOR AND MATERIAL BOARD

COLOR & MATERIAL BOARD | LEWELLING CONDOMINIUMS

874 LEWELLING BOULEVARD
SAN LEANDRO, CA 94579

PERSPECTIVE RENDERING/ FRONT STREET VIEW



HARDIE PLANK LAP SIDING

James Hardie

UPPER
MANUFAC.: JAMES HARDIE
EXT. FINISH: LAP SIDING
COLOR: LIGHT MIST

ACCENT
MANUFAC.: JAMES HARDIE
EXT. FINISH: LAP SIDING
COLOR: BOOTHBAY BLUE

STANDING SEAM METAL ROOF

B
MANUFAC.: BERRIDGE STANDING SEAM METAL PANELS, INC.
COLOR: CHARCOAL GREY
ENERGY: ENERGYSTAR - RATED METAL COOL ROOF

EXTERIOR SHUTTERS

BUILDERS EDGE
WINDOW TREATMENT
MANUFAC.: BUILDERS EDGE
COLOR: TUXEDO GRAY
FEATURES: LOUVERED, DEEP WOOD GRAIN TEXTURE, CAN BE INSTALLED ON ANY SURFACE, LIFETIME WARRANTY

HARDIESHINGLE SIDING

James Hardie
UPPER ACCENT
MANUFAC.: JAMES HARDIE
EXT. FINISH: SHINGLE SIDING STRAIGHT EDGE PANEL
COLOR: ARTIC WHITE

BASE
MANUFAC.: JAMES HARDIE
EXT. FINISH: LAP SIDING
COLOR: NIGHT GRAY

WINDOWS



CRAFTSMAN BRACKET

FYPON
MANUFAC.: FYPON
COLOR: WHITE
FEATURES: MOISTURE & WEATHER RESISTANT, EXTERIOR GRADE

HARDIETRIM BOARDS

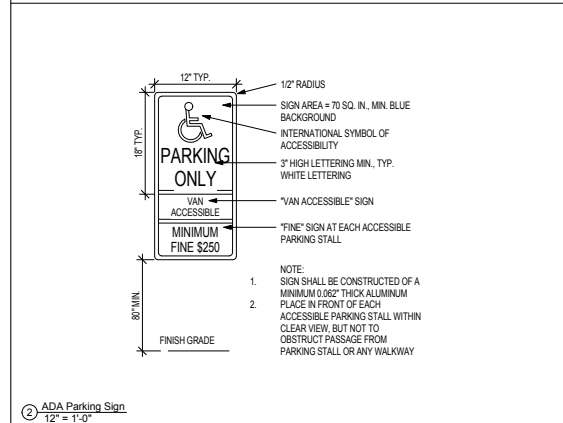
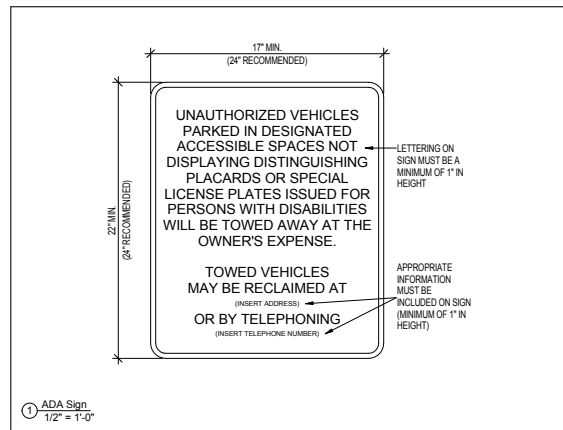
James Hardie
TRIM
MANUFAC.: JAMES HARDIE
COLOR: ARTIC WHITE
THICKNESS: 0.75"
LENGTH: 144" BOARDS
WIDTH: 11.25"

CULTURED STONE

BASE ACCENT
MANUFAC.: CULTURED STONE
STYLE: COUNTRY
COLOR: GRAND MESA

Milgard
MANUFAC.: MILGARD WINDOWS & DOORS
TYPE: CASEMENT & DOUBLE HUNG
FRAME: BRONZE ANODIZED WHITE
GLASS TYPE: CLEAR
GRID: SIMULATED DIVIDED LITE (SDL)
OITC: 30

EXHIBIT K - SIGNAGE



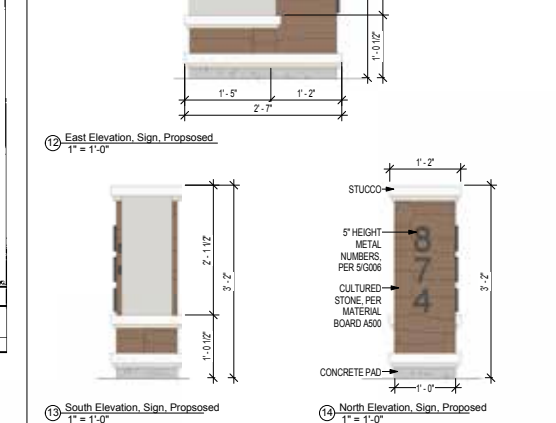
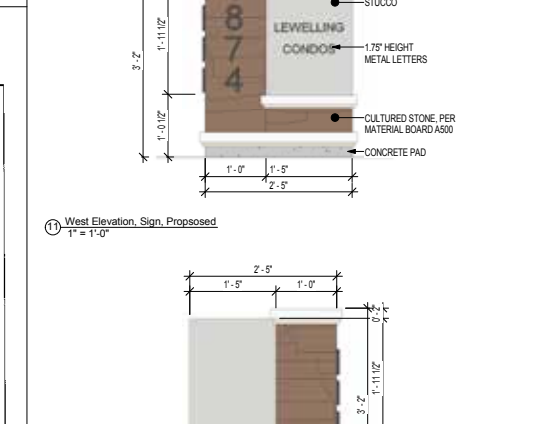
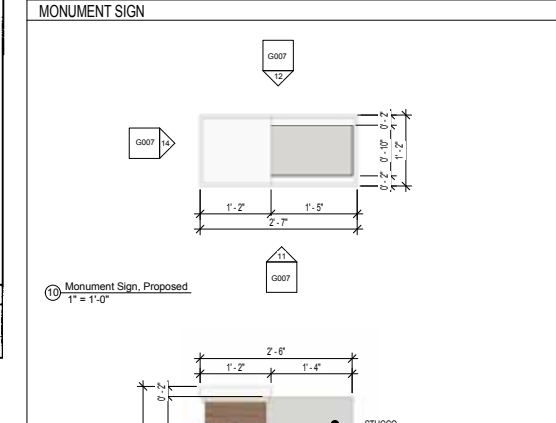
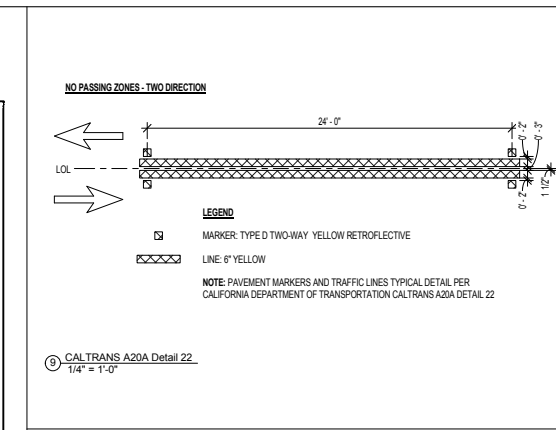
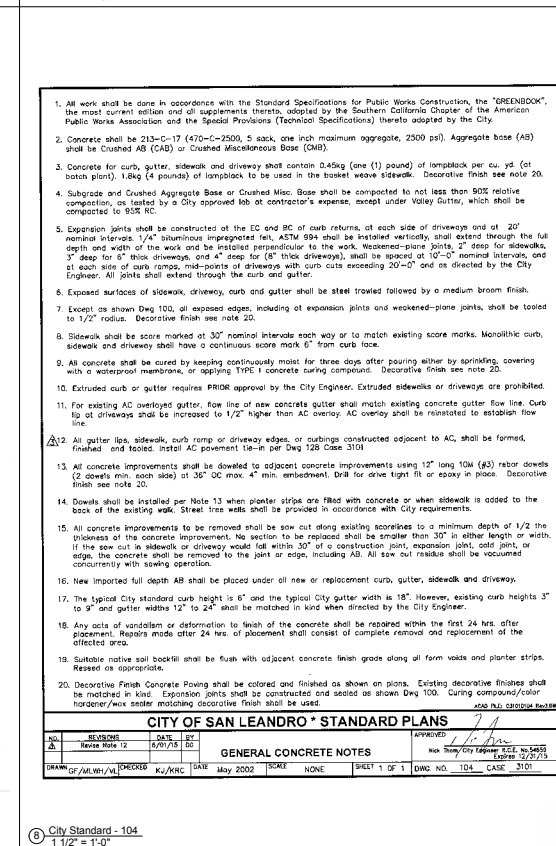
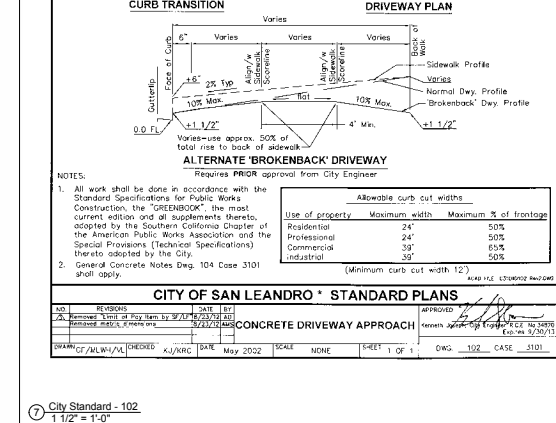
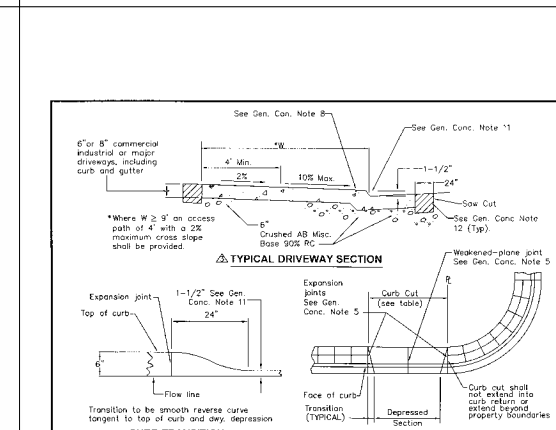
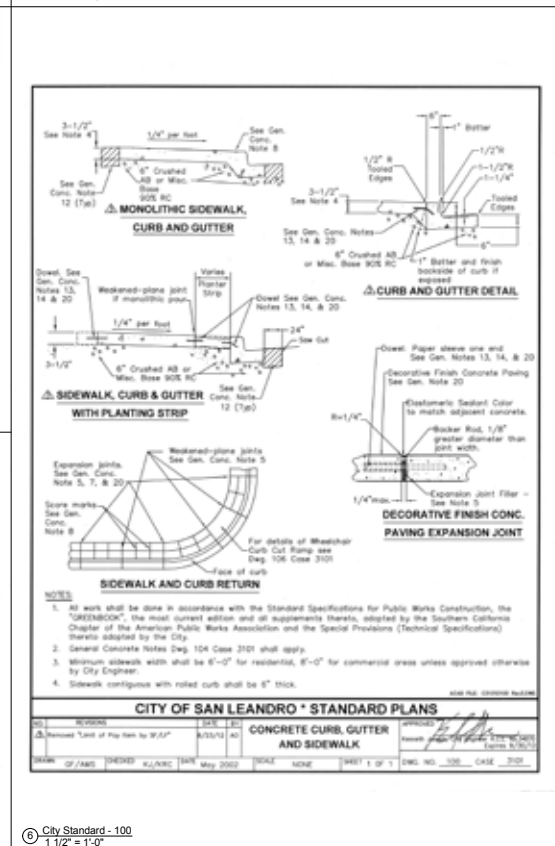
Modern Lighted Black House Letters 5" Information:

The lighted 5" illuminated house letters and numbers are available in two sizes. The black LED letters are finished in a satin black color and available with an illuminated white or blue back-lit edge. The lighted 5 inch letters are IP-44 rated and suitable for residential and commercial sign lettering applications.

The black house letters are made from a solid piece of aluminum that is CNC machined and finished in a satin black anodized color for prolonged exterior usage. The acrylic back-lit illuminated case on the house letters screw together like a mechanical watch. Each letter contains 6 - 9 CREE LED panels which can be replaced at any time.

LED letters are powered by a low voltage LED Driver or a standard doorbell transformer. The lighted house letters work with any of the Luxello 5" LED House Numbers and they can be special ordered with a different LED color or a different metal finish.

5" Lighted House Letters
Model: LUX-L-5L
White or Blue LED
Size: Height 5", Depth: .55"
Screw Down Casing
Light: 6 - 9 CREE LED
Input: 10 - 16 Volt AC / DC



REGISTERED ARCHITECT

ARCHITECTS

Site, Details & Signage

Levellings Condominiums

874 Lewelling Boulevard
San Leandro, CA 94579

Project Schedule Revision

No.	Date	Description
1	2018.08	Planning
2	2018.07	Planning
3	2018.05	Planning
4	2018.11	Planning

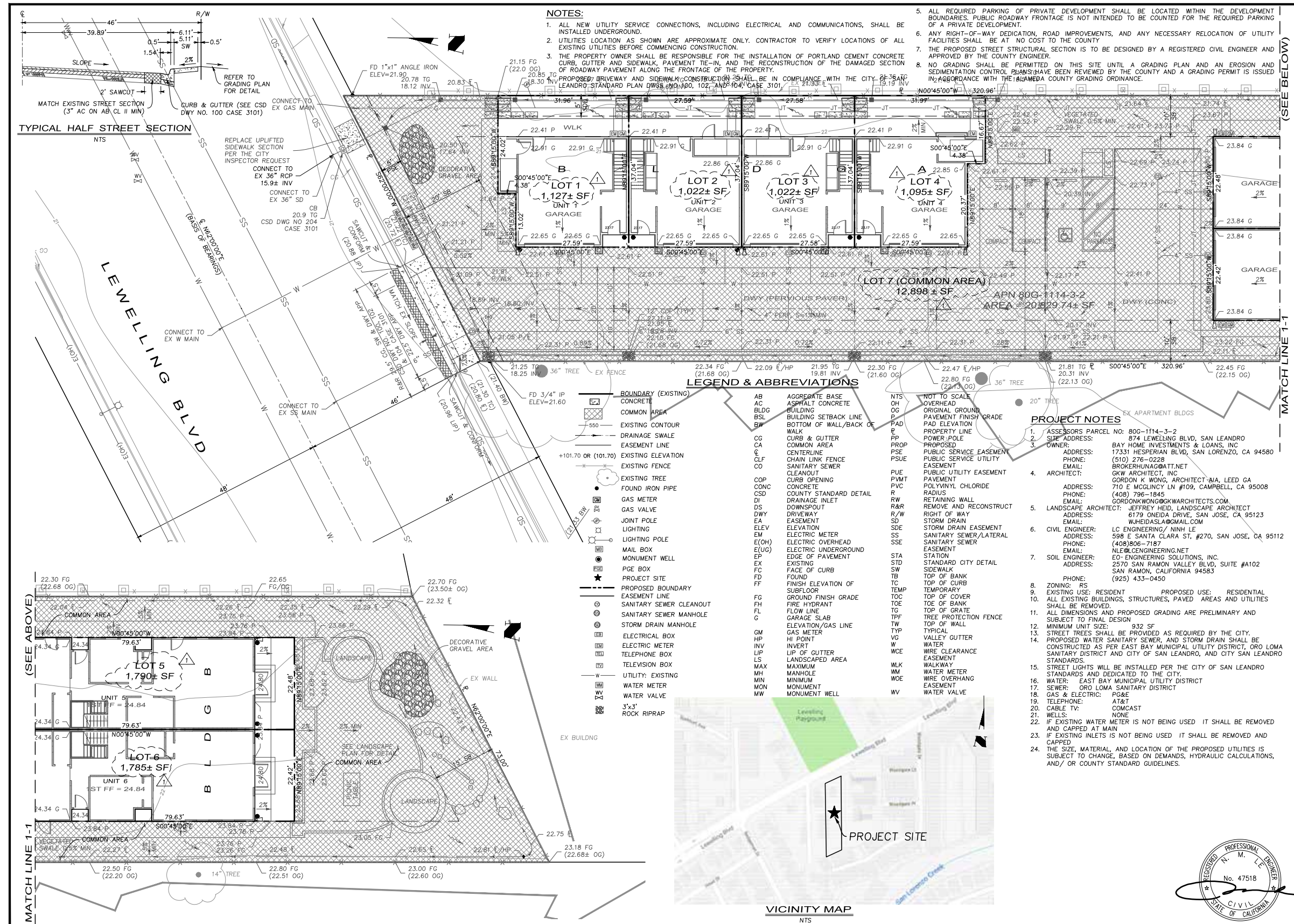
Site Details & Signage

G007

SCALE: As Indicated

7/10/2019 6:08:28 PM

EXHIBIT L - TENTATIVE TRACT MAP 8542



- NOTES:**
1. ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING ELECTRICAL AND COMMUNICATIONS, SHALL BE INSTALLED UNDERGROUND.
 2. UTILITIES LOCATION AS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR TO VERIFY LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION.
 3. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF PORTLAND CEMENT CONCRETE CURB, GUTTER AND SIDEWALK, PAVEMENT TIE-IN, AND THE RECONSTRUCTION OF THE DAMAGED SECTION OF ROADWAY PAVEMENT ALONG THE FRONTAGE OF THE PROPERTY.
 4. PROPOSED DRIVEWAY AND SIDEWALK CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF SAN LEANDRO STANDARD PLAN DWG. NO. 100, 102, AND PD. CASE 3101.
 5. ALL REQUIRED PARKING OF PRIVATE DEVELOPMENT SHALL BE LOCATED WITHIN THE DEVELOPMENT BOUNDARIES. PUBLIC ROADWAY FRONTAGE IS NOT INTENDED TO BE COUNTED FOR THE REQUIRED PARKING OF A PRIVATE DEVELOPMENT.
 6. ANY RIGHT-OF-WAY DEDICATION, ROAD IMPROVEMENTS, AND ANY NECESSARY RELOCATION OF UTILITY FACILITIES SHALL BE AT NO COST TO THE COUNTY.
 7. THE PROPOSED STREET STRUCTURAL SECTION IS TO BE DESIGNED BY A REGISTERED CIVIL ENGINEER AND APPROVED BY THE COUNTY ENGINEER.
 8. NO GRADING SHALL BE PERMITTED ON THIS SITE UNTIL A GRADING PLAN AND AN EROSION AND SEDIMENTATION CONTROL PLAN HAVE BEEN REVIEWED BY THE COUNTY AND A GRADING PERMIT IS ISSUED IN ACCORDANCE WITH THE ALAMEDA COUNTY GRADING ORDINANCE.

LEGEND & ABBREVIATIONS

AB	AGGREGATE BASE	OH	NOT TO SCALE OVERHEAD
AC	ASPHALT CONCRETE	OG	ORIGINAL GROUND
BDG	BUILDING	OG	PAVEMENT FINISH GRADE
BSL	BUILDING SETBACK LINE	OG	PAD ELEVATION
BW	WALK	OP	PROPERTY LINE
CG	CURB & GUTTER	PP	POWER POLE
CA	COMMON AREA	PROP	PROPOSED
C	CENTERLINE	PSE	PUBLIC SERVICE EASEMENT
CLF	CHAIN LINK FENCE	PSUE	PUBLIC SERVICE UTILITY EASEMENT
CO	CLEANOUT	PUE	PUBLIC UTILITY EASEMENT
COP	CURB OPENING	PVMT	PAVEMENT
CNC	CONCRETE	PVC	POLYVINYL CHLORIDE
CSD	COUNTY STANDARD DETAIL	R	RADIUS
DI	DRAINAGE INLET	RW	RETAINING WALL
DS	DOWNSPOUT	R&R	REMOVE AND RECONSTRUCT
DWY	DRIVEWAY	R/W	RIGHT OF WAY
EA	EASEMENT	SD	STORM DRAIN
ELEV	ELEVATION	SDE	STORM DRAIN EASEMENT
EM	ELECTRIC METER	SS	SANITARY SEWER/LATERAL
E(OH)	ELECTRIC OVERHEAD	SSE	SANITARY SEWER EASEMENT
E(UG)	ELECTRIC UNDERGROUND	STA	STATION
EP	EDGE OF PAVEMENT	STD	STANDARD CITY DETAIL
EX	EXISTING	SW	SIDEWALK
FC	FACE OF CURB	TB	TOP OF BANK
FD	FOUND	TC	TOP OF CURB
FF	FINISH ELEVATION OF SUBFLOOR	TEMP	TEMPORARY
FG	GROUND FINISH GRADE	TOC	TOP OF COVER
FH	FIRE HYDRANT	TOE	TOE OF BANK
FL	FLOW LINE	TOG	TOP OF GRATE
G	GARAGE SLAB	TPF	TREE PROTECTION FENCE
GM	GAS METER	TYP	TYPICAL
HP	HI POINT	VG	VALLEY GUTTER
INV	INVERT	W	WATER
LIP	LIP OF GUTTER	WCE	WIRE CLEARANCE EASEMENT
LS	LANDSCAPED AREA	WLK	WALKWAY
MAX	MAXIMUM	WM	WATER METER
MH	MANHOLE	WOE	WIRE OVERHANG EASEMENT
MIN	MINIMUM	WV	WATER VALVE
MON	MONUMENT		
MW	MONUMENT WELL		

PROJECT NOTES

1. ASSESSORS PARCEL NO: 806-1114-3-2
2. SITE ADDRESS: 874 LEWELLING BLVD, SAN LEANDRO
3. OWNER: BAY HOME INVESTMENTS & LOANS, INC
ADDRESS: 17331 HESPERIAN BLVD, SAN LORENZO, CA 94580
PHONE: (510) 276-0228
EMAIL: BROKERHUNAG@ATT.NET
4. ARCHITECT: GWK ARCHITECT, INC
ADDRESS: GORDON K WONG, ARCHITECT AIA, LEED GA
710 E MCLINCY LN #109, CAMPBELL, CA 95008
PHONE: (408) 796-1845
EMAIL: GORDONKWONG@GWKARCHITECTS.COM
5. LANDSCAPE ARCHITECT: JEFFREY HEID, LANDSCAPE ARCHITECT
ADDRESS: 6179 ONEIDA DRIVE, SAN JOSE, CA 95123
EMAIL: WJHEIDSLA@GMAIL.COM
6. CIVIL ENGINEER: LC ENGINEERING / NINH LE
ADDRESS: 598 E SANTA CLARA ST, #270, SAN JOSE, CA 95112
PHONE: (408) 806-7187
EMAIL: NLE@LCENGINEERING.NET
7. SOIL ENGINEER: EO ENGINEERING SOLUTIONS, INC.
ADDRESS: 2570 SAN RAMON VALLEY BLVD, SUITE #A102
SAN RAMON, CALIFORNIA 94583
PHONE: (925) 433-0450
8. ZONING: RS
9. EXISTING USE: RESIDENT
10. PROPOSED USE: RESIDENTIAL
11. ALL EXISTING BUILDINGS, STRUCTURES, PAVED AREAS AND UTILITIES SHALL BE REMOVED.
12. ALL DIMENSIONS AND PROPOSED GRADING ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN
13. MINIMUM UNIT SIZE: 932 SF
14. STREET TREES SHALL BE PROVIDED AS REQUIRED BY THE CITY.
15. PROPOSED WATER SANITARY SEWER, AND STORM DRAIN SHALL BE CONSTRUCTED AS PER EAST BAY MUNICIPAL UTILITY DISTRICT, ORO LOMA SANITARY DISTRICT AND CITY OF SAN LEANDRO, AND CITY SAN LEANDRO STANDARDS.
16. STREET LIGHTS WILL BE INSTALLED PER THE CITY OF SAN LEANDRO STANDARDS AND DEDICATED TO THE CITY.
17. WATER: EAST BAY MUNICIPAL UTILITY DISTRICT
18. SEWER: ORO LOMA SANITARY DISTRICT
19. GAS & ELECTRIC: AT&T
20. TELEPHONE: AT&T
21. CABLE TV: COMCAST
22. WELLS: NONE
23. IF EXISTING WATER METER IS NOT BEING USED IT SHALL BE REMOVED AND CAPPED AT MAIN
24. IF EXISTING INLETS IS NOT BEING USED IT SHALL BE REMOVED AND CAPPED
25. THE SIZE, MATERIAL, AND LOCATION OF THE PROPOSED UTILITIES IS SUBJECT TO CHANGE, BASED ON DEMANDS, HYDRAULIC CALCULATIONS, AND/OR COUNTY STANDARD GUIDELINES.



DESIGNED	DATE	08/04/18
DRAWN	DATE	08/04/18
SCALE	DATE	1" = 10'
CHECKED	DATE	08/04/18
BY	DATE	
APP'D	DATE	
REVISIONS	NO.	

PER CITY'S COMMENTS DATED 02/06/19

LC ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 563-4006

California

TENTATIVE MAP
874 LEWELLING BOULEVARD
APN 806-1114-3-2

PROJECT NO. _____

CONTRACT NO. _____

San Leandro

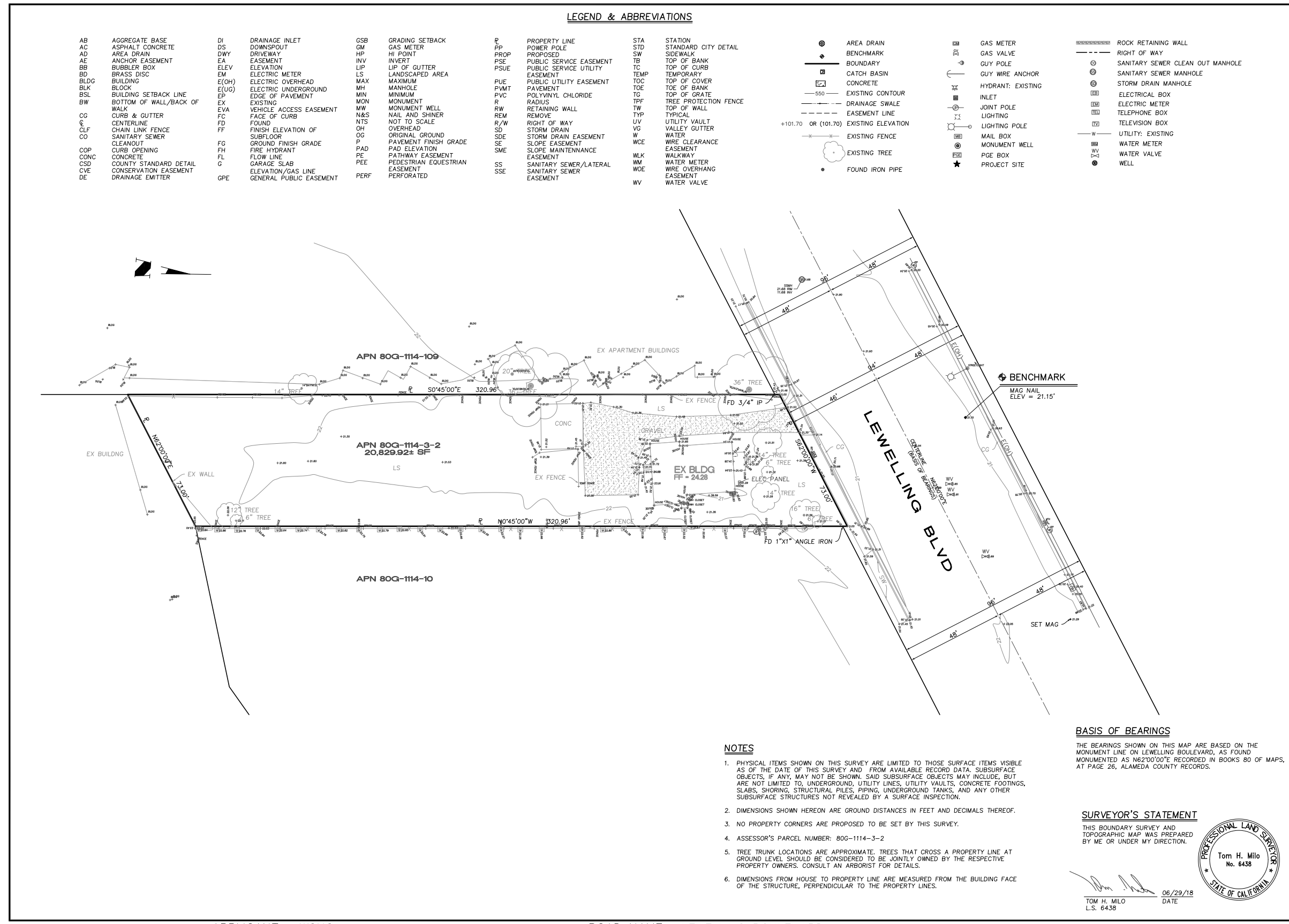
FILE NO. _____

DRAWING NO. _____

1 of 1

APPLICANT : _____ ROAD NAME : LEWELLING BOULEVARD FILE NO : PLN17-0069

EXHIBIT M - BOUNDARY SURVEY AND TOPOGRAPHIC MAP



LEGEND & ABBREVIATIONS											
AB	AGGREGATE BASE	DI	DRAINAGE INLET	GSB	GRADING SETBACK	P	PROPERTY LINE	STA	STATION	⊙	AREA DRAIN
AC	ASPHALT CONCRETE	DS	DOWNSPOUT	GM	GAS METER	PP	PROPOSED	STD	STANDARD CITY DETAIL	⊕	BENCHMARK
AD	AREA DRAIN	DWY	DRIVEWAY	HP	HI POINT	PROP	PROPOSED	SW	SIDEWALK	⊖	BENCHMARK
AE	ANCHOR EASEMENT	EA	EASEMENT	INV	INVERT	PSE	PUBLIC SERVICE EASEMENT	TB	TOP OF BANK	⊙	GUY POLE
BB	BUBBLER BOX	ELEV	ELEVATION	LIP	LIP OF GUTTER	PSUE	PUBLIC SERVICE UTILITY EASEMENT	TC	TOP OF CURB	⊙	GUY WIRE ANCHOR
BD	BRASS DISC	EM	ELECTRIC METER	LS	LANDSCAPED AREA	PUE	PUBLIC UTILITY EASEMENT	TEMP	TEMPORARY	⊙	HYDRANT: EXISTING
BLDG	BUILDING	E(OH)	ELECTRIC OVERHEAD	MAX	MAXIMUM	PVMT	PAVEMENT	TOC	TOP OF COVER	⊙	INLET
BLK	BLOCK	E(UG)	ELECTRIC UNDERGROUND	MH	MANHOLE	PVC	POLYVINYL CHLORIDE	TOE	TOE OF BANK	⊙	JOINT POLE
BSL	BUILDING SETBACK LINE	EP	EDGE OF PAVEMENT	MIN	MINIMUM	R	RADIUS	TOG	TOP OF GRADE	⊙	LIGHTING
BW	BOTTOM OF WALL/BACK OF WALK	EX	EXISTING	MON	MONUMENT	RET	RETAINING WALL	TW	TOP OF WALL	⊙	LIGHTING POLE
CG	CURB & GUTTER	EVA	VEHICLE ACCESS EASEMENT	MW	MONUMENT WELL	REM	REMOVE	TYP	TYPICAL	⊙	MAIL BOX
CL	CENTERLINE	FC	FACE OF CURB	N&S	NAIL AND SHINER	R/W	RIGHT OF WAY	UV	UTILITY VAULT	⊙	MONUMENT WELL
CLF	CHAIN LINK FENCE	FD	FOUND FINISH ELEVATION OF SUBFLOOR	OH	OVERHEAD	SD	STORM DRAIN	VG	VALLEY GUTTER	⊙	PGE BOX
CO	SANITARY SEWER	FF	FINISH ELEVATION OF GROUND FINISH GRADE	OG	ORIGINAL GROUND	SDE	STORM DRAIN EASEMENT	W	WATER	⊙	PROJECT SITE
COP	CURB OPENING	FG	GROUND FINISH GRADE	P	PAVEMENT FINISH GRADE	SE	SLOPE EASEMENT	WCE	WIRE CLEARANCE EASEMENT	⊙	ROCK RETAINING WALL
CONC	CONCRETE	FL	FIRE HYDRANT FLOW LINE	PAD	PAD ELEVATION	SME	SLOPE MAINTENANCE EASEMENT	WLK	WALKWAY	⊙	RIGHT OF WAY
CSD	COUNTY STANDARD DETAIL	G	GARAGE SLAB	PE	PATHWAY EASEMENT	SS	SANITARY SEWER/LATERAL EASEMENT	WM	WATER METER	⊙	SANITARY SEWER CLEAN OUT MANHOLE
CVE	CONSERVATION EASEMENT	GPE	ELEVATION/GAS LINE GENERAL PUBLIC EASEMENT	PEE	PEDESTRIAN EQUESTRIAN EASEMENT	SSE	SANITARY SEWER EASEMENT	WOE	WIRE OVERHANG EASEMENT	⊙	SANITARY SEWER MANHOLE
DE	DRAINAGE EMITTER			PERF	PERFORATED			WV	WATER VALVE	⊙	STORM DRAIN MANHOLE

DESIGNED	DATE	DRAWN	DATE	CHECKED	DATE
PT	06/29/18	CT	06/29/18	NT	06/29/18
SCALE	1" = 20'	PROJECT NO.		CONTRACT NO.	
ENGINEERING 598 E Santa Clara St, #270 San Jose, CA 95112 Phone: (408) 906-7187 Fax: (408) 983-4006					
BOUNDARY SURVEY AND TOPOGRAPHIC MAP 874 LEWELLING BOULEVARD APN 80G-1114-3-2 California					
San Leandro PROJECT NO.					
T1 1 of 1 FILE NO.					

NOTES

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 80G-1114-3-2
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
- DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES.

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE MONUMENT LINE ON LEWELLING BOULEVARD, AS FOUND MONUMENTED AS N62°00'00"E RECORDED IN BOOKS 80 OF MAPS, AT PAGE 26, ALAMEDA COUNTY RECORDS.

SURVEYOR'S STATEMENT

THIS BOUNDARY SURVEY AND TOPOGRAPHIC MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

TOM H. MILO
L.S. 6438
DATE 06/29/18



APPLICANT : WONG ROAD NAME : LEWELLING BOULEVARD FILE NO : .

EXHIBIT N - OVERALL SITE PLAN

GRADING AND DRAINAGE IMPROVEMENTS

I. GENERAL NOTES:

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY:
 - THIS REPORT IS SUPPLEMENTED BY: A. THESE PLANS AND SPECIFICATIONS, B. THE COUNTY OF ALAMEDA STANDARD DETAILS, C. THE COUNTY OF ALAMEDA STANDARD SPECIFICATIONS, D. STATE OF CALIFORNIA STANDARD DETAILS, E. STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER, THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
- ALL GRADING SHALL COMPLY WITH THE CITY OF SAN LEANDRO STANDARD SPECIFICATIONS, AND CHAPTER 18 AND APPENDIX 33 OF THE UNIFORM BUILDING CODE.
- THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT 3. ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.
- ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER. THE SOIL ENGINEER SHALL BE DESIGNATED BY THE OWNER AND SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN ON THESE PLANS AS DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- ALL ROOF DOWNSPOUTS TO BE DIRECTED AWAY FROM HOME TO SUITABLE DRAINAGE FACILITY VIA DOWNSPOUTS, PAVEMENT AND COLLECTION PIPES THAT DISCHARGE DIRECTLY TO THE STORM DRAIN SYSTEM.
- EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.
- DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL PROVIDE UNDERGROUND PIPES AND REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 1%.
- THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY.
- THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS. SEE ARCHITECT PLAN.
- SOIL ENGINEER TO PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING IN ACCORDANCE WITH THE ALAMEDA COUNTY GRADING ORDINANCE CHAPTER 15.36.
- CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL OBTAIN THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE ALAMEDA VALLEY WATER DISTRICT, CALL (408) 265-2600 EXTENSION 382 TO ARRANGE FOR DISTRICT OBSERVATIONS OF ALL WELL ABANDONMENTS.
- EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE AMOUNT OF THE GRADING PERMIT.
- ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- SOIL ENGINEER WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMEN'S ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH.
- IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE COUNTY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.
- ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED, ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE COUNTY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. FOR LOCATION OF UNDERGROUND UTILITIES, OR FOR EMERGENCY ASSISTANCE.

CALL: UNDERGROUND SERVICE ALERT (USA) 800-642-2444
- THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.

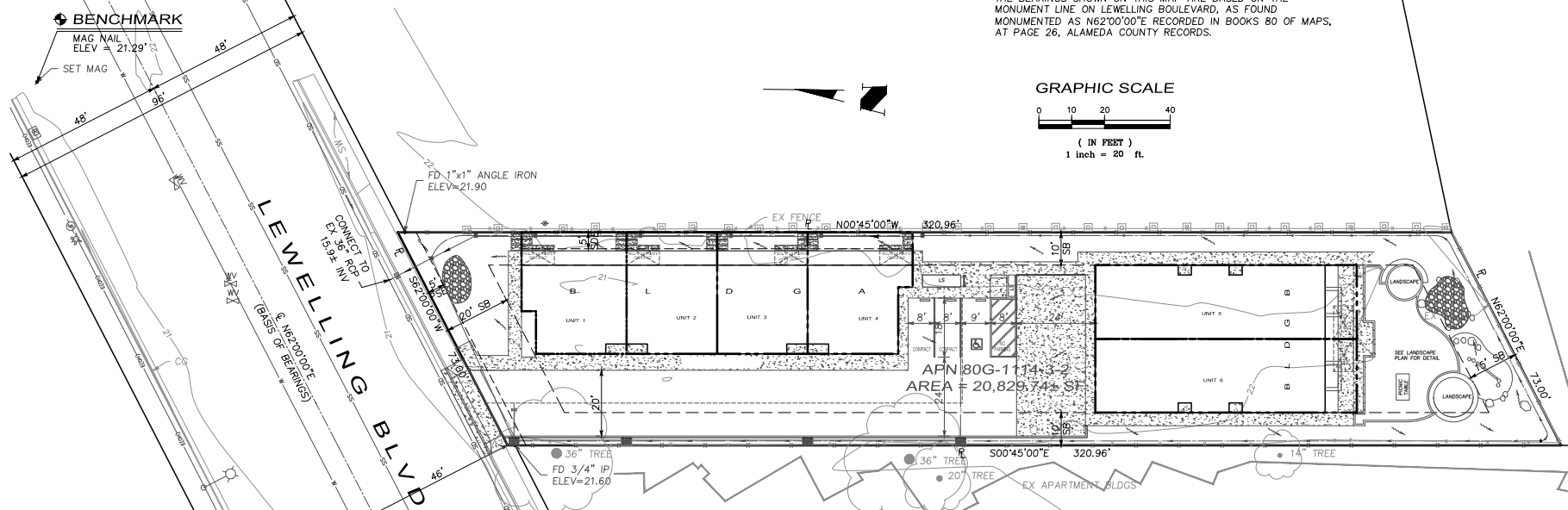
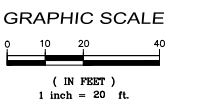
LEGEND & ABBREVIATIONS

AGGREGATE BASE	FG	GROUND FINISH GRADE	R	RADIUS
ASPHALT CONCRETE	FH	FIRE HYDRANT	RW	RETAINING WALL
AREA DRAIN	FL	FLOW LINE	REM	REMOVE
ANCHOR EASEMENT	FL	GARAGE SLAB	R/W	RIGHT OF WAY
APPROACH	G	ELEVATION/GAS LINE	SD	STORM DRAIN
BUBBLER BOX	GPE	GENERAL PUBLIC EASEMENT	SDE	STORM DRAIN EASEMENT
BRASS DISC	GSB	GRADING SETBACK	SE	SLOPE EASEMENT
BUILDING	GM	GAS METER	SME	SLOPE MAINTENANCE EASEMENT
BLOCK	HP	HI POINT		
BUILDING SETBACK LINE	INV	INVERT		
BOTTOM OF WALL/BACK OF LIP	LIP	LIP OF GUTTER	SS	SANITARY SEWER/LATERAL
WALK	LS	LANDSCAPED AREA	SSE	SANITARY SEWER
CURB & GUTTER	MAX	MAXIMUM	STA	EASEMENT STATION
CENTERLINE	MH	MANHOLE	STD	STANDARD CITY DETAIL
CHAIN LINK FENCE	MIN	MINIMUM	SW	SIDEWALK
SANITARY SEWER	MON	MONUMENT	TB	TOP OF BANK
CLEANOUT	MW	MONUMENT WELL	TC	TOP OF CURB
12" CURB OPENING	N&S	NAIL AND SHINER	TEMP	TEMPORARY
CONCRETE	NTS	NOT TO SCALE	TOC	TOP OF COVER
COUNTY STANDARD DETAIL	OG	ORIGINAL GROUND	TOE	TOE OF BANK
CONSERVATION EASEMENT	P	PAVEMENT FINISH GRADE	TG	TOP OF GRATE
DRAINAGE EMITTER	PAD	PAD ELEVATION	TPF	TREE PROTECTION FENCE
DRAINAGE INLET	PE	PATHWAY EASEMENT	TW	TOP OF WALL
DOWNSPOUT	PEE	PEDESTRIAN EQUESTRIAN EASEMENT	UV	UTILITY VAULT
DRIVEWAY	PERF	PERFORATED	VG	VALLEY GUTTER
EASEMENT	P	PROPERTY LINE	W	WATER
ELEVATION	PP	POWER POLE	WCE	WIRE CLEARANCE EASEMENT
ELECTRIC METER	PROP	PROPOSED	WLK	WALKWAY
ELECTRIC OVERHEAD	PSE	PUBLIC SERVICE EASEMENT	WM	WATER METER
ELECTRIC UNDERGROUND	PSUE	PUBLIC SERVICE UTILITY EASEMENT	WOE	WIRE OVERHANG EASEMENT
EDGE OF PAVEMENT	PUE	FACE OF CURB	WV	WATER VALVE
EXISTING	PVMT	FINISH ELEVATION OF SUBFLOOR		
VEHICLE ACCESS EASEMENT	PVC	POLYVINYL CHLORIDE (SCHEDULE 40)		

AREA DRAIN	RIGHT OF WAY
BENCHMARK	PROPOSED BOUNDARY
BOUNDARY	SANITARY SEWER CLEANOUT
CATCH BASIN	SANITARY SEWER MANHOLE
CONCRETE	STORM DRAIN MANHOLE
EXISTING CONTOUR	ELECTRICAL BOX
DRAINAGE SWALE	ELECTRIC METER
EASEMENT LINE	TELEPHONE BOX
EXISTING ELEVATION	TELEVISION BOX
EXISTING FENCE	UTILITY: EXISTING
EXISTING TREE	UTILITY: PROPOSED
FOUND IRON PIPE	WATER METER
GAS METER	WATER VALVE
GAS VALVE	WELL
GUY POLE	3"x3" ROCK RIPRAP
GUY WIRE ANCHOR	DOWNSPOUT WITH SPLASH BLOCK
HYDRANT: EXISTING	
INLET	
JOINT POLE	
LIGHTING	
LIGHTING POLE	
MAIL BOX	
MONUMENT WELL	
PGE BOX	



BASIS OF BEARINGS
 THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE MONUMENT LINE ON LEWELLING BOULEVARD, AS FOUND MONUMENTED AS N62°00'00"E RECORDED IN BOOKS 80 OF MAPS, AT PAGE 26, ALAMEDA COUNTY RECORDS.



PROJECT NOTES

- ASSESSORS' PARCEL NO: 80G-1114-3-2
- SITE ADDRESS: 874 LEWELLING BLVD, SAN LEANDRO
- OWNER: BAY HOME INVESTMENTS & LOANS, INC
 17331 HESPERIAN BLVD, SAN LORENZO, CA 94580
 PHONE: (510) 276-0228
 EMAIL: BROKERHUNAC@ATT.NET
- ARCHITECT: GWK ARCHITECT, INC
 GORDON K WONG, ARCHITECT AIA, LEED GA
 710 E MCCLINCY LN #109, CAMPBELL, CA 95008
 PHONE: (408) 796-1845
 EMAIL: GORDONKWONG@GWKARCHITECTS.COM
- LANDSCAPE ARCHITECT: JEFFREY HEID, LANDSCAPE ARCHITECT
 6179 ONEIDA DRIVE, SAN JOSE, CA 95123
 EMAIL: WHEIDSLA@GMAIL.COM
- CIVIL ENGINEER: LC ENGINEERING/ NINH LE
 6179 ONEIDA DRIVE, SAN JOSE, CA 95112
 PHONE: (408)806-7187
 EMAIL: NLE@LCENGINEERING.NET
- SOIL ENGINEER: EO-ENGINEERING SOLUTIONS, INC.
 2570 SAN RAMON VALLEY BLVD, SUITE #A102
 SAN RAMON, CALIFORNIA 94583
 PHONE: (925) 433-0450

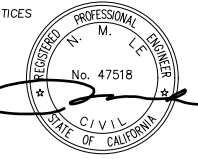
EARTHWORK QUANTITIES

CUT = 88 CY ; MAXIMUM CUT DEPTH = 1.5' ±
 FILL = 221 CY ; MAXIMUM FILL DEPTH = 1.5' ±
 IMPORT 133 CY
 EXPORT 0 CY

EARTHWORK QUANTITIES AS SHOWN ON THIS PLAN IS FOR INFORMATION ONLY. CONTRACTOR TO CALCULATE HIS/HER OWN EARTHWORK QUANTITIES FOR BIDDING PURPOSE.

SHEET INDEX

- SHEET C1: OVERALL SITE PLAN
- SHEET C2: IMPERVIOUS AREAS EXHIBIT
- SHEET C3: GRADING AND DRAINAGE PLAN
- SHEET C4: GRADING AND DRAINAGE PLAN
- SHEET C5: CROSS SECTIONS AND DETAILS
- SHEET C6: UTILITY & STRIPING PLAN
- SHEET C7: EROSION CONTROL PLAN
- SHEET C8: EROSION CONTROL DETAILS
- SHEET C9: BEST MANAGEMENT PRACTICES



DESIGNED	DATE	DRAWN	DATE	CHECKED	DATE
SCALE	1" = 10'				

REVISIONS

NO.	DATE	BY	APPD

LC ENGINEERING
 598 E Santa Clara St, #270
 San Jose, CA 95112
 Phone: (408) 806-7187
 Fax: (408) 583-4006

California

PRELIMINARY

OVERALL SITE PLAN
874 LEWELLING BOULEVARD
APN 80G-1114-3-2

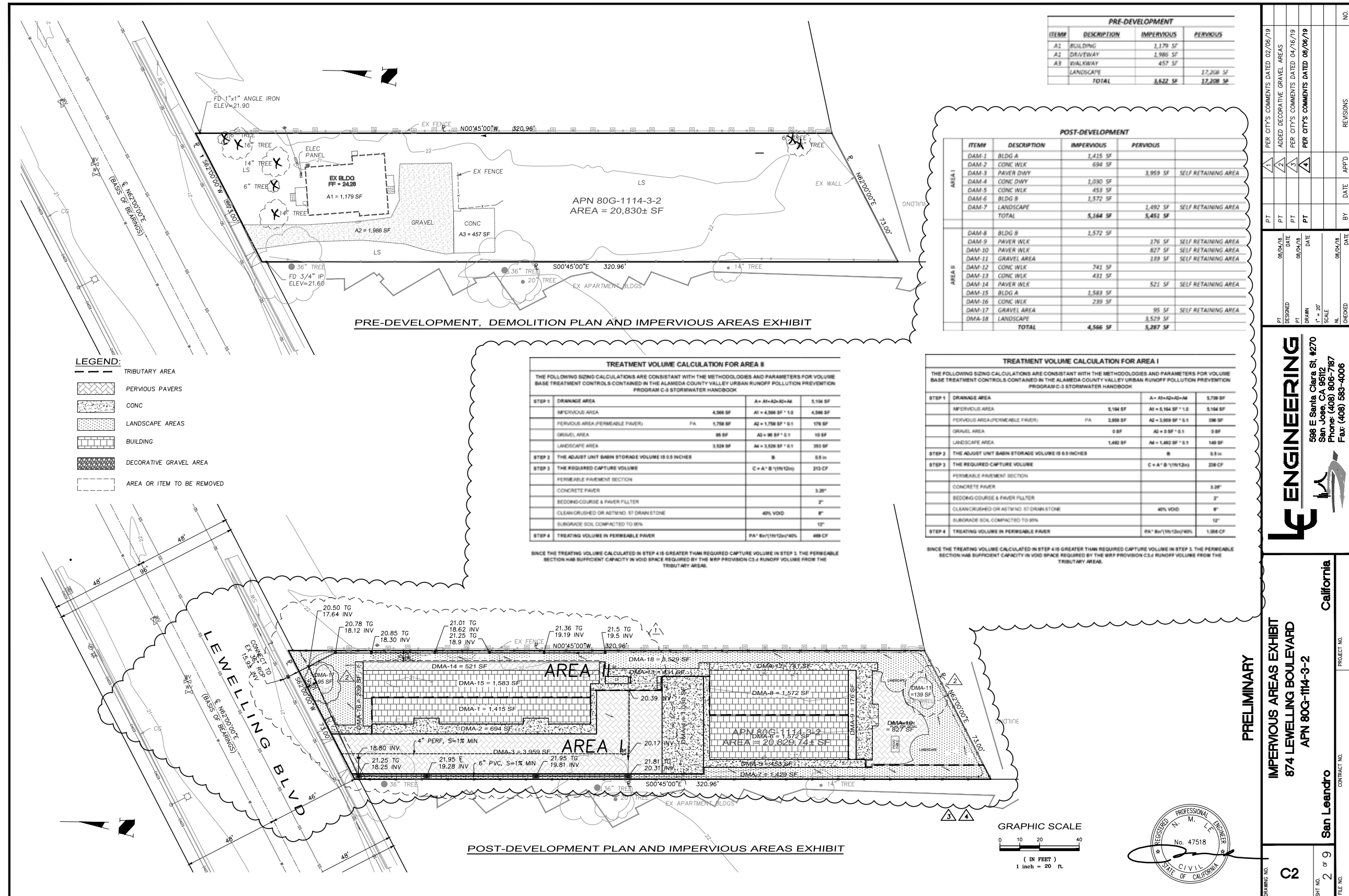
San Leandro

PROJECT NO. _____
 CONTRACT NO. _____

DRAWING NO. _____
 SHEET NO. 1 OF 9
 FILE NO. _____

APPLICANT : _____ ROAD NAME : LEWELLING BOULEVARD FILE NO : PLN17-0069

EXHIBIT O - IMPERVIOUS AREAS



APPLICANT :

ROAD NAME : LEWELLING BOULEVARD

FILE NO : PLN17-0069

ENGINEERING
596 E Santa Clara St. #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

San Leandro
874 LEWELLING BOULEVARD
APN 80G-1114-3-2

PRELIMINARY
IMPERVIOUS AREAS EXHIBIT

PER CITY'S COMMENTS DATED 02/06/19
ADDED DECORATIVE GRAVEL AREAS

PER CITY'S COMMENTS DATED 04/16/19

PER CITY'S COMMENTS DATED 08/06/19

DESIGNED: [Signature]
DRAWN: [Signature]
CHECKED: [Signature]
DATE: 08/04/19

DATE: 08/04/19

DATE: 08/04/19

DATE: 08/04/19

NO. 2 OF 9

FILE NO.

CONTRACT NO.

PROJECT NO.

REVISIONS

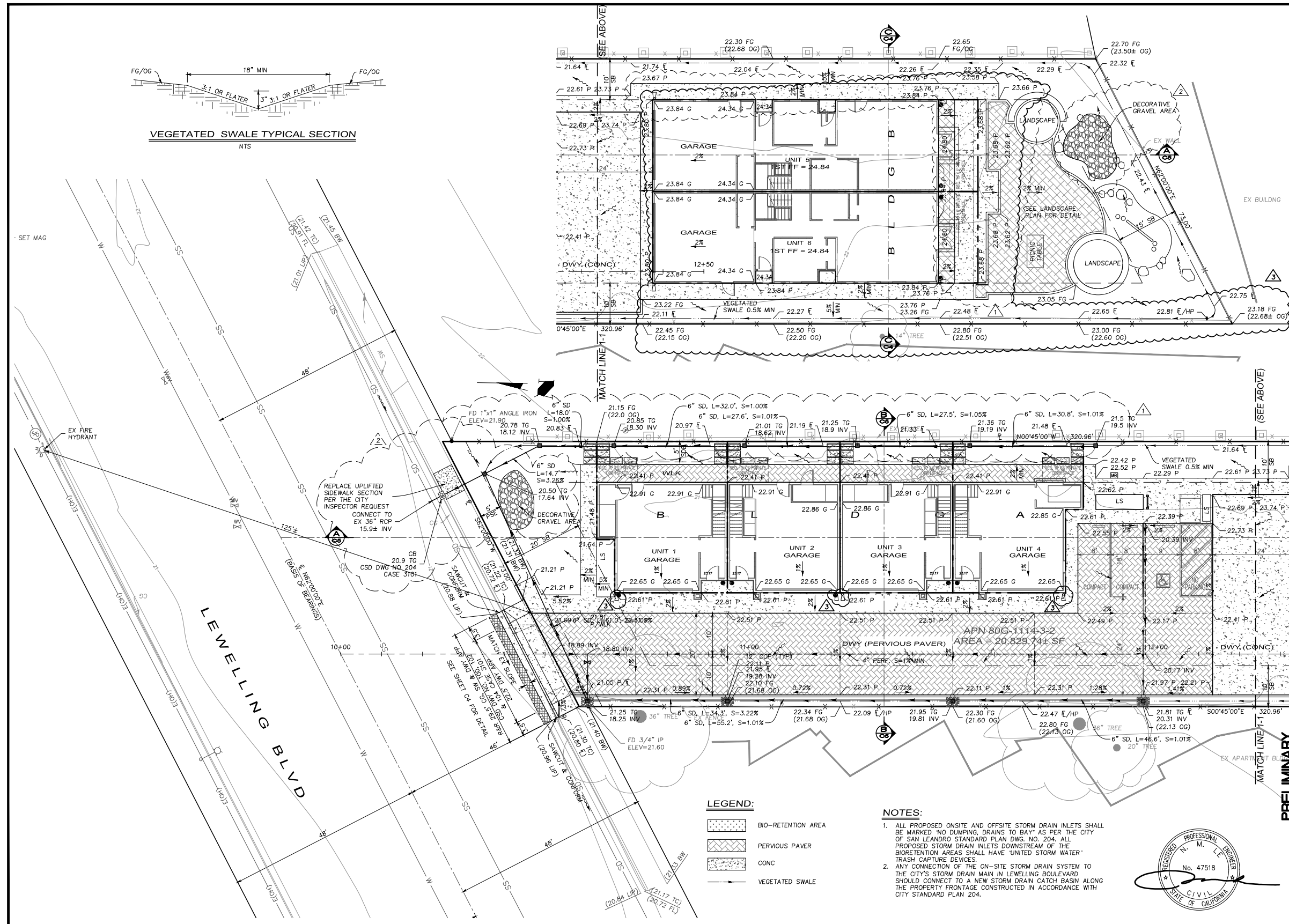
DATE

BY

APPD

NO.

EXHIBIT P.1 - GRADING AND DRAINAGE - SITE



VEGETATED SWALE TYPICAL SECTION
NTS

- LEGEND:**
- BIO-RETENTION AREA
 - PERVIOUS PAVER
 - CONC
 - VEGETATED SWALE

- NOTES:**
1. ALL PROPOSED ONSITE AND OFFSITE STORM DRAIN INLETS SHALL BE MARKED "NO DUMPING, DRAINS TO BAY" AS PER THE CITY OF SAN LEANDRO STANDARD PLAN DWG. NO. 204. ALL PROPOSED STORM DRAIN INLETS DOWNSTREAM OF THE BIORETENTION AREAS SHALL HAVE "UNITED STORM WATER" TRASH CAPTURE DEVICES.
 2. ANY CONNECTION OF THE ON-SITE STORM DRAIN SYSTEM TO THE CITY'S STORM DRAIN MAIN IN LEWELLING BOULEVARD SHOULD CONNECT TO A NEW STORM DRAIN CATCH BASIN ALONG THE PROPERTY FRONTAGE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD PLAN 204.



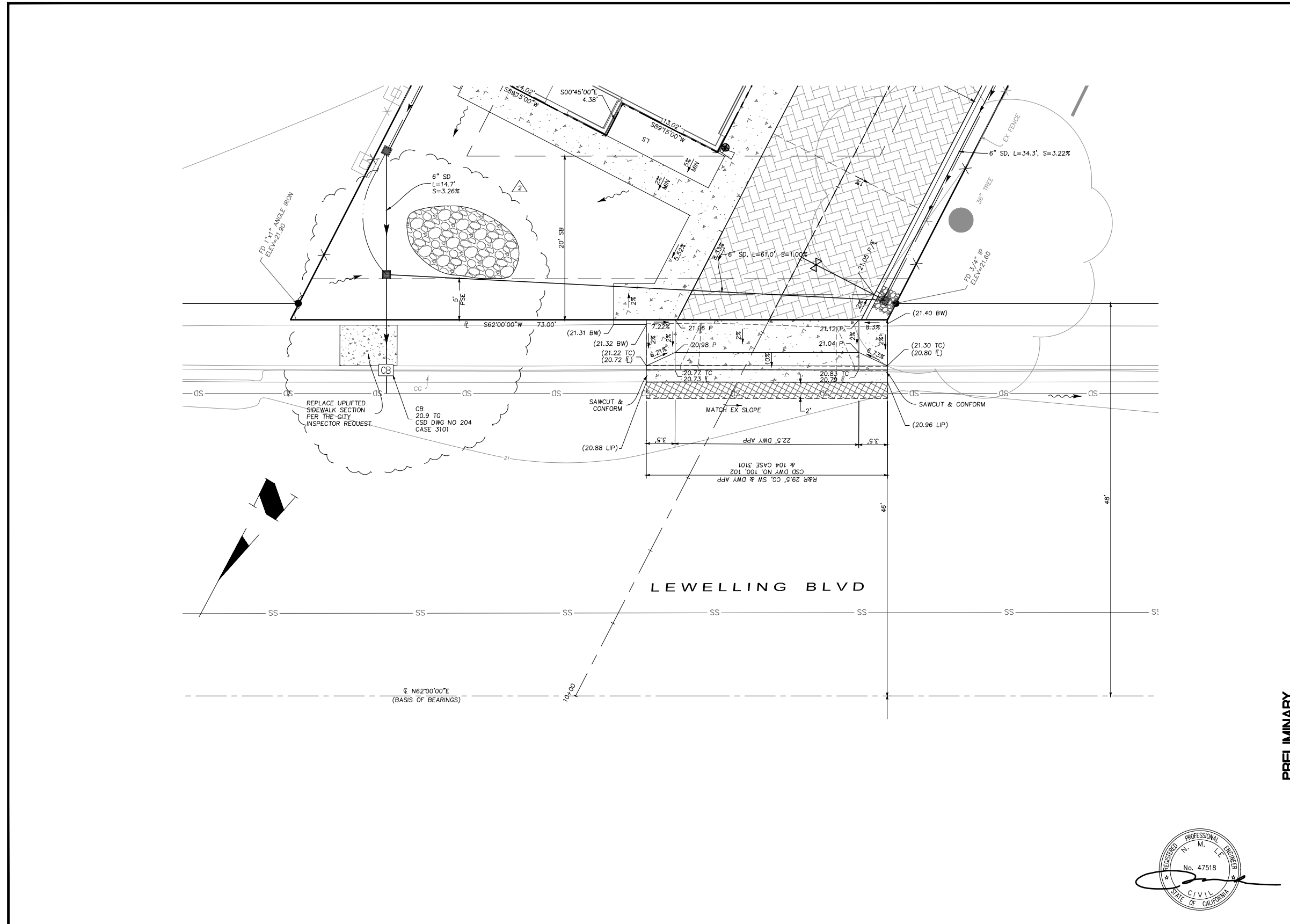
<p>ENGINEERING 598 E Santa Clara St. #270 San Jose, CA 95128 Phone: (408) 806-7887 Fax: (408) 583-4006</p>	
<p>GRADING AND DRAINAGE PLAN 874 LEWELLING BOULEVARD APN 80G-1114-3-2</p>	<p>California PROJECT NO. San Leandro CONTRACT NO.</p>
<p>DATE DESIGNED: 08/05/18 DATE DRAWN: 09/05/18 SCALE: 1" = 10' CHECKED: [Signature]</p>	<p>DATE: 02/08/19 DATE: 04/16/19 DATE: 08/04/18</p>
<p>PT: [] PT: [] PT: []</p>	<p>BY: [] DATE: [] DATE: [] DATE: []</p>
<p>PER CITY'S COMMENTS DATED 02/08/19 1. [] 2. [] 3. []</p>	<p>REVISIONS NO. []</p>

APPLICANT :

ROAD NAME : LEWELLING BOULEVARD

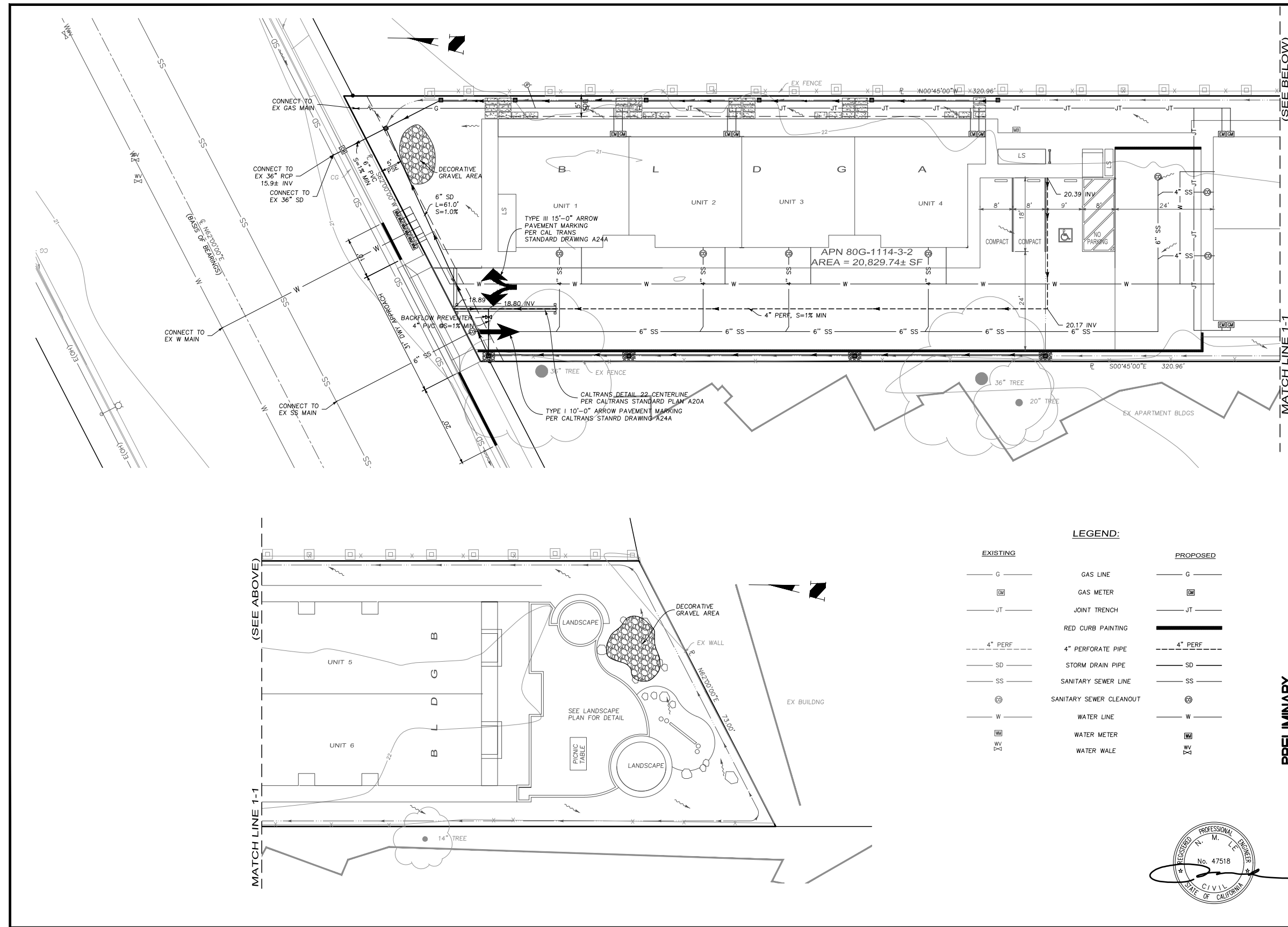
FILE NO : PLN17-0069

EXHIBIT P.2 - GRADING AND DRAINAGE - ROW CURB



DRAWING NO. C4	SHEET NO. 4 of 9	FILE NO.	PROJECT NO. San Leandro	CONTRACT NO.	PROJECT NO. California	ENGINEERING 598 E Santa Clara St. #270 San Jose, CA 95122 Phone: (408) 806-7887 Fax: (408) 563-4006	DESIGNED PT	DATE 08/05/18	DATE 08/05/18	NO.	
							DRAWN PT	DATE 09/05/18	DATE 09/05/18	NO.	
PRELIMINARY GRADING AND DRAINAGE PLAN 874 LEWELLING BOULEVARD APN 80G-1114-3-2							ADDED DECORATIVE GRAVEL AREAS	2	BY	DATE	REVISIONS

EXHIBIT R - UTILITY AND STRIPING PLAN



DESIGNED	DATE	08/04/18
DRAWN	DATE	08/04/18
CHECKED	DATE	08/04/18
SCALE	DATE	1" = 10'

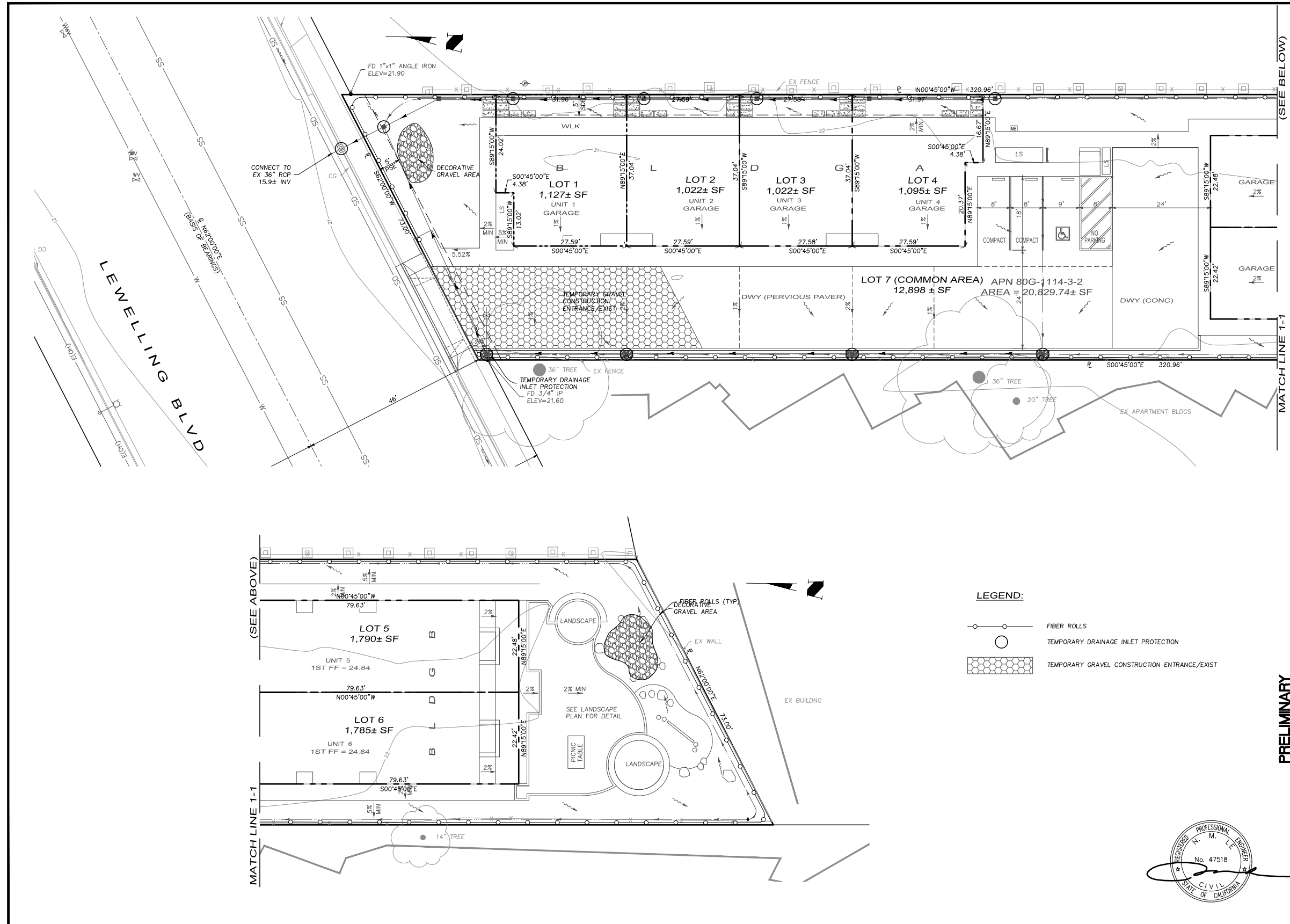
ENGINEERING
 598 E Santa Clara St, #270
 San Jose, CA 95112
 Phone: (408) 806-7187
 Fax: (408) 583-4006

PRELIMINARY
 UTILITY AND STRIPING PLAN
 874 LEWELLING BOULEVARD
 APN 80G-1114-3-2
 California
 San Leandro
 PROJECT NO. CONTRACT NO.

DRAWING NO. **06**
 SHEET NO. **6** OF **9**
 FILE NO.

APPLICANT : ROAD NAME : LEWELLING BOULEVARD FILE NO : PLN17-0069

EXHIBIT S - EROSION CONTROL PLAN



DRAWING NO. C7	SHEET NO. 7 of 9	FILE NO. PLN17-0069	PROJECT NO. San Leandro	CONTRACT NO. California	PRELIMINARY EROSION CONTROL PLAN 874 LEWELLING BOULEVARD APN 80G-1114-3-2	ENGINEERING 598 E Santa Clara St. #270 San Jose, CA 95128 Phone: (408) 806-7887 Fax: (408) 583-4006	DESIGNED DATE: 08/05/18	DRAWN DATE: 09/05/18	CHECKED DATE: 08/05/18	REVISIONS NO.
							BY	DATE	APP'D	NO.

APPLICANT :

ROAD NAME : LEWELLING BOULEVARD

FILE NO : PLN17-0069

EXHIBIT U - LANDSCAPE PLAN



BALANCE BUTTON LOOP



BALANCE BEAM



FLAT STEP STONE BOULDER

GENERAL NOTES

- 1) See architectural plans for concrete walls and driveway material.
- 2) Fences to be Belgard Lullax Green Stone set on sand and base rock.
- 3) See civil plans for retention area details. Place combination of 1'-2" and 4'-0" cubes and use of your "Seams" technique to border retention areas as shown.
- 4) Surfaces and play area to be Fiber or equal, wheelchair accessible surfaces. See civil plan for drainage measures below Fiber material. Install wood fabric and 1/2" thick layer of Fiber StrataSoft play area. Play area to be raised with 4" pressure treated lumber, or equal.
- 5) Lumber fabric holders at play area to be Chief Cliff with a row of 1" spacer for stepping on and sitting.
- 6) Seat wall and raised planter to be faced with stone and capped with Connecticut Phosphate fill rezeal. Tapered edge cap.



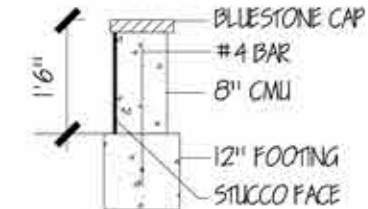
RAISED PLANTER/ SEAT WALL



3'-0" FENCE - PRESSURE TREATED WOOD - WHITE PAINT
6'-0" FENCE - PRESSURE TREATED WOOD - TRANSPARENT STAIN FINISH



BELGARD PAVER



SEAT/PLANTER WALL

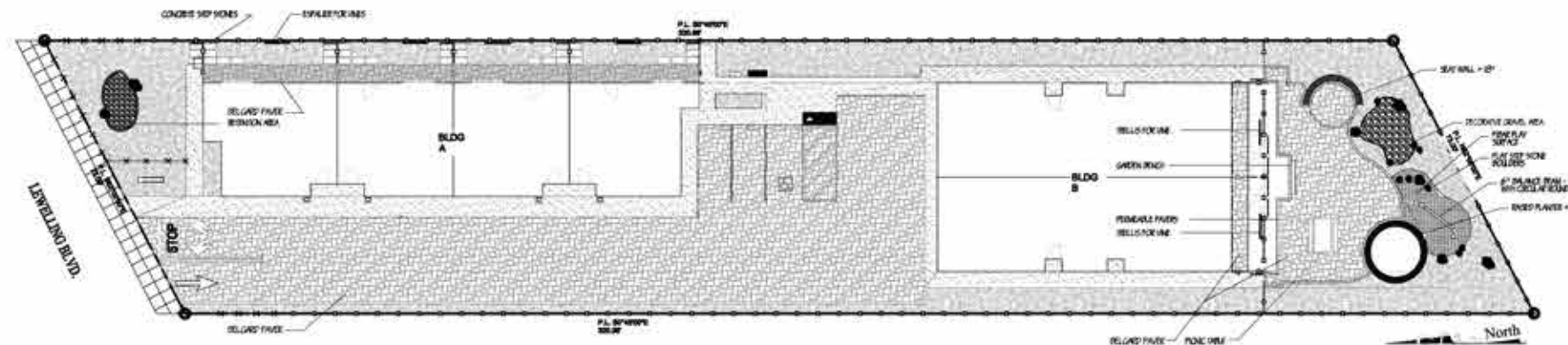


FIBER PLAY SURFACE



LEGEND

- CONCRETE
- BELGARD PAVER
- FIBER
- DECORATIVE GRAVEL/ STORMWATER TREATMENT
- PLANTING/ EARTH



OVERALL SITE PLAN

1/16" = 1'-0"

W. Jeffrey Heid
Landscape Architect
C-2295

6179 Orinda Drive
San Jose, California 95129

tel: 408 691-5207
fax: 408 226-6089
email: wjheid@comcast.net

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REVISED 7/30/18
REVISED 8/6/18
REVISED 12/22/18
REVISED 5/10/19



LEWELLING
CONDOMINIUMS

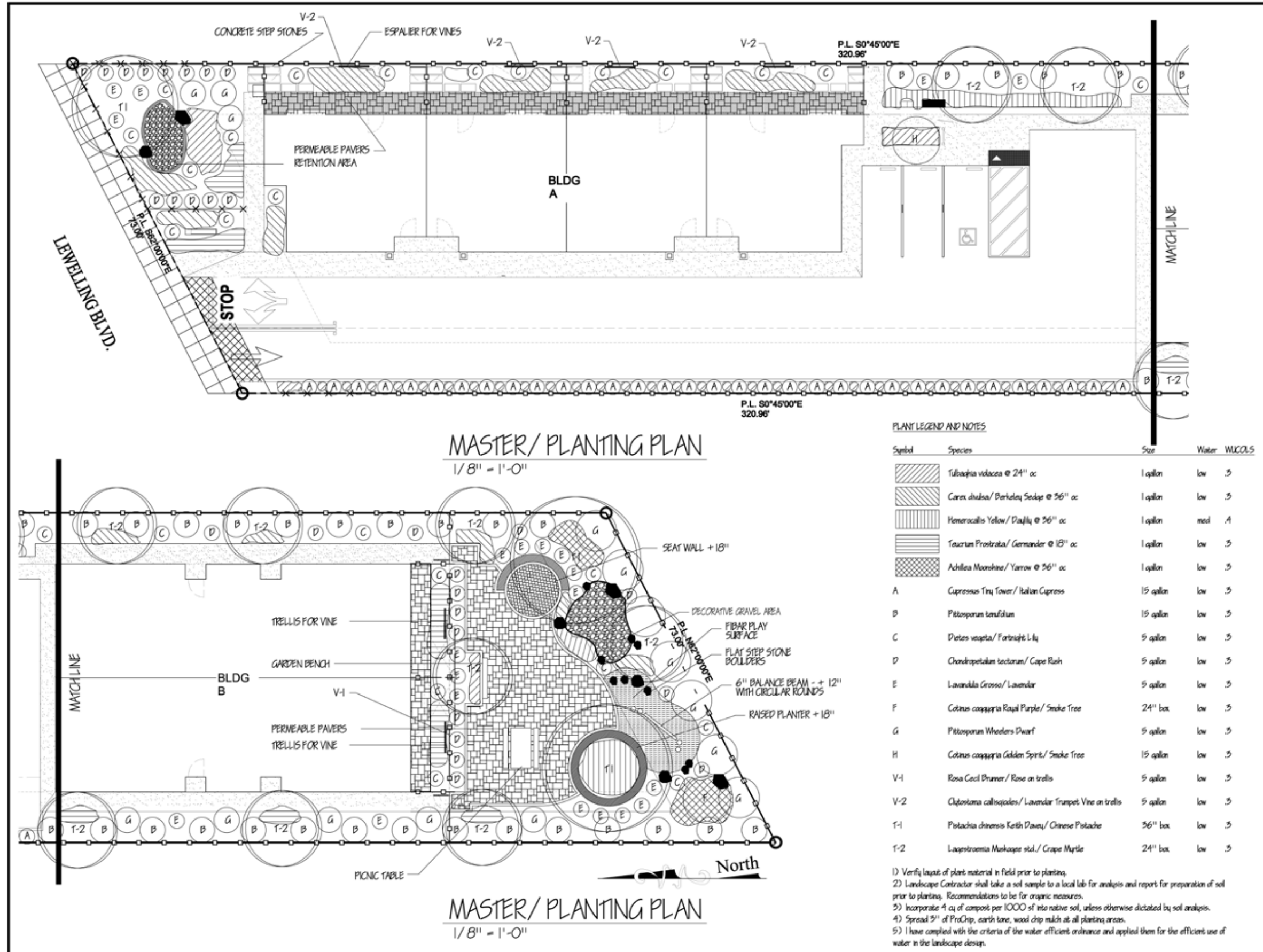
for:
BAY HOME INVESTMENTS
AND LOANS, INC.
874 LEWELLING BLVD.
SAN LEANDRO, CA 94579

OVERALL SITE PLAN

date: 7/19/18
scale: NOTED
drawn by: WJH
job no. 21837
sheet

1
of 5 sheets

EXHIBIT V.1 - PLANTING



W. Jeffrey Held
Landscape Architect
C-2295

6179 Oneda Drive
San Jose, California 95125
tel 408 691-9207
fax 408 226-6089
email wheld@comcast.net

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REVISED 7/30/18
REVISED 8/6/18
REVISED 12/22/18
REVISED 5/10/19



LEWELLING
CONDOMINIUMS

for:
BAY HOME INVESTMENTS
AND LOANS, INC.
874 LEWELLING BLVD.
SAN LEANDRO, CA 94579

MASTER PLANTING
PLAN

date: 7/19/18

scale: NOTED

drawn by: WJH

job no. 21837

sheet

L 2
of 5 shts

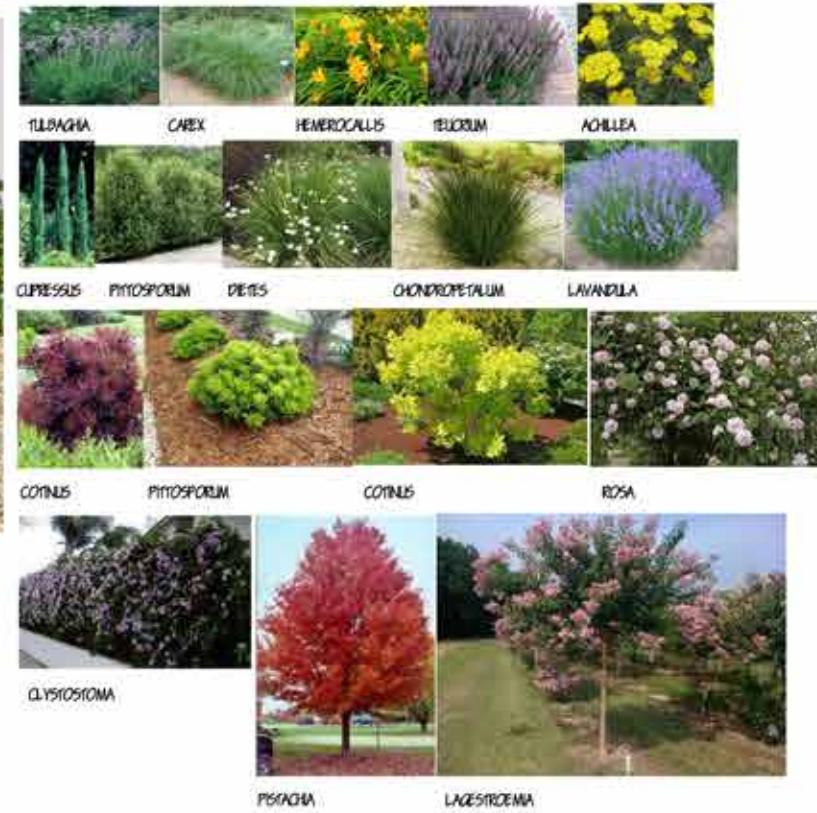
EXHIBIT V.2 - PHOTOS AND DETAILS



REAR VIEW / DECORATIVE GRAVEL



STORMWATER TREATMENT / DECORATIVE GRAVEL



W. Jeffrey Held
Landscape Architect
C-2235
6179 Orinda Drive
San Jose, California 95129
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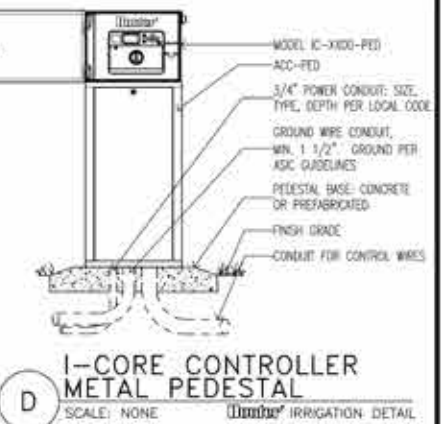
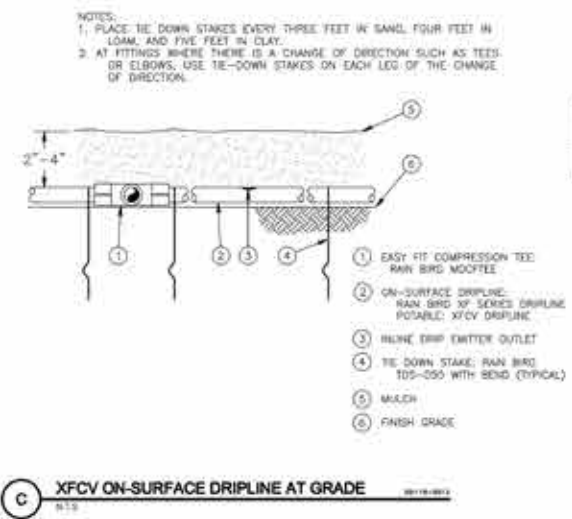
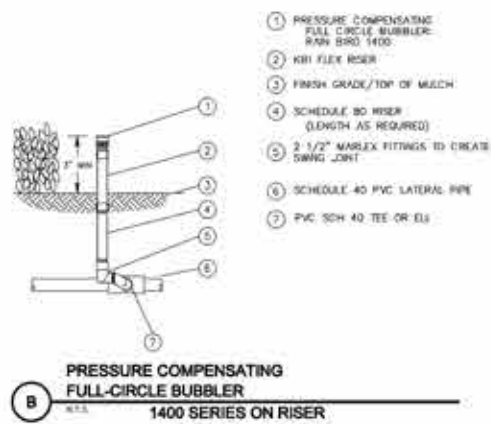
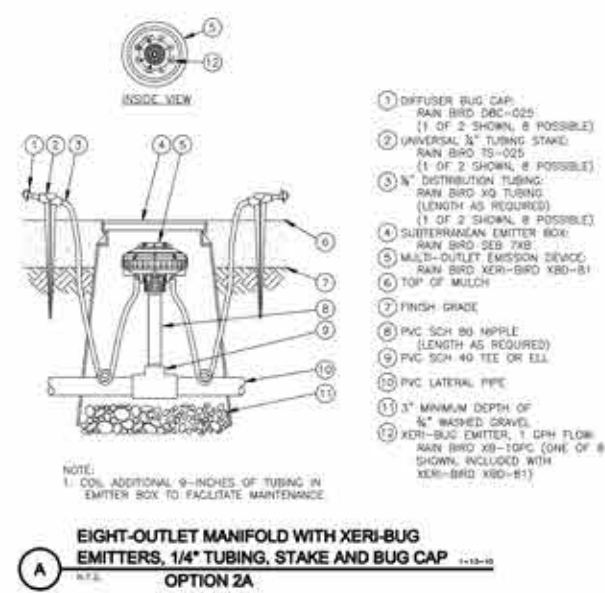
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REVISED 8/6/18
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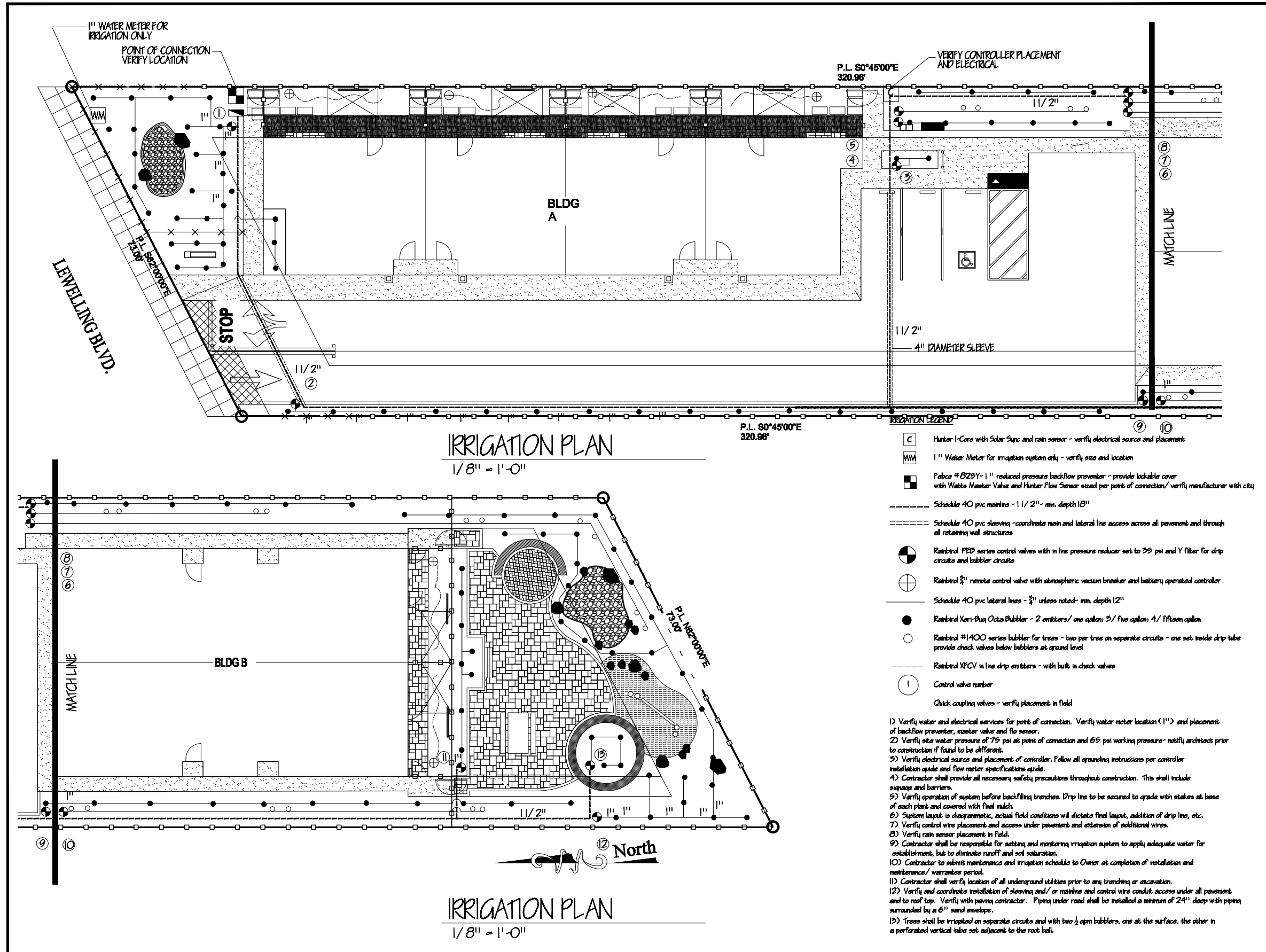
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SAN LEANDRO, CA 94579

PHOTOS AND DETAILS



date: 7/30/18
scale: NOTED
drawn by: WJH
job no. 21837
sheet
L5
of 5 shts.

EXHIBIT X - IRRIGATION PLAN



W. Jeffrey Heid
Landscape Architect
C-2255

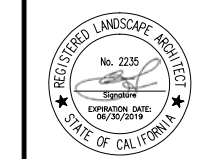
6179 Oneida Drive
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REVISED 8/6/18
REVISED 12/22/18
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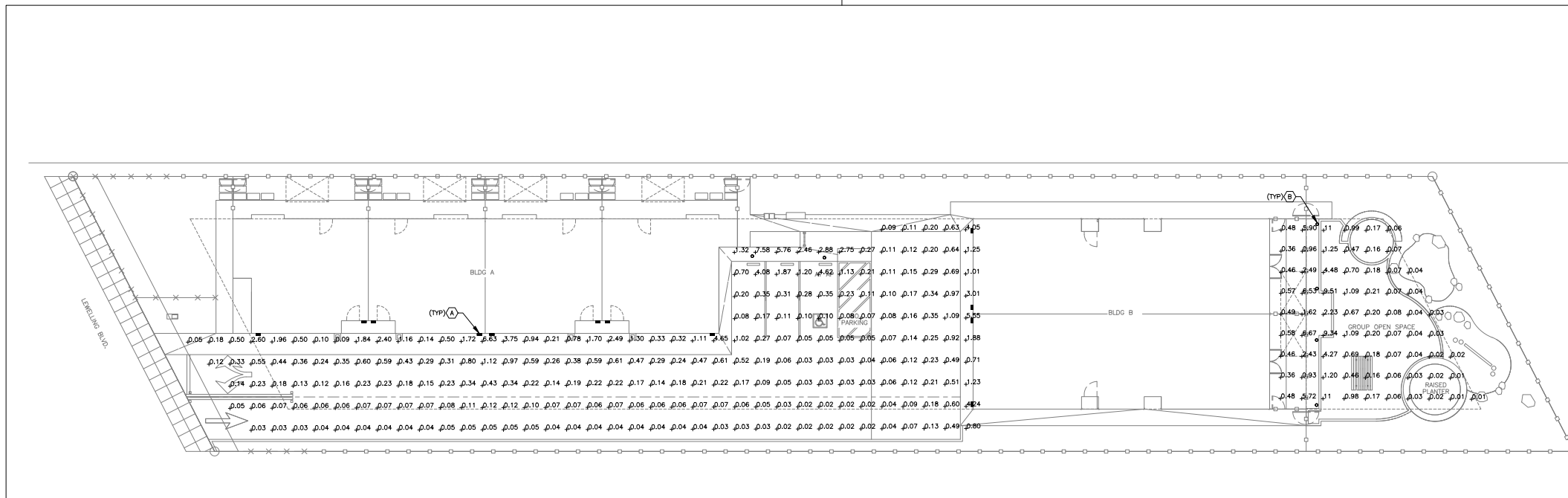
IRRIGATION PLAN

date: 7/30/18
scale: NOTED
drawn by: WJH
job no. 21837
sheet
L 4
of 5 shts

- IRRIGATION LEGEND**
- C Hunter I-Core with Solar Sync and rain sensor - verify electrical source and placement
 - WM 1" Water Meter for irrigation system only - verify size and location
 - Backflow preventer symbol - Febco #B25Y-1 1" reduced pressure backflow preventer - provide lockable cover with Watts Master Valve and Hunter Flow Sensor sized per point of connection/ verify manufacturer with city
 - Schedule 40 pvc mainline - 1 1/2" - min. depth 18"
 - Schedule 40 pvc sleeve - coordinate main and lateral line access across all pavement and through all retaining wall structures
 - Control valve symbol - Rainbird PEP series control valves with in line pressure reducer set to 35 psi and Y filter for drip circuits and bubbler circuits
 - Remote control valve symbol - Rainbird 3/4" remote control valve with atmospheric vacuum breaker and battery operated controller
 - Schedule 40 pvc lateral lines - 3/4" unless noted- min. depth 12"
 - Emitter symbol - Rainbird Vert-Bug Oeba Bubbler - 2 emitters/ one gallon: 3/ five gallon: 4/ fifteen gallon
 - Bubbler symbol - Rainbird #1400 series bubbler for trees - two per tree on separate circuits - one set inside drip tube provide check valves below bubblers at ground level
 - Rainbird XFCV in line drip emitters - with built in check valves
 - Control valve number symbol - Control valve number
 - Quick coupling valves - verify placement in field

- 1) Verify water and electrical services for point of connection. Verify water meter location (1") and placement of backflow preventer, master valve and flo sensor.
- 2) Verify site water pressure of 75 psi at point of connection and 65 psi working pressure- notify architect prior to construction if found to be different.
- 3) Verify electrical source and placement of controller. Follow all grounding instructions per controller installation guide and flow meter specifications guide.
- 4) Contractor shall provide all necessary safety precautions throughout construction. This shall include signage and barriers.
- 5) Verify operation of system before backfilling trenches. Drip line to be secured to grade with stakes at base of each plant and covered with final mulch.
- 6) System layout is diagrammatic, actual field conditions will dictate final layout, addition of drip lines, etc.
- 7) Verify control wire placement and access under pavement and extension of additional wires.
- 8) Verify rain sensor placement in field.
- 9) Contractor shall be responsible for setting and monitoring irrigation system to apply adequate water for establishment, but to eliminate runoff and soil saturation.
- 10) Contractor to submit maintenance and irrigation schedule to Owner at completion of installation and maintenance/ warranty period.
- 11) Contractor shall verify location of all underground utilities prior to any trenching or excavation.
- 12) Verify and coordinate installation of sleeve and/ or mainline and control wire conduit access under all pavement and to roof top. Verify with paving contractor. Piping under road shall be installed a minimum of 24" deep with piping surrounded by a 6" sand envelope.
- 13) Trees shall be irrigated on separate circuits and with two 1/2 gpm bubblers, one at the surface, the other in a perforated vertical tube set adjacent to the root ball.

EXHIBIT Y - LIGHTING PLAN



1 SITE PHOTOMETRIC PLAN (1/2/20) SCALE: 3/32"=1'-0"

GENERAL NOTES:

- MR ENGINEERING, INC. DISCLAIMER: CALCULATIONS ARE PERFORMED USING INDUSTRY-RECOGNIZED SOFTWARE, AND ARE PROVIDED FOR ESTIMATION PURPOSES ONLY. INPUT DATA FOR THE CALCULATIONS CORRESPONDS TO THE INFORMATION PROVIDED TO US (ASSUMPTIONS MAY BE MADE FOR INFORMATION THAT IS NOT PROVIDED). IT IS THE RESPONSIBILITY OF THOSE USING THIS SERVICE TO VERIFY THAT OUR INPUT DATA IS CONSISTENT WITH EXPECTED FIELD CONDITIONS. RESULTS OF THE LIGHTING CALCULATIONS ACCURATELY REFLECT THE INPUT DATA. HOWEVER, ACTUAL LIGHTING LEVELS WILL VARY DEPENDING ON FIELD CONDITIONS SUCH AS ROOM CHARACTERISTICS, TEMPERATURE, VOLTAGE, AND LAMP/BALLAST OUTPUT AND OTHER FACTORS. CALCULATIONS ARE ALSO SUBJECT TO THE LIMITATIONS OF THE SOFTWARE. DUE TO THE ABOVE CONSIDERATIONS, MR ENGINEERING, INC. CANNOT GUARANTEE THAT ACTUAL LIGHT LEVELS MEASURED IN THE FIELD WILL MATCH OUR INITIAL CALCULATIONS.
- PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP, RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL AND SITE CHARACTERISTICS.

SHEET NOTES:

- PHOTOMETRIC DATA SHOWN HAS BEEN CALCULATED BY INDUSTRY RECOGNIZED SOFTWARE USING A DIGITAL MODEL OF THE PROJECT AREA. DATA IS THEORETICAL ONLY AND DOES NOT REPRESENT ANY GUARANTEE OF RESULTING LIGHT LEVELS IN THE FIELD.
- DIGITAL MODEL USES CONSERVATIVE AND INDUSTRY STANDARD VALUES FOR INTERIOR AND EXTERIOR MATERIALS, FINISHES, COLORS, REFLECTANCE VALUES AND TRANSMITTANCE VALUES. INSTALLED MATERIALS WITH DARK COLORS OR LOW REFLECTANCE VALUES WILL TYPICALLY ADVERSELY AFFECT THE RESULTING ILLUMINANCE VALUES.
- ILLUMINANCE VALUES SHOWN REPRESENT HORIZONTAL ILLUMINANCE EXPRESSED IN FOOT-CANDELS (FC).
- ILLUMINANCE VALUES SHOWN REPRESENT THE ILLUMINANCE RECEIVED FROM THE PROJECT ELECTRIC LIGHTING ONLY WITH NO DAYLIGHT OR OTHER AMBIENT LIGHT CONTRIBUTION.

CALCULATION SURFACE LIST							
DESIGNATION	CALC TYPE	UNITS	E _{av} (FC)	E _{max} (FC)	E _{min} (FC)	E _{ave} / E _{min}	E _{max} / E _{min}
BUILDING A PERIMETER	ILLUMINANCE	Fc	0.58	7.58	0.02	29	379
BUILDING B PERIMETER	ILLUMINANCE	Fc	1.19	9.08	0.01	119	909

EXTERIOR LIGHTING FIXTURE SCHEDULE						
FIXTURE TYPE	DESCRIPTION	MANUFACTURER'S CATALOG NO	LAMPS	VOLT	WATTS	MOUNTING
ⓐ	LED WALL SCIENCE LUMINAIRE MOUNTING HEIGHT : 8 FEET	MODERN FORMS BALTHUS LED WALL SCIENCE OR APPROVED EQUAL	LED	120	10	WALL MOUNTED
ⓑ	LED BOLLARD LIGHT	VISIONAIRE LIGHTING OWK-2-PR-8R36-20LC-4K-UNV OR APPROVED EQUAL	LED	120	34	SURFACE MOUNTED

Balthus LED Indoor/Outdoor Wall Sconce
By Modern Forms

Product Options
Finish: Granite, Oil Rubbed Bronze, Black, Blue Smoky, Medium, Large
Voltage: 120 Volt

Details

- Slim to 1/2" with an electronic, low voltage (ELV) driver
- 80,000 hour rated life
- No transformer or driver required
- Mounts directly to junction box
- Designed in 2015
- Material: Aluminum
- Shade Material: Clear Mouth Blown Rippled Glass
- Dimensions when used with Electronic low voltage (ELV) driver dimensions included
- Diameter Range: 1 1/8"
- Deck Size: 2 1/2" x 2 1/2" x 2 1/2"
- ETL Listed Item
- Warranty: 2 Years Functional, 2 Years Finish
- Made in China

Dimensions
120 Volt Option Fixture: Width 9", Height 13.25", 16.5", 21", Depth 1.5", 4.5", 15.5"

Lighting

- Small Option: 30 Watt (400 Lumens) 120 Volt Integrated LED: CR: 90 Color Temp: 3000K (Lifespan: 80,000 hours)
- Medium Option: 30 Watt (800 Lumens) 120 Volt Integrated LED: CR: 90 Color Temp: 3000K (Lifespan: 80,000 hours)
- Large Option: 30 Watt (1475 Lumens) 120 Volt Integrated LED: CR: 90 Color Temp: 3000K (Lifespan: 80,000 hours)

Additional Details
Product URL: <https://www.lumens.com/balthus-led-indoor-outdoor-all-accessories-by-modern-forms-MFMP0982.html>
Rating: ETL Listed Item

Product ID: MFMP0982

Prepared by: _____
Prepared for: _____
Project: _____
Room: _____
Floor: _____
Approval: _____

Created September 13th, 2019

Shown in Oil Rubbed Bronze finish, Small size

OCEANWALK ROUND Bollard LED Specifications

Ordering Information

MODEL	OPTICS	SIZE	SOURCE	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS
OWK-2	PR	8R36	20LC	3	4K	UNV	AB	BK	SLS
OWK-1	PR	8R36	20LC	3	4K	UNV	AB	BK	SLS
OWK-2	PR	8R36	20LC	3	4K	UNV	AB	BK	SLS
OWK-2	PR	8R36	20LC	3	4K	UNV	AB	BK	SLS

Dimensions

OWK-1
Width: 3.88" x 3.88"
Height: 3.88" x 3.88"
Weight: 3.88" x 3.88"

OWK-2
Width: 3.88" x 3.88"
Height: 3.88" x 3.88"
Weight: 3.88" x 3.88"

Request Name: _____
Catalog Number: _____
Type: _____

2 LIGHT FIXTURE SPECS NOT TO SCALE

MR ENGINEERING CONSULTANTS INC.
10000 Wilshire Blvd, Suite 1000
Beverly Hills, CA 90210
Tel: 310.207.0000
Fax: 310.207.0001
www.mrengineering.com

ARCHITECTS
7700 Wilshire Blvd, Suite 1000
Beverly Hills, CA 90210
Tel: 310.207.0000
Fax: 310.207.0001
www.architects.com

Lewelling Condominiums
874 Lewelling Boulevard
San Leandro, CA 94579

Project Schedule
Revision

No.	Date	Description

SITE PHOTOMETRIC PLAN
E1.0
SCALE As Indicated
12/02/2018 3:43:17 PM

EXHIBIT Z - SIDEWALK REPAIR EXHIBIT

