

EXHIBIT A - COVER SHEET

PROJECT INTENT	
THE INTENT OF THE PROJECT IS TO CONSTRUCT A SUSTAINABLE DEVELOPMENT IN ACCORDANCE WITH THE CITY OF SAN LEANDRO. THE PROJECT PROPOSES A FULL DEMOLITION OF THE EXISTING STRUCTURE, AND A PLANNED DEVELOPMENT OF 6 NEW SINGLE-FAMILY CONDOMINIUMS TO COMPLY WITH REQUIRED CODES AND REGULATIONS.	
PROJECT SCOPE	
<ol style="list-style-type: none"> 1. APPLY FOR A PLANNED DEVELOPMENT PROJECT 2. PROPOSE TO CHANGE ZONING FROM RS TO RM-3000 3. DEMOLISH EXISTING BUILDING 4. PROPOSE 2 BUILDINGS 5. BLDG A 4 DWELLING UNITS, BLDG B 2 DWELLING UNITS 6. PROPOSE OFF-STREET PARKING 7. PROPOSE COMMON OPEN SPACE 8. PROPOSE HARDSCAPE TO BE OF PERMEABLE PAVERS 	
OWNER / CONSULTANT INDEX	
OWNER:	BAY HOME INVESTMENTS & LOANS, INC. 1731 HESPERIAN BLVD. SAN LEANDRO, CA 94580 (C) 510-364-1179 (W) 925-889-8863 BROKER@HUNAG@ATT.NET
ARCHITECT / APPLICANT:	GKW ARCHITECTS, INC. GORDON KWONG ARCHITECT AIA, LEED GA 710 E. MCCLAINCY LANE, SUITE 109, CAMPBELL, CA 95008 (408) 315-2125 GORDONKWONG@GKWARCHITECTS.COM
STRUCTURAL ENGINEER:	BETTA GROUP, INC. / STRUCTURAL ENGINEERING CO. 2055 LINCOLN AVENUE, SUITE A, SAN JOSE, CA 95125 408-267-7190 ASHUR@BETTA-GROUP.COM
CIVIL ENGINEER:	LC ENGINEERING / INH L.E. PE, QESD 598 E. SANTA CLARA ST. STE. 270, SAN JOSE, CA 95112 408-506-7187 LLE@LCENGINEERING.NET
LANDSCAPE ARCHITECT:	JEFFREY HEID, LANDSCAPE ARCHITECT 6179 ONEDA DRIVE, SAN JOSE, CA 95123 WHEIDASLA@GMAIL.COM
TITLE 24 ENERGY CONSULTANT:	CARSTAIRS ENERGY TIMOTHY CARSTAIRS, CEA, HERS, GPR P.O. BOX 4736 SAN LUIS OBISPO, CA 94903 805-904-8048 TITLE24@YAHOO.COM WWW.CARSTAIRSENERGYCALCS.COM
PROJECT CONTACT INDEX	
CITY OF SAN LEANDRO, BUILDING	PERMIT CENTER 835 EAST 14TH STREET, SAN LEANDRO, CA 94577 510-371-3200 CITYCOMMENTS@SANLEANDRO.ORG
WATER & SEWAGE SERVICES	EBMUD - EAST BAY MUNICIPAL UTILITY DISTRICT 375 11TH STREET, OAKLAND, CA 94607 OFFICE 866-403-2683 CUSTOMER SERVICE@EBMUD.COM
PACIFIC GAS & ELECTRIC CO.	UTILITY CO. (HAYWARD) 24300 CLAWITTER ROAD, HAYWARD, CA 94545 800-743-9000
AT&T	800-288-2020 24 HOURS A DAY 800-924-9420 BURIED WIRE CENTER
COMCAST	RESIDENTIAL SERVICE 855-889-9035 CUSTOMER SERVICE 800-266-2278
PROJECT SUMMARY	
CLIENT:	BAY HOME INVESTMENTS & LOANS, INC.
ADDRESS:	874 LEWELLING BLVD., SAN LEANDRO, CA 94579
APN:	80G-1114-3-2
JURISDICTION:	CITY OF SAN LEANDRO, CA
LOT SIZE:	0.48 ACRE (20,829.74 SF)
GENERAL LAND USE:	MEDIUM DENSITY
(E) ZONING:	RESIDENTIAL SINGLE FAMILY (RS)
(P) ZONING:	RESIDENTIAL MULTI-FAMILY DISTRICT (RM-3000)
(P) OCCUPANCY:	R-3
EXISTING USE:	SINGLE FAMILY RESIDENTIAL
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL
TYPE OF CONSTRUCTION:	IBC TYPE V-B, SPRINKLERED
AUTO-SPRINKLER SYSTEM:	130 - SINGLE FAMILY WATER LINE
BUILDING INFORMATION	UNIT & LOT COVERAGE BREAKDOWN
PROPOSED NUMBER OF UNITS:	6 DWELLING UNITS
BUILDING FOOTPRINT:	
BUILDING A	2,888 SF
BUILDING B	3,092 SF
BUILDING TTL	5,980 SF
MAXIMUM LOT COVERAGE:	20,830 SF X 50% = 10,415 SF
PROPOSED LOT COVERAGE:	6,143 SF
	6,143 SF / 20,830 SF = 29%
DENSITY ALLOWED:	14.5 DU/ACRE
PROPOSED UNITS:	6 DU = 14.5 DU X .48 ACRE
PROPOSED UNIT SF TOTAL:	17,776 SF
PROPOSED PARKING COUNT:	12 COVERED + 2 GUEST + 1 ADA = 15
PARKING & CIRCULATION (PERVIOUS AREA)	7,894 SF
TOTAL OPEN SPACE (PERVIOUS AREA)	3,038 SF
BIO-RETENTION AREA:	237 SF
	UNIT BREAKDOWN
	BLDG UNIT # # BEDRMS # BATHRMS TTL SF, GROSS
	A 1 3 3 2,480 SF
	A 2 3 3 2,192 SF
	A 3 3 3 2,192 SF
	A 4 3 3 2,453 SF
	B 5 4 3 2,549 SF
	B 6 4 3 2,549 SF
	TOTAL 14,415 SF
	LOT COVERAGE BREAKDOWN
	BLDG UNIT # LOT AREA BLDG PAD
	A 1 1,127 SF 2,998 SF
	A 2 1,022 SF 2,998 SF
	A 3 1,022 SF 2,998 SF
	A 4 1,095 SF 2,998 SF
	B 5 1,790 SF 3,144 SF
	B 6 1,785 SF 3,144 SF
	TOTAL 7,841 SF 6,142 SF

LEWELLING CONDOMINIUMS

874 LEWELLING BLVD.  SAN LEANDRO, CA 94579



BUILDING INFORMATION MODEL



VICINITY MAP



PUBLIC WORKS & SITE PLAN NOTES

1. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
2. CONTRACTOR SHALL SCRAPE ALL SMOKE OR FIRE DAMAGED MEMBERS CLEAN, ANY FRAMING MEMBERS THAT LOSE MORE THAN 1/16" OF MATERIAL PER SURFACE MUST BE REPLACED OR REPAIRED. SMOKE DAMAGED MEMBERS MUST BE CLEANED AND SEALED.
3. CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER ALAMEDA COUNTY. OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS PER S.J.M.C. SECTION 17.20.540.
4. PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE.
5. ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE UBC, PROVIDED THE ADDITION ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR NEW BUILDING OR STRUCTURE PER IBC SECTION 903.2.
6. ALL PROPOSED ONSITE AND OFFSITE STORM DRAIN INLETS SHALL BE MARKED "NO DUMPING, DRAINS TO BAY" AS PER THE CITY OF SAN LEANDRO STANDARD PLAN DWG. NO. 294. ALL PROPOSED STORM DRAIN INLETS DOWNSTREAM OF THE BIORETENTION AREAS SHALL HAVE UNIFIED STORM WATER TRASH CAPTURE DEVICES.

APPLICABLE CODES


- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA HISTORICAL BUILDING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA GREEN BUILDING CODE
- 2016 INTERNATIONAL BUILDING CODE
- SAN LEANDRO MUNICIPAL CODE
- ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS

SHEET INDEX

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T1	Boundary Survey and Topographic Map
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A100	Building A, 1st & 2nd Level Floor Plans
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A200	Elevations Proposed, Bldg A
A201	Elevation Proposed, Bldg B
A300	Cross Sections, Bldg A
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A400	Architectural Details
A500	Material Board
E1.1	Electrical Site Plan

SITE PLAN NOTES


1. CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES.
2. CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID.



REGISTERED ARCHITECT
STATE OF CALIFORNIA
C-24605

PROJ. SFT. REGISTRATION NO. 141, LEED GA
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GK ARCHITECTS
ARCHITECTS
INTERNATIONAL

Lewelling Condominiums
874 Lewelling Boulevard
San Leandro, CA 94579

Project Schedule Revision

No.	Date	Description
1	2018.08.08	Planning
2	2019.01.07	Planning
3	2019.03.25	Planning
4	2019.07.11	Planning
5	2019.08.19	Pre/Programming


Cover Sheet & Project Summary

G000

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EXHIBIT B - PROJECT NOTES


GENERAL NOTES	PROJECT REPORTS / STUDY(S) / ASSESSMENT / OUT REACH	ABBREVIATIONS
<p>1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.</p> <p>2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.</p> <p>3. THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.</p> <p>4. NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.</p> <p>5. THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.</p> <p>6. ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>7. CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.</p> <p>8. ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.</p> <p>9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.</p> <p>10. ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.</p> <p>11. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.</p> <p>12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.</p> <p>13. ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND/ OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.</p> <p>14. OWNERSHIP OF DRAWINGS: THESE DRAWINGS ARE THE PROPERTY OF GKW ARCHITECTS, INC. - GORDON WONG, ARCHITECT, THE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.</p> <p>15. LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.</p>	<p>• NOISE STUDY - PROJECT SHALL COMPLY WITH A NOISE STATEMENT OR STUDY PREPARED BY A QUALIFIED PROFESSIONAL THAT ADDRESSES THE NECESSARY MEASURES TO LOWER DECIBEL LEVELS TO RESIDENTIAL CITY STANDARDS AND WILL BE PUT INTO PLACE TO MITIGATE FOR THE NOISE FROM ADJACENT LEWELLING BLVD AND INTERSTATE 880.</p> <p>• GEOTECHNICAL REPORT (ENG) - PROJECT SHALL SUBMIT FINAL GEOTECHNICAL REPORT FOR CITY REVIEW.</p> <p>• MUNICIPAL REGIONAL STORMWATER PERMIT PROVISIONS (ENG) - PER PROVISION C.3.b OF THE SAN FRANCISCO BAY REGION MUNICIPAL REGIONAL STORMWATER NPDES PERMIT (RDER NO. R-2015-0049, NPDES PERMIT NO. CAS612008, ADOPTED 11/9/2015). REGULATED PROJECTS SHALL PROVIDE THE FOLLOWING DOCUMENTATION AS PART OF THE PLANNING APPLICATION:</p> <p>• CLEAN WATER PROGRAM - SUBMIT TO ENGINEERING & TRANSPORTATION A FILLED-OUT PLANNING PERMIT SUBMITTAL CHECKLIST IN TABLE 3-1 OF THE ALAMEDA COUNTY CLEAN WATER PROGRAM C.3 STORMWATER TECHNICAL GUIDANCE.</p> <p>• PHASE 1 ENVIRONMENTAL CEQA SITE ASSESSMENT - SUBMIT PHASE 1 (ESA) AS PART OF CEQA COMPLIANCE, AN INITIAL STUDY AND FURTHER REQUIREMENTS WILL NEED TO BE MET WHEN SUFFICIENT INFORMATION IS OBTAINED TO MAKE A DETERMINATION (I.E., CATEGORICAL EXEMPTION, NEGATIVE DECLARATION, MITIGATED NEGATIVE DECLARATION)</p> <p>• INCLUSIONARY HOUSING - UNDER THE INCLUSIONARY ZONING ORDINANCE, APPLICANT HAS THE OPTION TO PAY THE IN LIEU HOUSING FEE OR PROVIDE ONE MODERSTATE INCOME UNIT.</p> <p>• IN LIEU FEE - PLEASE CONTACT TOM LIAO AT TLIAO@SANLEANDRO.ORG OR 510-577-6003 IF THE APPLICANT WOULD LIKE AN ESTIMATE OF THE IN LIEU FEE. OUR NONPRFT HOMEBUYER CONSULTANT, BAY AREA AFFORDABLE HOMEOWNERSHIP ALLIANCE OR BAAHA, WHICH ADMINISTERS THE CITY HOMEBUYER PROGRAMS CALCULATES THE FEE. TYPICALLY ESTIMATED 1LF AT THE ONSET OF THE PROJECT (APPLICANT CAN PLUG PRO FORMA OR FINANCIAL ANALYSIS). PRIOR TO DISCRETIONARY REVIEW (BZA, PC OR ADMIN REVIEW) THE THE FINAL FEE CALCULATION PRIOR TO PULLING BUILDING PERMITS.</p> <p>• NEIGHBORHOOD OUTREACH - ADJACENT NEIGHBORS SHALL BE INTRODUCED TO THE PROPOSED PROJECT AND INVITE COMMENTS AND FEEDBACK. PROPERTY OWNERS AND BUSINESSES WITHIN 500 FEET RADIUS OF THE PROJECT SHALL BE INVITED.</p>	<p>A</p> <p>ABV ABOVE AC ASPHALT CONCRETE AD AREA DRAIN ADDL ADDITIONAL AFF ABOVE FINISH FLOOR ASPH ASPHALT</p> <p>B</p> <p>BITUM BITUMINOUS BKG BACKING BLDG BUILDING BM BEAM BR BACKER ROD BUR BUILT-UP-ROOF BDR BEDROOM BW BOTTOM OF WALL</p> <p>C</p> <p>CAB CABINET CB CATCH BASIN CEM CEMENT CF CUBIC FEET CJ CONTROL JOINT CL CLOSET CTL CENTERLINE CLG CEILING CONC CONCRETE CPT CARPET</p> <p>D</p> <p>DR DECK DR DRAIN DU DWELLING UNIT</p> <p>E</p> <p>(E) EXISTING E EAST ELEC ELECTRICAL EP ELECTRICAL PANEL EXT EXTERIOR</p> <p>F</p> <p>FDN FOUNDATION FH FIRE HYDRANT FIN FINISH FF FINISH FLOOR FL FLOW LINE FLUOR FLUORESCENT FOC FACE OF CONCRETE FOF FACE OF FINISH FOS FACE OF STUD FR FIRE RATED FS FLOOR SINK FSL FIRE SPRINKLER FTG FOOTING FURR FURRING</p> <p>G</p> <p>GALV GALVANIZED GC GENERAL CONTRACTOR GL GLASS GND GROUND GWB GYPSUM WALL BOARD GYP GYSUM</p> <p>H</p> <p>HDBD HARDBOARD HDR HEADER HDWR HARDWARE HDWD HARDWOOD HTR HEATER HVAC HEATING, VENT. & A.C.</p> <p>I</p> <p>IN INCH INCAND INCANDESCENT INSUL INSULATION INT INTERIOR INV INVERT</p> <p>J</p> <p>JST JOIST JT JOINT</p> <p>K</p> <p>KIP KIPS KIT KITCHEN KP KICK PLATE</p> <p>L</p> <p>LOC LOCATION LT LIGHT</p> <p>M</p> <p>MB MACHINE BOLT MDF MEDIUM DENSITY MECH FIBERBOARD MEMB MECHANICAL MET MEMBRANE MH METAL MSC MANHOLE MTD MISCELLANEOUS MTL MOUNTED METAL</p> <p>N</p> <p>(N) NEW N NORTH NIC NOT IN CONTRACT NOM NOMINAL NP NO PARKING NR NON-RATED NTS NOT TO SCALE</p> <p>O</p> <p>OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER/ DIMENSION OFCI OWNER FURNISHED CONTRACTOR OFOI INSTALLED OWNER FURNISHED OWNER INSTALL</p> <p>P</p> <p>PENN PENETRATION PERF PERFORATED PERP PERPENDICULAR PL PLATE PL PROPERTY LINE PLAS PLASTER PLBG PLUMBING PLWD PLYWOOD PNL PANEL POC POINT OF CONNECTION PP PERMEABLE PAVERS PREFAB PREFABRICATED PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PTD PAINTED PTR PRESSURE TREATED PTRWD PRESSURE TREATED WOOD</p> <p>Q</p> <p>QTY QUANTITY</p> <p>R</p> <p>REC RECYCLE RAD RADIUS RCP REINFORCED CONCRETE PIPE RD ROOF DRAIN REF REFERENCE REFL REFLECTED REFR REFRIGERATOR RET RETAINING OR RETARDANT REG REGISTER RO ROUGH OPENING</p> <p>S</p> <p>SCD SEE CIVIL DRAWINGS SCHD SCHEDULE SD STORM DRAIN SECT SECTION SED SEE ELECTRICAL DRAWINGS SF SQUARE FOOT OR FEET SHR SHOWER SHT SHEET SHTG SHEATHING SIM SIMILAR SJ SEISMIC JOINT SL SEALANT SLD SEE LANDSCAPE DRAWINGS SM SHEET METAL SMD SEE MECHANICAL DRAWINGS SOF SOFFIT SOG SLAB ON GRADE SPD SEE PLUMBING DRAWINGS SPEC/S SPECIFICATION SQ SQUARE SS SANITARY SEWER SSD SEE STRUCTURAL DRAWINGS STC SOUND TRANSMISSION STD COEFFICIENT STL STANDARD STOR STEEL STRL STORAGE SY STRUCTURAL SQUARE YARD</p> <p>T</p> <p>T&B TOP AND BOTTOM T&G TONGUE AND GROOVE TC TOP OF CURB TOC TOP OF CONCRETE TOP TOP OF PAVING TOS TOP OF STEEL TRD TREAD TW TOP OF WALL</p> <p>U</p> <p>UL UNDERWRITERS LABORATORIES UTIL UTILITIES</p> <p>V</p> <p>VCP VITREOUS CLAY PIPE VERT VERTICAL VERT VENT THROUGH ROOF VTR</p> <p>W</p> <p>W WEST OR WIDTH WC WATER CLOSET WOOD WOOD WC WINDOW WD WITHOUT WDW WATER PROOF WO WORKING POINT WP WATER RESISTANT WPT WR</p>
	<p>PRELIMINARY ENGINEERING CONDITIONS</p> <p>1. ALL PROPOSED ONSITE AND OFFSITE STORM FRAIN INLETS SHALL BE MARKED "NO DUMPING, DRAINS TO BAY" AS PER THE CITY OF SAN LEANDRO STANDARD PLAN DWG. NO. 204. ALL PROPOSED STORM DRAIN INLETS DOWNSTREAM OF THE BIORETENTION AREAS SHALL HAVE "UNITED STORM WATER" TRASH CAPTURE DEVICES</p> <p>2. ANY CONNECTION OF THE ON-SITE STORM DRAIN SYSTEM TO THE CITY'S STORM DRAIN MAIN IN LEWELLING BOULEVARD SHOULD CONNECT TO A NEW STORM DRAIN CATCH BASIN ALONG THE PROPERTY FRONTAGE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD PLAN 204.</p>	
	<p>GRAPHIC SYMBOLS</p> <p>ASPHALT CONCRETE </p> <p>PERMEABLE PAVERS </p> <p>EARTH </p> <p>SAND </p> <p>RIGID INSULATION </p> <p>DEMO EX PARTS </p> <p>FIRE ACCESS </p> <p>BUILDING SECTION </p> <p>DATUM REFERENCE </p> <p>DETAIL REFERENCE </p> <p>DOOR TYPE </p> <p>KEYNOTE </p> <p>REVISION </p> <p>ROOM TAGS </p> <p>WALL TYPE </p> <p>WINDOW TYPE </p> <p>FIRE HYDRANT </p> <p>CATCH BASIN </p> <p>STORM DRAIN PERFORATED TUBE </p> <p>APPROXIMATE LINE OF WORK </p> <p>REMOVE </p> <p>CHECK VALVE, SD-201 </p> <p>FIRE SERVICE, SD-204 </p> <p>DOMESTIC WATER SERVICE, SD-213 </p> <p>IRRIGATION WATER SERVICE </p> <p>DOMESTIC WATER METERS </p> <p>IRRIGATION WATER METER, SD-202 </p> <p>SANITARY SEWER MANHOLE </p> <p>CLEAN OUT BOX, SD-313 </p> <p>STANDARD HOUSE SEWER SD-312 </p> <p>BACK FLOW PREVENTOR SD-314 </p>	



PROFESSIONAL ARCHITECT
GORDON WONG, ARCHITECT
STATE OF CALIFORNIA
LICENSE NO. C-24605

PROJECT REPRESENTATIVE
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ARCHITECTS
GORDON WONG, ARCHITECT

Levellling Condominiums
874 Lewelling Boulevard
San Leandro, CA 94579

Project Schedule Revision

No.	Date	Description
1	2018.08	Planning
2	2018.07	Planning
3	2018.05	Planning
4	2018.01	Planning

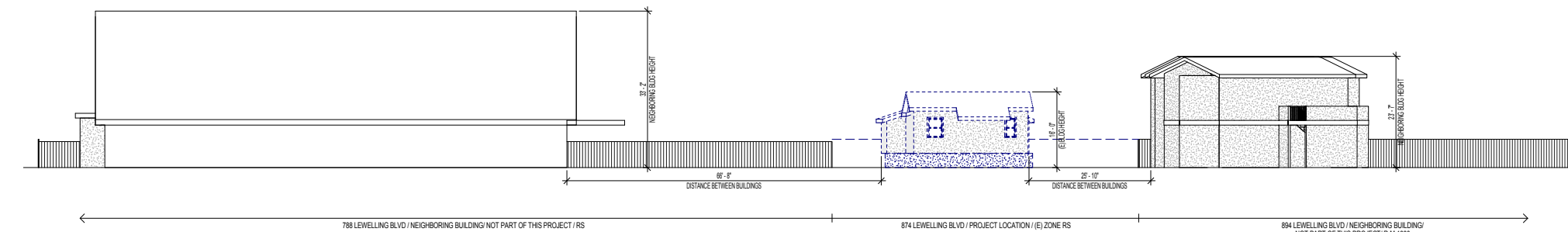
Project General Notes

G001

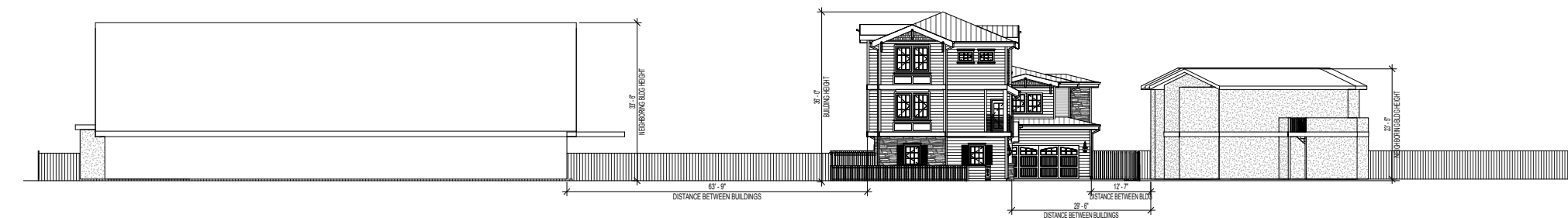
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EXHIBIT D - STREETSCAPE



2 East Streetscape, Existing
1" = 10'-0"



1 East Streetscape, Proposed
1" = 10'-0"

Site Context & Streetscape

PROFESSIONAL ARCHITECT
STATE OF CALIFORNIA
LICENSE NO. C-24635

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Levellling Condominiums
874 Levellling Boulevard
San Leandro, CA 94579

Project Schedule Revision		
No.	Date	Description
1	2019.03.08	Planning
2	2019.01.07	Planning
3	2018.03.25	Planning
4	2018.07.11	Planning

Site Context & Streetscape

G004

SCALE 1" = 10'-0"

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EXHIBIT E - DEMOLITION PLAN

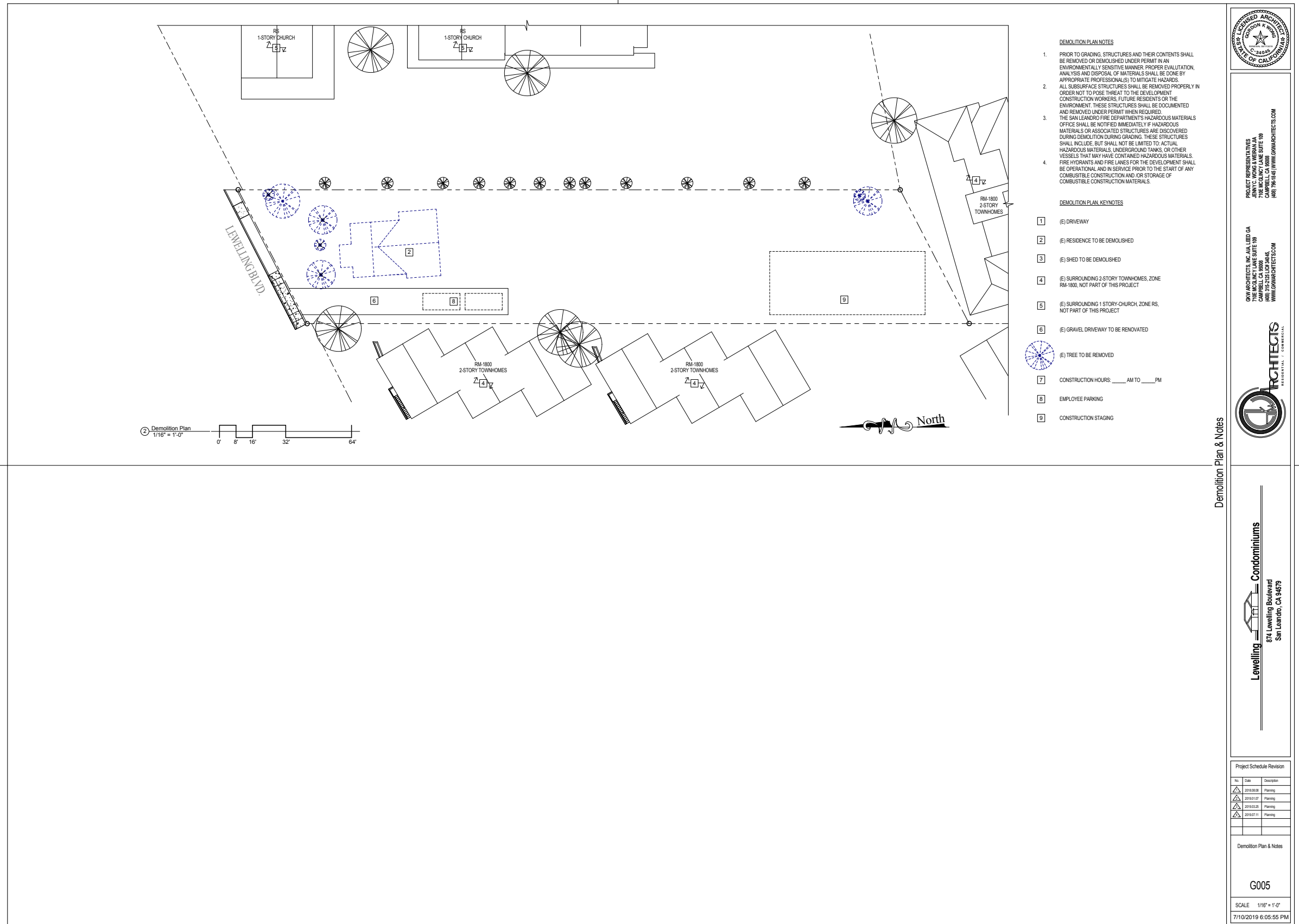
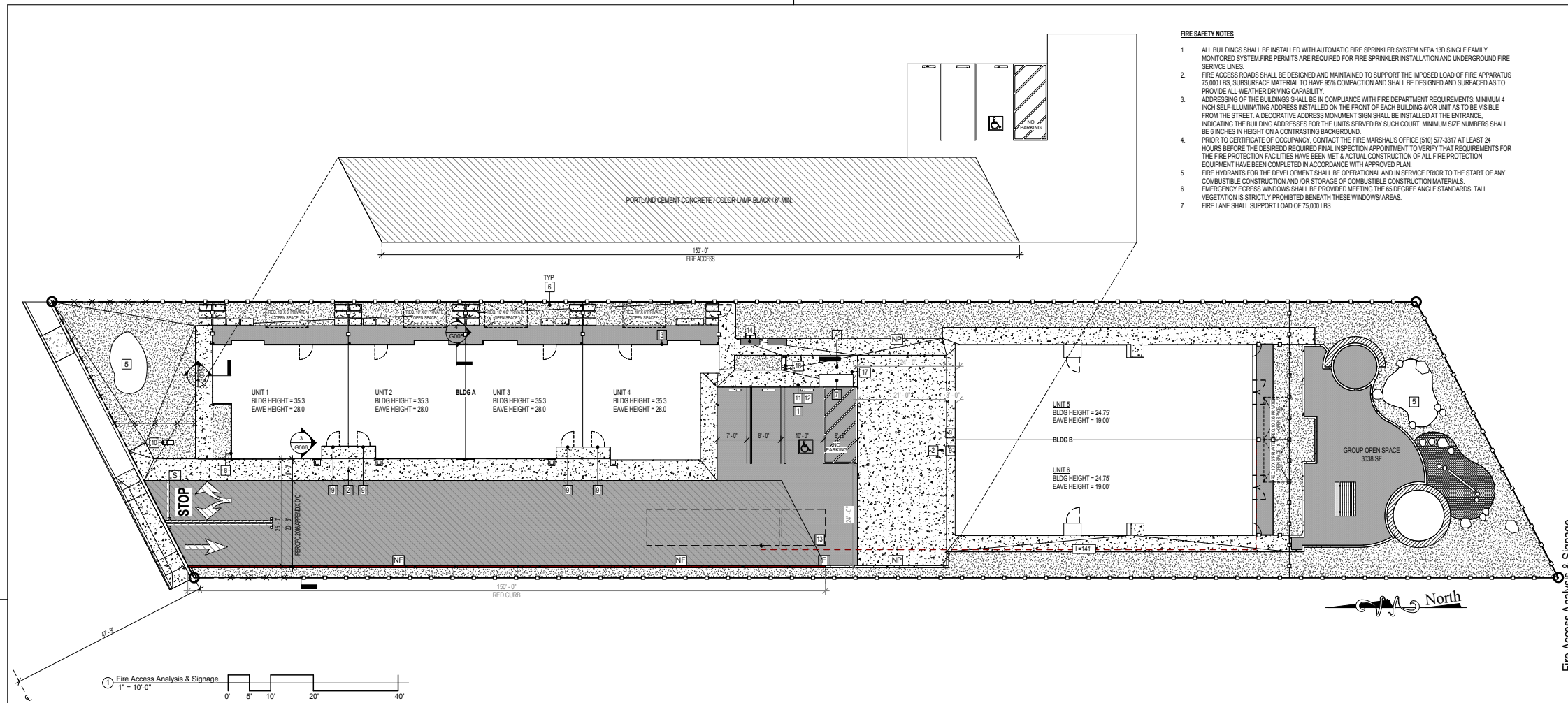


EXHIBIT F - FIRE ACCESS



- FIRE SAFETY NOTES**
- ALL BUILDINGS SHALL BE INSTALLED WITH AUTOMATIC FIRE SPRINKLER SYSTEM NFPA 13D SINGLE FAMILY MONITORED SYSTEM FIRE PERMITS ARE REQUIRED FOR FIRE SPRINKLER INSTALLATION AND UNDERGROUND FIRE SERVICE LINES.
 - FIRE ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS 75,000 LBS. SUBSURFACE MATERIAL TO HAVE 95% COMPACTION AND SHALL BE DESIGNED AND SURFACED AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITY.
 - ADDRESSING OF THE BUILDINGS SHALL BE IN COMPLIANCE WITH FIRE DEPARTMENT REQUIREMENTS MINIMUM 4 INCH SELF-ILLUMINATING ADDRESS INSTALLED ON THE FRONT OF EACH BUILDING AND UNIT AS TO BE VISIBLE FROM THE STREET. A DECORATIVE ADDRESS MONUMENT SIGN SHALL BE INSTALLED AT THE ENTRANCE, INDICATING THE BUILDING ADDRESSES FOR THE UNITS SERVED BY SUCH COURT. MINIMUM SIZE NUMBERS SHALL BE 8 INCHES IN HEIGHT ON A CONTRASTING BACKGROUND.
 - PRIOR TO CERTIFICATE OF OCCUPANCY, CONTACT THE FIRE MARSHAL'S OFFICE (510) 577-3317 AT LEAST 24 HOURS BEFORE THE DESIRED REQUIRED FINAL INSPECTION APPOINTMENT TO VERIFY THAT REQUIREMENTS FOR THE FIRE PROTECTION FACILITIES HAVE BEEN MET & ACTUAL CONSTRUCTION OF ALL FIRE PROTECTION EQUIPMENT HAVE BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLAN.
 - FIRE HYDRANTS FOR THE DEVELOPMENT SHALL BE OPERATIONAL AND IN SERVICE PRIOR TO THE START OF ANY COMBUSTIBLE CONSTRUCTION AND FOR STORAGE OF COMBUSTIBLE CONSTRUCTION MATERIALS.
 - EMERGENCY EGRESS WINDOWS SHALL BE PROVIDED MEETING THE 60 DEGREE ANGLE STANDARDS. TALL VEGETATION IS STRICTLY PROHIBITED BENEATH THESE WINDOWS AREAS.
 - FIRE LANE SHALL SUPPORT LOAD OF 75,000 LBS.



REGISTERED ARCHITECT
MATTHEW A. JOHNSON
716 MCCLINTOCK LANE, SUITE 100
CAMPBELL, CA 95008
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REGISTERED ARCHITECT
DONAHUES ARCHITECTS
716 MCCLINTOCK LANE, SUITE 100
CAMPBELL, CA 95008
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Fire Access Analysis & Signage

KEYNOTES

- ADA ACCESSIBLE AISLE 6' x 12'
- CONCRETE WALKWAY
- ELECTRICAL UTILITY BOX
- ADA RAMP
- DECORATIVE GRAVEL AREA
- GATE ACCESSIBLE FOR FIRE ACCESS, NO LOCK
- TRUNCATED DOMES
- ADDRESS MINIMUM 6" MONUMENT SIGN
- ADDRESS MINIMUM 4" ILLUMINATED SIGN
- PROJECT SIGNAGE, SEE SHEET 60.0#
- ACCESSIBLE PARKING SIGN
- ACCESSIBLE PARKING TOW AWAY SIGN
- STD. 42' FIRE TRUCK
- MULTIFAMILY MAIL BOX
- GATE ACCESSIBLE FOR FIRE ACCESS, NO LOCK
- NO PARKING SIGN
- BIKE RACK

MATERIALS & ABBREVIATIONS

ASPHALT CONCRETE
PERMEABLE PAVERS
PLANTING
FIRE ACCESS
FENCE 6'-0"
FIRE HOSE LENGTH
FIRE HYDRANT
NO PARKING FIRE LANE SIGNAGE, PER T29
STOP SIGN, R1-1, SEE G008 FOR SPEC
FIRE SIGN, 150'-0"

EBMUD FIRE SERVICE AVAILABLE FLOW & PRESSURE INFORMATION

Property Information:
874 Lewelling Blvd
SAN LEANDRO, 94579
Approximate Elevation (feet): 21.8
Assessor's Parcel Number: 800-114-3-2

The following available flow and pressure information is based on a Maximum Day Demand Hydraulic Model Analysis of EBMUD's water distribution system. This information should be used as a guideline of the approximate available flow. It is recommended that a design allowance be made for possible reductions in pressure and/or flow that could occur under other possible scenarios. Applicant understands that the District cannot guarantee any specific values for pressure and flow. If you have any questions, please contact us at info@ebmud.com or call (510)237-1058.

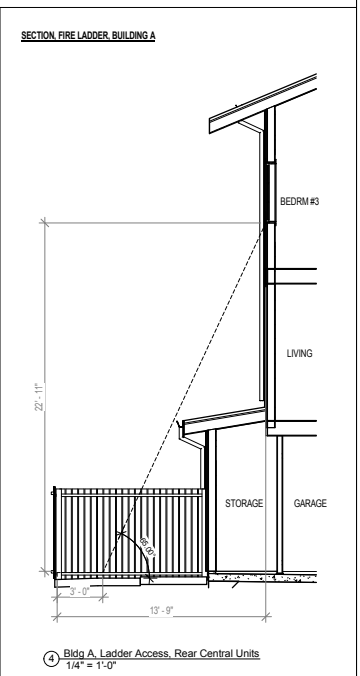
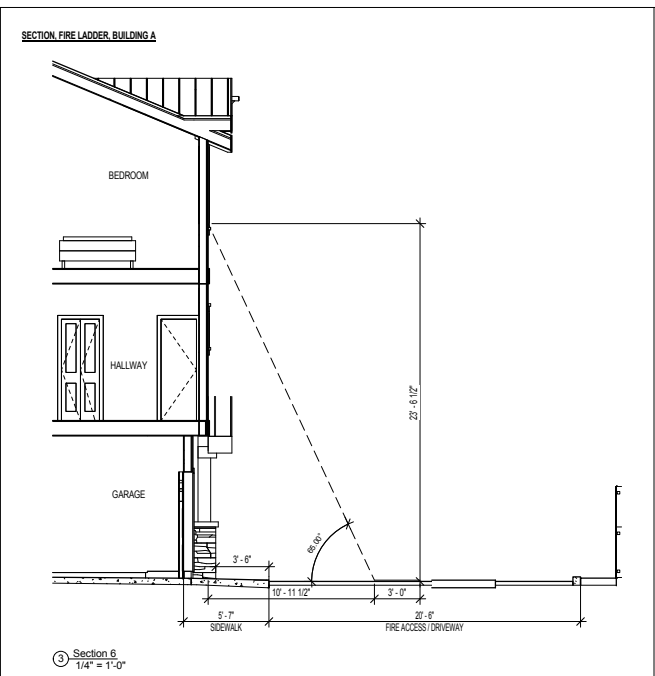
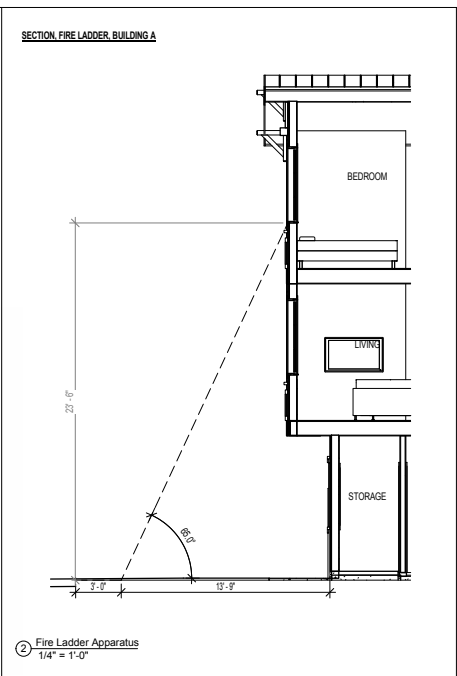
Available flow and pressure at possible fire service connection for above property:

Possible Fire Service Connection #1	Pressure Zone: Central
Off of the 12-inch main (12A63) in Lewelling Boulevard, on the south side of Lewelling Boulevard, approximately 505 feet east of Sedgehorn Street.	Connection Point Elevation (feet): 20
	Connection Point Static Pressure (psig): 88
	Residual Pressure at 750 gpm (psig): 67
	Residual Pressure at 1500 gpm (psig): 55

Engineer's Comments: The pressure and flow information stated is available at the street main connection in Lewelling Boulevard.

Flow and pressure data is valid for one year after the approval date. You will need to submit a new request and pay appropriate fee after the expiration date.

MSD: KVALTRES Engineer: CHENK Supervisor: JACOBREGO Date: 2019-01-15 13:50:27.8



Leveling Condominiums
874 Lewelling Boulevard
San Leandro, CA 94579

Project Schedule Revision

No.	Date	Description
1	2018.08	Planning
2	2018.07	Planning
3	2018.05	Planning
4	2018.11	Planning

Fire Access Analysis & Signage

G006

SCALE: As indicated

7/10/2019 6:06:06 PM

EXHIBIT G.1 - BUILDING A FLOORS 1 AND 2

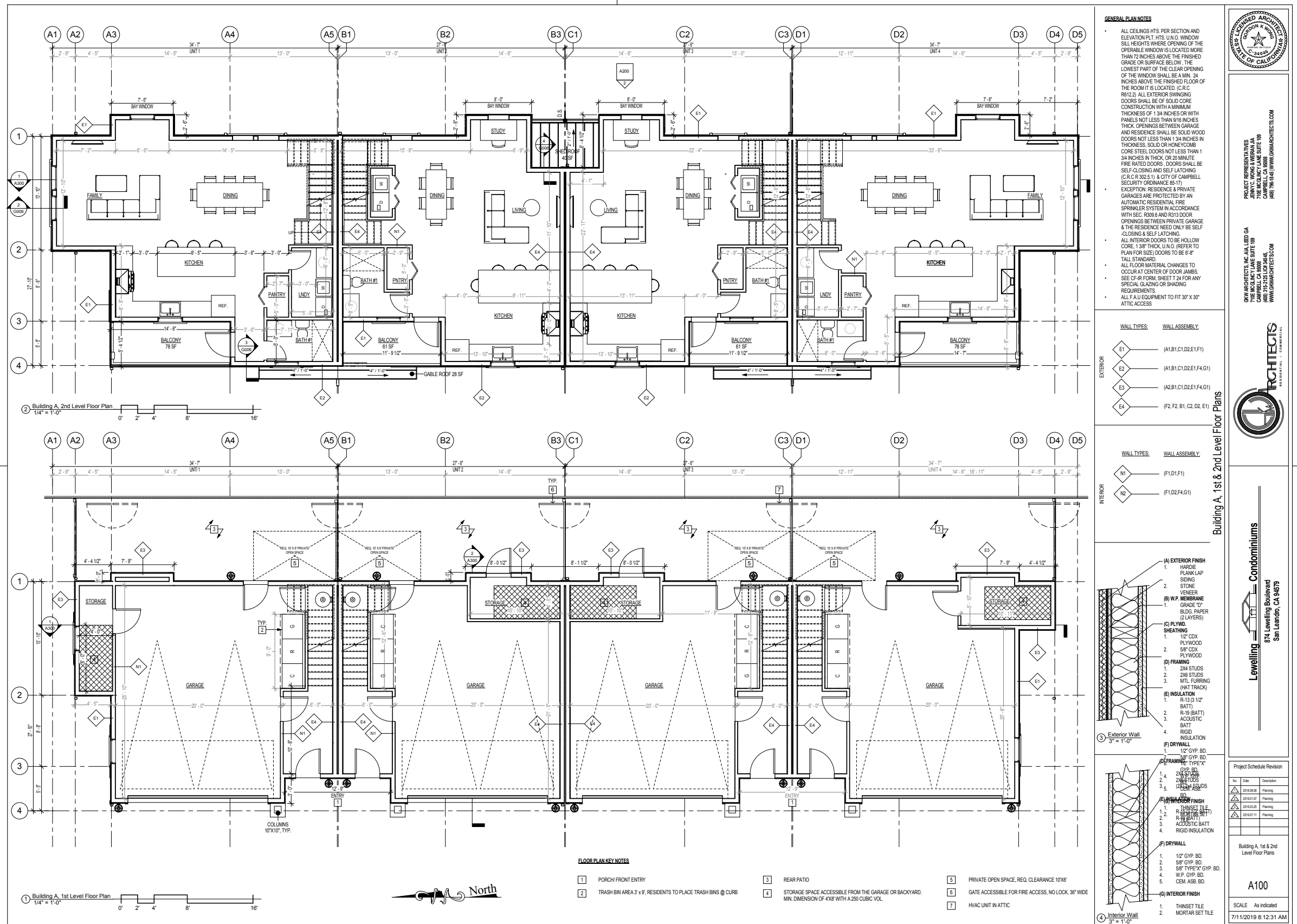
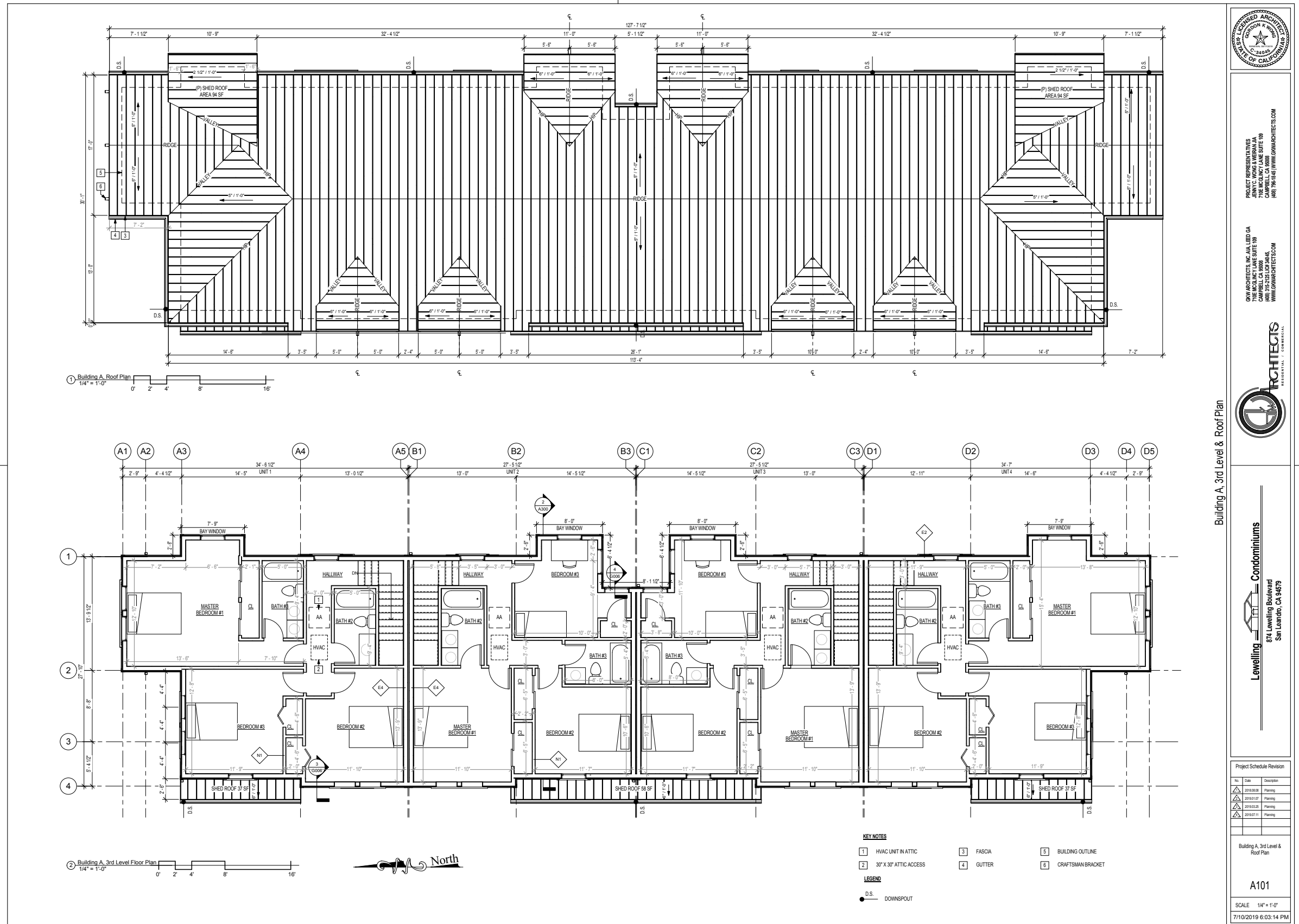




EXHIBIT G.2 - BUILDING A FLOOR 3 AND ROOF



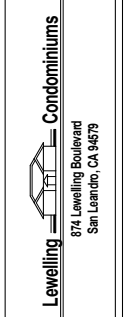
Building A, 3rd Level & Roof Plan



PROFESSIONAL ARCHITECT
 GREGORY A. WILLIAMS
 716 MCCLINTOCK LANE SUITE 109
 CAMPBELL, CA 95008
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ARCHITECTS
 CONSULTANTS • INTERIORS



Leveling Condominiums
 874 Lewelling Boulevard
 San Leandro, CA 94579

EXHIBIT G.3 - BUILDING B FLOORS 1 AND 2

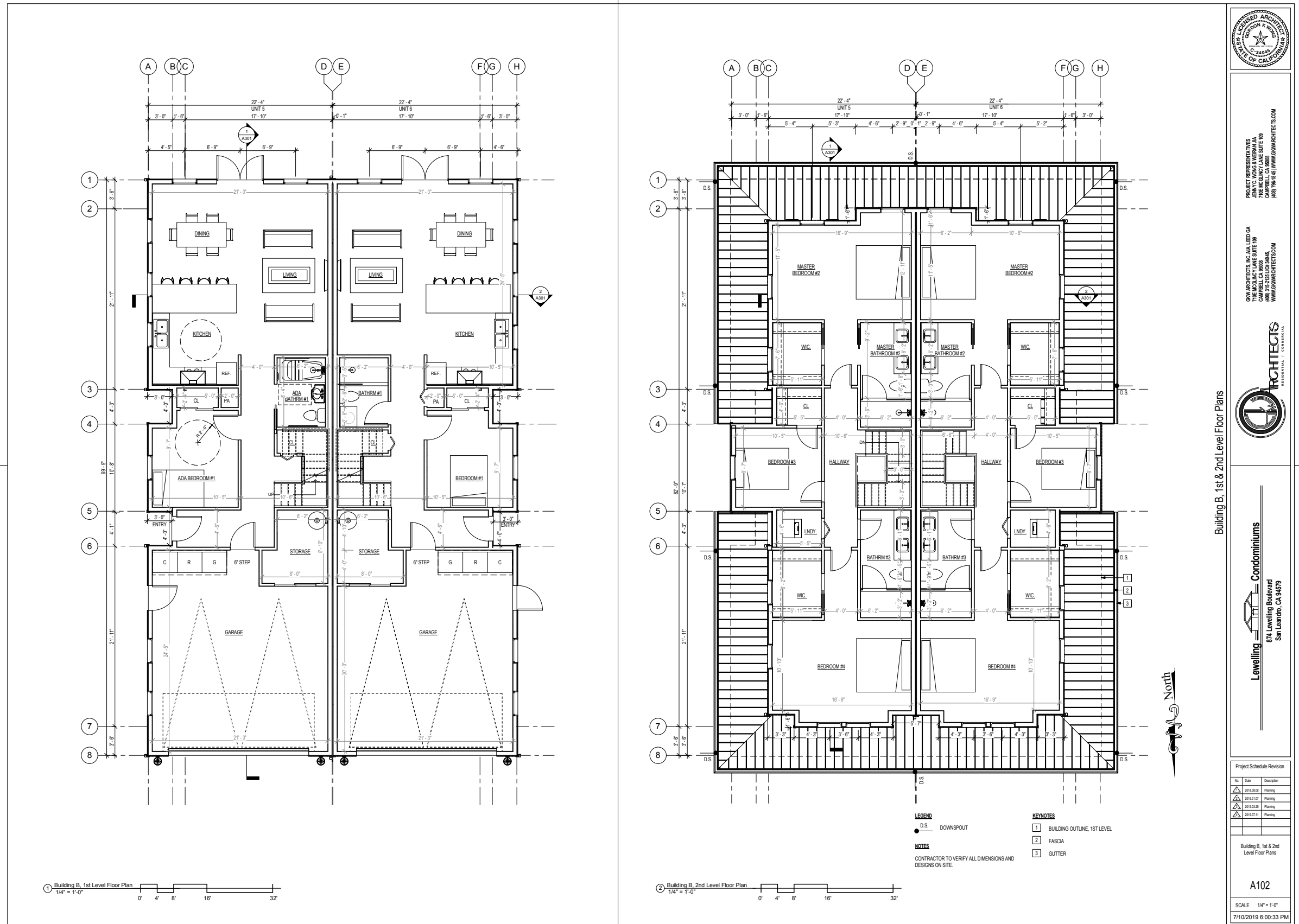


EXHIBIT G.4 - BUILDING B ROOF

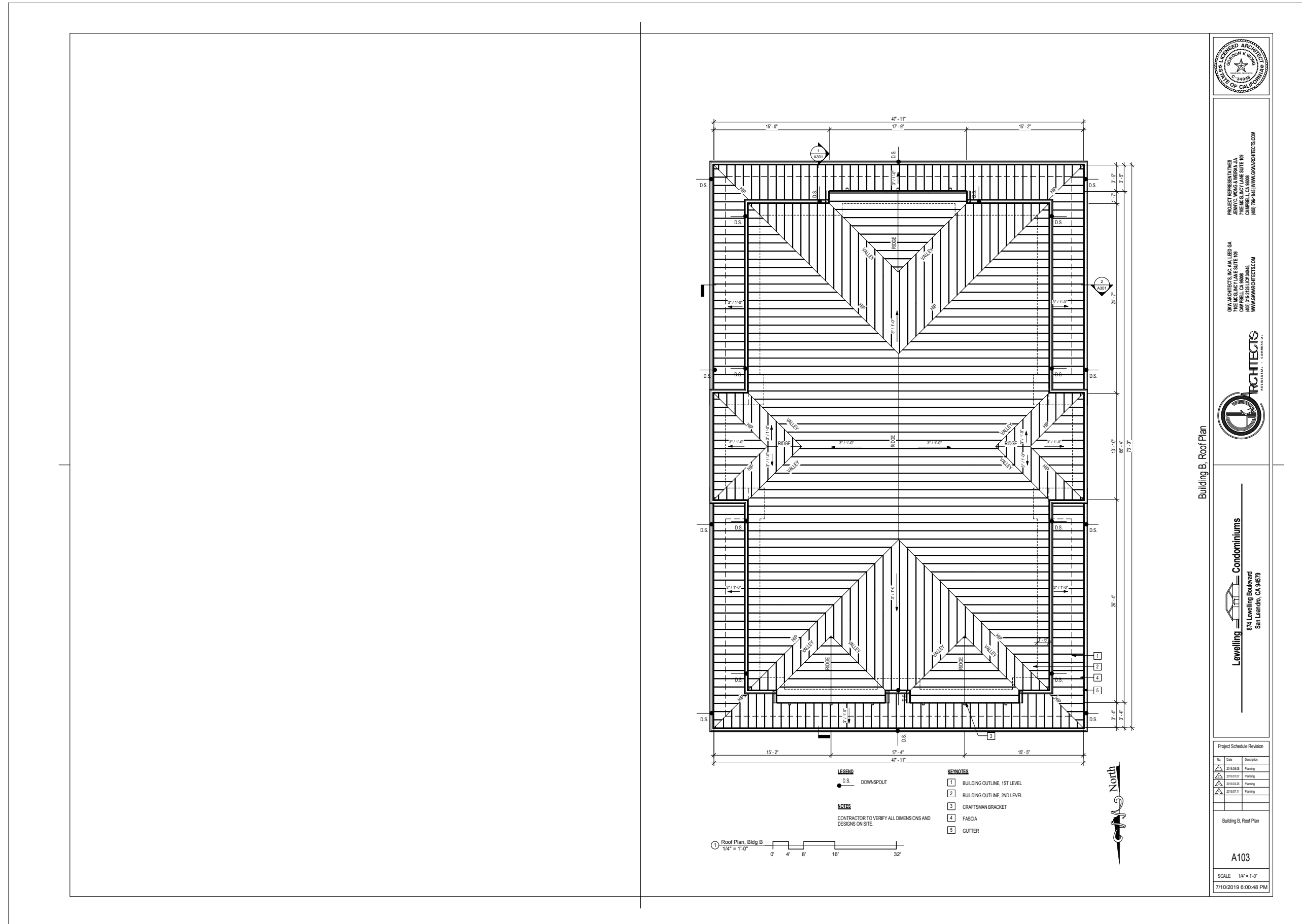


EXHIBIT H.1 - BUILDING A ELEVATION



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Leveling Condominiums
 874 Lewelling Boulevard
 San Leandro, CA 94579

Project Schedule Revision

No.	Date	Description
1	2018.08.08	Planning
2	2019.01.07	Planning
3	2019.03.25	Planning
4	2019.07.11	Planning
5	2019.08.19	Permitting

Elevations Proposed, Bldg A
A200
 SCALE 1/8" = 1'-0"
 8/19/2019 10:28:59 AM

EXTERIOR WALL SCHEDULE & ROOF MATERIAL

TRIM & TREATMENTS

TRIM - ARCTIC WHITE

UPPER TREATMENT
 PRODUCT: HARDIE SHINGLE SIDING, STRAIGHT EDGE PANEL
 COLOR: ARCTIC WHITE

WALL

UPPER
 PRODUCT: HARDIE PLANK LAP SIDING, SMOOTH
 COLOR: LIGHT MIST

ACCENT
 PRODUCT: HARDIE PLANK LAP SIDING, SMOOTH
 COLOR: BOOTHBAY BLUE

BASE
 PRODUCT: HARDIE PLANK LAP SIDING, SMOOTH
 COLOR: NIGHT GRAY

BASE ACCENT
 MANUFACTURER: CULTURED STONE
 STYLE: COUNTRY LEDGESTONE
 COLOR: GRAND MESA

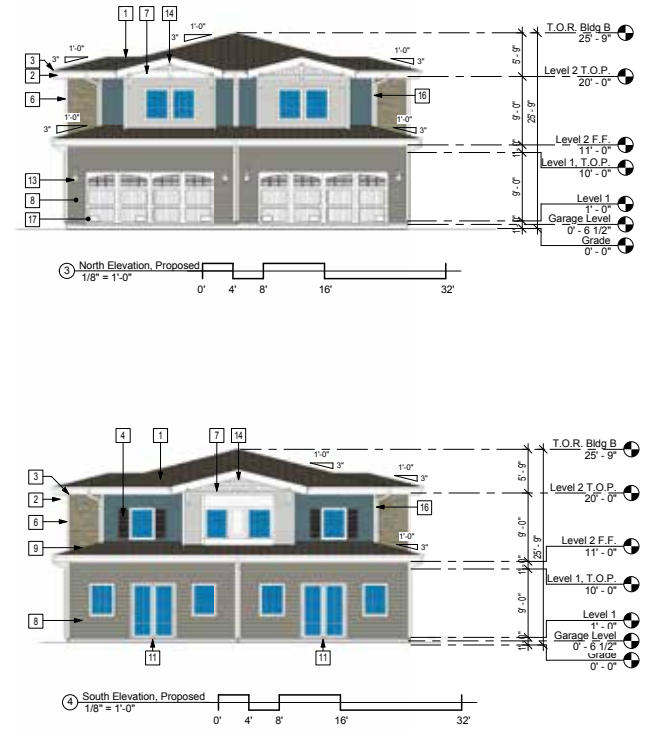
ROOF

ROOF MATERIAL TYPE:
 STANDING SEAM METAL
 BRAND: BERRIDGE

ELEVATIONS KEYNOTES

- 1 STANDING SEAM METAL ROOF, SEE TO ROOF PLAN
- 2 DORMER ROOF
- 3 PORCH ROOF
- 4 2X FASCIA
- 5 DOWNSPOUT
- 6 GUTTER
- 7 DECORATIVE SHUTTER
- 8 OVERHEAD GARAGE DOOR
- 9 WINDOW TRIM
- 10 WALL TRIM
- 11 UPPER TREATMENT HARDIE SHINGLE SIDING
- 12 HARDIE PLANK LAP SIDING, SMOOTH
- 13 CULTURESTONE VENEER
- 14 STORAGE DOOR
- 15 BALCONY RAILING
- 16 BALCONY DOOR
- 17 FRONT DOOR
- 18 REAR DOOR
- 19 FENCE 6'-0"
- 20 WALL SCOFF
- 21 CRAFTSMAN BRACKET
- 22 ADDRESS LETTER, PER 50008
- 23 FLOOD VENT

EXHIBIT H.2 - BUILDING B ELEVATION




EXTERIOR WALL SCHEDULE & ROOF MATERIAL

TRIM & TREATMENTS		WALL			ROOF	
						
TRIM - ARCTIC WHITE	UPPER TREATMENT PRODUCT: HARDIE SHINGLE SIDING, STRAIGHT EDGE PANEL COLOR: ARCTIC WHITE	UPPER PRODUCT: HARDIE PLANK LAP SIDING, SMOOTH COLOR: LIGHT MIST	ACCENT PRODUCT: HARDIE PLANK LAP SIDING, SMOOTH COLOR: BOOTHBAY BLUE	BASE PRODUCT: HARDIE PLANK LAP SIDING, SMOOTH COLOR: NIGHT GRAY	BASE ACCENT MANU. NAME: CULTURED STONE STYLE: COUNTRY LEDGESTONE COLOR: GRAND MESA	ROOF MATERIAL TYPE: STANDING SEAM METAL BRAND: BERRIDGE


ELEVATIONS KEYNOTES

- 1 STANDING SEAM METAL ROOF, SEE TO ROOF PLAN A103
 - 2 ZX FASCIA
 - 3 GUTTER
 - 4 DECORATIVE SHUTTER
 - 5 WINDOW TRIM
 - 6 WALL TRIM
 - 7 UPPER TREATMENT HARDIE SHINGLE SIDING
 - 8 HARDIE PLANK LAP SIDING, SMOOTH
 - 9 CULTURESTONE VENER
 - 10 FRONT, ENTRY DOOR
 - 11 REAR DOOR, TO PRIVATE OPEN SPACE/ PATIO
 - 12 FENCE 6'-0"
 - 13 WALL SCOSNCE
 - 14 CRAFTSMAN BRACKET
 - 15 ADDRESS LETTER, PER 5/3006
 - 16 DOWNSPOUT
 - 17 GARAGE DOOR FLOOD VENT, 16" X 8"
- NOTES**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND DESIGNS ON SITE.
 2. SEE CIVIL SHEET C3 FOR GRADE AND FINISH FLOOR ELEVATIONS.



PROFESSIONAL ARCHITECT
STATE OF CALIFORNIA
C. 24635

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ARCHITECTS
CREATING THE FUTURE

Leveling Condominiums
874 Lewelling Boulevard
San Leandro, CA 94579

Project Schedule Revision

No.	Date	Description
1	2018.08.08	Planning
2	2018.09.07	Planning
3	2018.09.25	Planning
4	2018.11.11	Planning

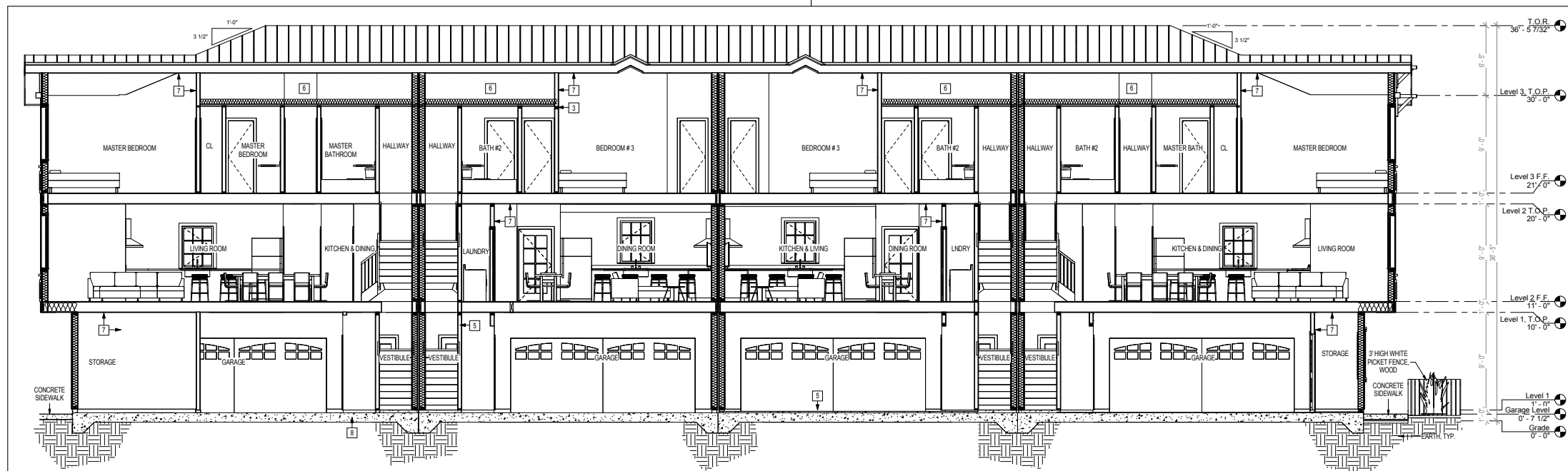
Elevations Proposed, Bldg B

A201

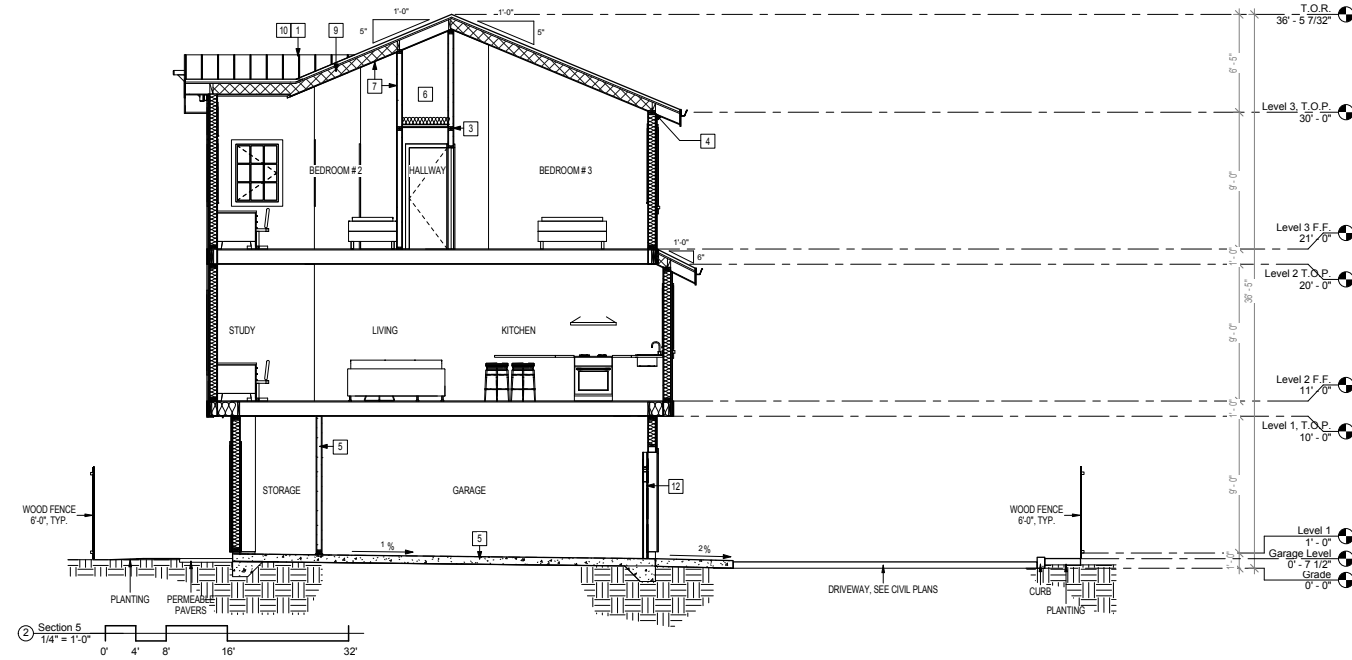
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EXHIBIT I.1 - BUILDING A CROSS-SECTION



Section 4
1/4" = 1'-0"



Section 5
1/4" = 1'-0"



GENERAL SECTION NOTES

ALL CEILING HTS. PER SECTION AND ELEVATION P.L. HTS. U.N.O. WINDOW SILL HEIGHTS WHERE OPENING OF THE OPERABLE WINDOW IS LOCATED MORE THAN 12 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW. THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MIN. 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IT IS LOCATED. (C.R.C. R612.2)

ALL EXTERIOR SWINGING DOORS SHALL BE OF SOLID CORE CONSTRUCTION WITH A MINIMUM THICKNESS OF 1 3/4 INCHES OR WITH PANELS NOT LESS THAN 9/16 INCHES THICK. OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE SOLID WOOD DOORS NOT LESS THAN 1 3/4 INCHES IN THICKNESS. SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/4 INCHES IN THICK. OR 20 MINUTE FIRE RATED DOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING (C.R.C. R 302.5.1) & CITY OF CAMPBELL SECURITY ORDINANCE 85-17)

ALL INTERIOR DOORS TO BE HOLLOW CORE, 1 3/8" THICK, U.N.O. (REFER TO PLAN FOR SIZE); DOORS TO BE 6'-8" TALL STANDARD.

ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR JAMBS.

ALL F.A.U. EQUIPMENT TO FIT 30" X 30" ATTIC ACCESS

ATTIC NOTES

FURNACE SHALL BE LISTED FOR INSTALLATION IN FURRED SPACE AND BE LISTED FOR USED ON COMBUSTIBLE FLOORING

VERIFY SIZE OF ATTIC OPENING WITH MANUFACTURERS SPECS

PROVIDE MINIMUM 24" WIDE SOLID CONTINUOUS FLOOR FOR PASSAGEWAY

FURNACE SHALL BE NOT MORE THAN 20 FT FROM ATTIC OPENING

PROVIDE UNOBSTRUCTED WORK SPACE OF 30" MIN DEPTH IN FRONT OF EQUIPMENT

VENT THROUGH ROOF A MIN OF 5 FT. ABOVE THE HIGHEST VENT COLLAR WHICH IT SERVES

FURNACE INSTALLATION SHALL MEET ALL LISTED CLEARANCES RAISE PLATFORM AND PASSAGEWAY FLOOR SUFFICIENTLY SO INSULATION BENEATH WILL NOT BE COMPRESSED

FLOODPLAIN MANAGEMENT NOTES

PER CITY OF SAN LEANDRO MUNICIPAL CODE, ARTICLE 5, PROVISIONS FOR FLOOD HAZARD REDUCTION

7-9-2018 STANDARDS OF CONSTRUCTION

(1) RESIDENTIAL CONSTRUCTION, NEW OR SUBSTANTIAL IMPROVEMENTS, SHALL HAVE THE LOWEST FLOOR, INCLUDING BASEMENT: (1) IN AN AO ZONE, ELEVATED ABOVE THE HIGHEST ADJACENT GRADE TO A HEIGHT EQUAL TO OR EXCEEDING THE DEPTH NUMBER SPECIFIED IN FEET ON THE FIRM, OR ELEVATED AT LEAST (2) ABOVE THE HIGHEST GRADE IF NO DEPTH NUMBER IS SPECIFIED.

REQUIRED ELEVATED HEIGHT: 1'-0"

PROPOSED ELEVATED HEIGHT: 1'-0"

SECTION KEYNOTES & NOTES

1 STANDING SEAM METAL ROOF

2 2X FLOOR AND CEILING JOISTS

3 1X OVER 2X TOP PLATE AT INTERIOR NON-BEARING WALLS

4 DOUBLE 2X TOP PLATE AT EXTERIOR AND BEARING WALLS

5 2X4 STUDS AT 16" O.C.

6 ATTIC

7 1/2" GYPSUM BOARD - TYP. AT ALL WALLS AND CEILING

8 SLAB ON GRADE, TYP.

9 SPRAY ON FOAM INSULATION @ ROOF

10 DORMER ROOF

11 DOWNSPOUT

12 GARAGE DOOR TO HAVE FLOOD OPENINGS PER FEMA

NOTE:

1. SEE CIVIL SHEET C3 FOR GRADE AND FINISH FLOOR ELEVATIONS.

ARCHITECTS
ARCHITECTS
ARCHITECTS

PROF. REG. ARCHITECTS
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Leveling
874 Lewelling Boulevard
San Leandro, CA 94579

Project Schedule Revision

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1	2018.08	Planning
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3	2019.05	Planning
4	2019.11	Planning

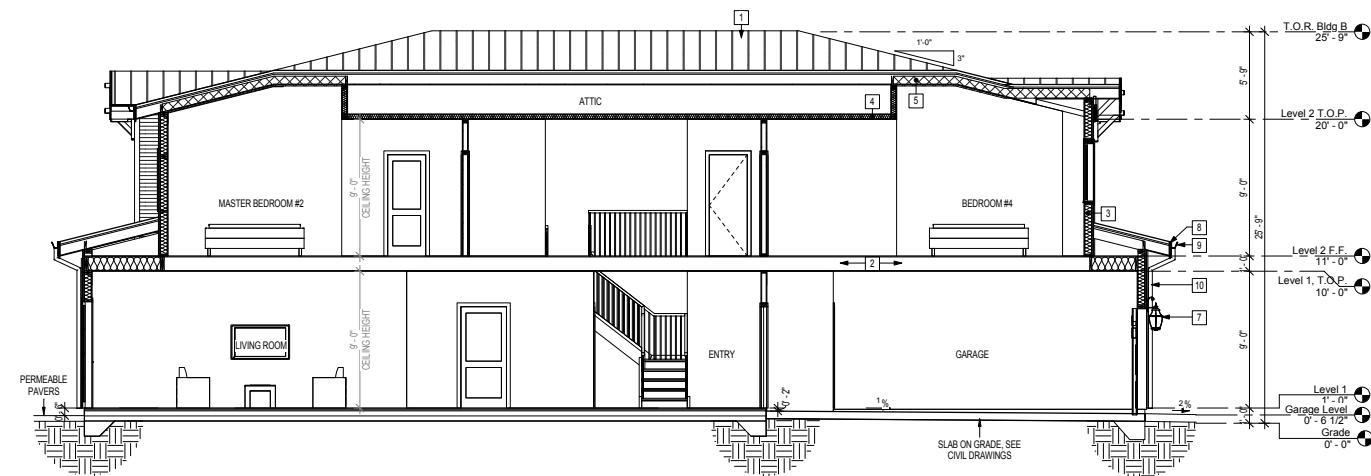
Cross Sections, Bldg A

A300

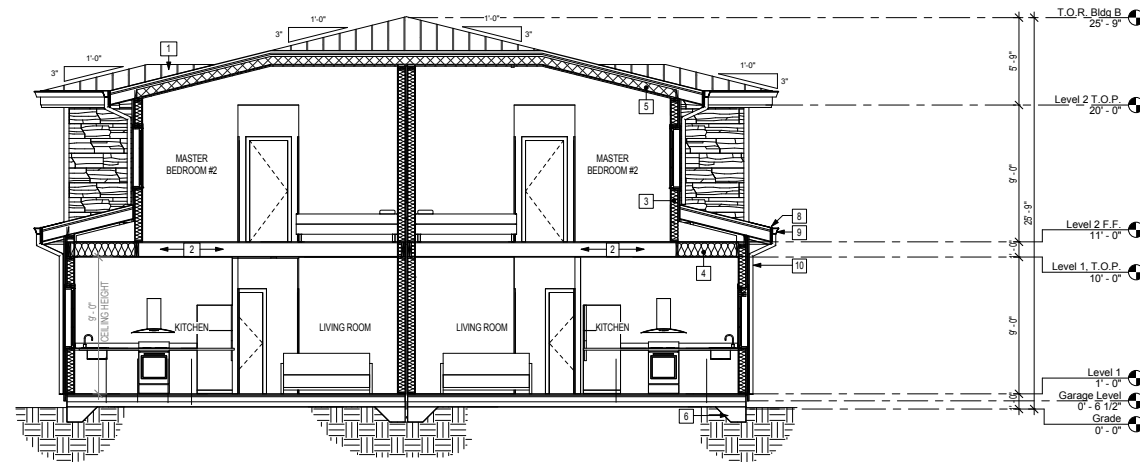
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EXHIBIT I.2 - BUILDING B CROSS-SECTION



① Longitudinal Section
1/4" = 1'-0"



② Cross-Section
1/4" = 1'-0"

GENERAL SECTION NOTES

ALL CEILING HEIGHTS PER SECTION AND ELEVATION P.L.T. HTS. UNO. WINDOW SILL HEIGHTS WHERE OPENING OF THE OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW. THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MIN. 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IT IS LOCATED. (C.R.C. RB12.2)

ALL EXTERIOR SWINGING DOORS SHALL BE OF SOLID CORE CONSTRUCTION WITH A MINIMUM THICKNESS OF 1 3/4 INCHES OR WITH PANELS NOT LESS THAN 9/16 INCHES THICK. OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE SOLID WOOD DOORS NOT LESS THAN 1 3/4 INCHES IN THICKNESS. SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/4 INCHES IN THICK. OR 20 MINUTE FIRE RATED DOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING (C.R.C. R 302.5.1) & CITY OF CAMPBELL SECURITY ORDINANCE 85-17)

ALL INTERIOR DOORS TO BE HOLLOW CORE, 1 3/8" THICK, UNO. (REFER TO PLAN FOR SIZE) DOORS TO BE 6'-8" TALL STANDARD.

ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR JAMBS.

ALL F.A.U. EQUIPMENT TO FIT 30" X 30" ATTIC ACCESS

CONTRACTOR TO VERIFY ALL DIMENSIONS AND DESIGNS ON SITE.

F.A.U. IN ATTIC NOTES

FURNACE SHALL BE LISTED FOR INSTALLATION IN FURRED SPACE AND BE LISTED FOR USED ON COMBUSTIBLE FLOORING

VERIFY SIZE OF ATTIC OPENING WITH MANUFACTURERS SPECS

PROVIDE MINIMUM 24" WIDE SOLID CONTINUOUS FLOOR FOR PASSAGEWAY

FURNACE SHALL BE NOT MORE THAN 20 FT FROM ATTIC OPENING

PROVIDE UNOBSTRUCTED WORK SPACE OF 30" MIN DEPTH IN FRONT OF EQUIPMENT

VENT THROUGH ROOF A MIN OF 5 FT. ABOVE THE HIGHEST VENT COLLAR WHICH IT SERVES

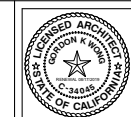
FURNACE INSTALLATION SHALL MEET ALL LISTED CLEARANCES RAISE PLATFORM AND PASSAGEWAY FLOOR SUFFICIENTLY SO INSULATION BENEATH WILL NOT BE COMPRESSED

SECTION KEYNOTES

- 1 STANDING SEAM METAL ROOF
- 2 FLOOR AND CEILING JOISTS, SEE STRUCTURAL
- 3 WALL INSULATION PER T-24
- 4 CEILING INSULATION PER T-24
- 5 SPRAY FOAM INSULATION PER T-24
- 6 FOUNDATION, SLAB ON GRADE
- 7 WALL SCONCE
- 8 2X FASCIA
- 9 GUTTER
- 10 DOWNSPOUT

NOTES

- 1 CONTRACTOR TO VERIFY ALL DIMENSIONS AND DESIGNS ON SITE
- 2 SEE CIVIL SHEET C3 FOR GRADE AND FINISH FLOOR ELEVATIONS.



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Cross Sections, Bldg B

Leveling
874 Lewelling Boulevard
San Leandro, CA 94579

Project Schedule Revision

No.	Date	Description
1	2018.08.08	Planning
2	2018.09.07	Planning
3	2018.09.25	Planning
4	2018.09.11	Planning

Cross Sections, Bldg B

A301
SCALE 1/4" = 1'-0"
7/11/2019 8:50:12 AM

EXHIBIT J - COLOR AND MATERIAL BOARD

COLOR & MATERIAL BOARD | LEWELLING CONDOMINIUMS

874 LEWELLING BOULEVARD
SAN LEANDRO, CA 94579

PERSPECTIVE RENDERING/ FRONT STREET VIEW



HARDIE PLANK LAP SIDING

James Hardie

UPPER
MANUFAC.: JAMES HARDIE
EXT. FINISH: LAP SIDING
COLOR: LIGHT MIST

ACCENT
MANUFAC.: JAMES HARDIE
EXT. FINISH: LAP SIDING
COLOR: BOOTHBAY BLUE

STANDING SEAM METAL ROOF

B
MANUFAC.: BERRIDGE STANDING SEAM METAL PANELS, INC.
COLOR: CHARCOAL GREY
ENERGY: ENERGYSTAR - RATED METAL COOL ROOF

EXTERIOR SHUTTERS

BUILDERS EDGE
WINDOW TREATMENT
MANUFAC.: BUILDERS EDGE
COLOR: TUXEDO GRAY
FEATURES: LOUVERED, DEEP WOOD GRAIN TEXTURE, CAN BE INSTALLED ON ANY SURFACE, LIFETIME WARRANTY

HARDIESHINGLE SIDING

James Hardie
UPPER ACCENT
MANUFAC.: JAMES HARDIE
EXT. FINISH: SHINGLE SIDING STRAIGHT EDGE PANEL
COLOR: ARTIC WHITE

BASE
MANUFAC.: JAMES HARDIE
EXT. FINISH: LAP SIDING
COLOR: NIGHT GRAY

WINDOWS



CRAFTSMAN BRACKET

FYPON
MANUFAC.: FYPON
COLOR: WHITE
FEATURES: MOISTURE & WEATHER RESISTANT, EXTERIOR GRADE

HARDIETRIM BOARDS

James Hardie
TRIM
MANUFAC.: JAMES HARDIE
COLOR: ARTIC WHITE
THICKNESS: 0.75"
LENGTH: 144" BOARDS
WIDTH: 11.25"

CULTURED STONE

BASE ACCENT
MANUFAC.: CULTURED STONE
STYLE: COUNTRY
COLOR: GRAND MESA

Milgard
MANUFAC.: MILGARD WINDOWS & DOORS
TYPE: CASEMENT & DOUBLE HUNG
FRAME: BRONZE ANODIZED WHITE
GLASS TYPE: CLEAR
GRID: SIMULATED DIVIDED LITE (SDL)
OITC: 30

EXHIBIT K - SIGNAGE

1 ADA Sign
1/2" = 1'-0"

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE.

TOWED VEHICLES MAY BE RECLAIMED AT (INSERT ADDRESS) OR BY TELEPHONING (INSERT TELEPHONE NUMBER)

LETTERING ON SIGN MUST BE A MINIMUM OF 1" IN HEIGHT

APPROPRIATE INFORMATION MUST BE INCLUDED ON SIGN (MINIMUM OF 1" IN HEIGHT)

2 ADA Parking Sign
12" = 1'-0"

12" TYP. 12" RADIUS. SIGN AREA = 70 SQ. IN., MIN. BLUE BACKGROUND. INTERNATIONAL SYMBOL OF ACCESSIBILITY. 3" HIGH LETTERING MIN., TYP. WHITE LETTERING. "VAN ACCESSIBLE" SIGN. "FINE" SIGN AT EACH ACCESSIBLE PARKING STALL.

NOTE: SIGN SHALL BE CONSTRUCTED OF A MINIMUM 0.082" THICK ALUMINUM PLATE IN FRONT OF EACH ACCESSIBLE PARKING STALL WITHIN CLEAR VIEW BUT NOT TO OBSTRUCT PASSAGE FROM PARKING STALL OR ANY WALKWAY.

surrounding
LUXELLO LED
LUXELLO | MODERN LIGHTED BLACK HOUSE LETTERS 5"

LUXELLO | MODERN BLACK NUMBERS BACKLIT 5"

Modern Lighted Black House Letters 5" Information:
The lighted 5" illuminated house letters and numbers are available in two sizes. The black LED letters are finished in a satin black color and available with an illuminated white or blue back-lit edge. The lighted 5 inch letters are IP-44 rated and suitable for residential and commercial sign lettering applications.

The black house letters are made from a solid piece of aluminum that is CNC machined and finished in a satin black anodized color for prolonged exterior usage. The acrylic back-lit illuminated case on the house letters screw together like a mechanical watch. Each letter contains 6 - 9 CREE LED panels which can be replaced at any time.

LED letters are powered by a low voltage LED Driver or a standard doorbell transformer. The lighted house letters work with any of the Luxello 5" LED House Numbers and they can be special ordered with a different LED color or a different metal finish.

5" Lighted House Letters
Model: LUX-L-5L
White or Blue LED
Size: Height 5", Depth: .55"
Screw Down Casing
Light: 6 - 9 CREE LED
Input: 10 - 16 Volt AC / DC

3 Address Letters & Numbers
1 1/2" = 1'-0"

CITY OF SAN LEANDRO * STANDARD PLANS

CONCRETE DRIVEWAY APPROACH

GENERAL CONCRETE NOTES

7 City Standard - 102
1 1/2" = 1'-0"

3 Fire Signage
1 1/2" = 1'-0"

NO PARKING FIRE LANE

4 Stop Sign
1 1/2" = 1'-0"

CITY OF SAN LEANDRO * STANDARD PLANS

CONCRETE CURB, GUTTER AND SIDEWALK

6 City Standard - 100
1 1/2" = 1'-0"

CITY OF SAN LEANDRO * STANDARD PLANS

CONCRETE DRIVEWAY APPROACH

7 City Standard - 102
1 1/2" = 1'-0"

NO PASSING ZONES - TWO DIRECTION

LEGEND
MARKER: TYPE D TWO-WAY YELLOW RETROREFLECTIVE
LINE: 6" YELLOW

NOTE: PAVEMENT MARKERS AND TRAFFIC LINES TYPICAL DETAIL PER CALIFORNIA DEPARTMENT OF TRANSPORTATION CALTRANS A20A DETAIL 22

8 CALTRANS A20A Detail 22
1/4" = 1'-0"

MONUMENT SIGN

9 Monument Sign, Proposed
1" = 1'-0"

Levellings Condominiums
874 Levellings Boulevard
San Leandro, CA 94579

10 West Elevation, Sign, Proposed
1" = 1'-0"

11 East Elevation, Sign, Proposed
1" = 1'-0"

12 South Elevation, Sign, Proposed
1" = 1'-0"

13 North Elevation, Sign, Proposed
1" = 1'-0"

REGISTERED ARCHITECT
ARCHITECTS
ARCHITECTS
ARCHITECTS

PROJECT REPRESENTATION:
JENNIFER WONG & ASSOCIATES
7700 HAYSTACK LANE, SUITE 100
CAMPBELL, CA 95008
(408) 375-2121
WWW.JWONGARCHITECTS.COM

PROJECT REPRESENTATION:
JENNIFER WONG & ASSOCIATES
7700 HAYSTACK LANE, SUITE 100
CAMPBELL, CA 95008
(408) 375-2121
WWW.JWONGARCHITECTS.COM

Site, Details & Signage

Project Schedule Revision

No.	Date	Description
1	2019.08.08	Planning
2	2019.07.07	Planning
3	2019.05.25	Planning
4	2019.05.11	Planning

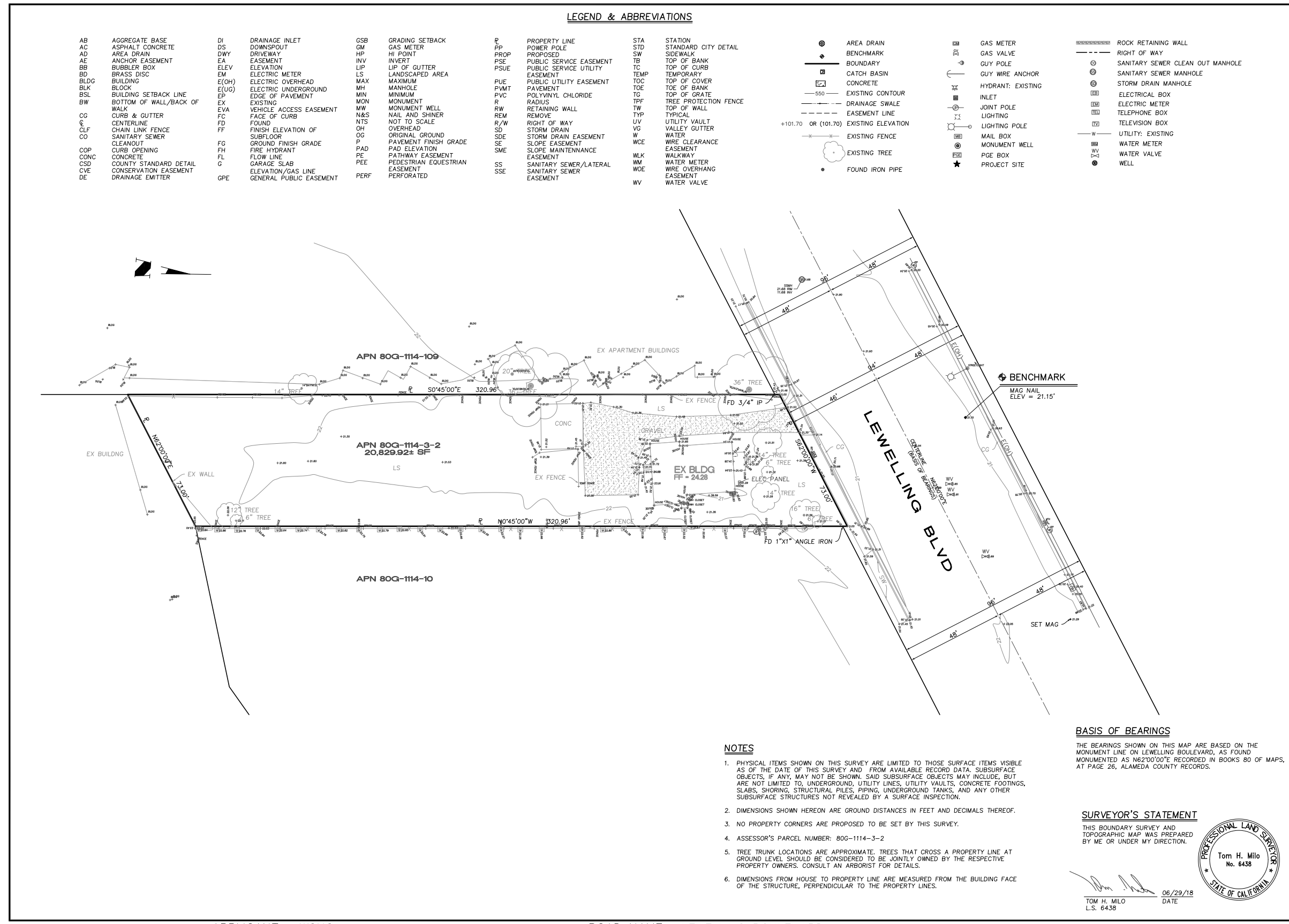
Site Details & Signage

G007

SCALE: As Indicated

7/10/2019 6:06:28 PM

EXHIBIT M - BOUNDARY SURVEY AND TOPOGRAPHIC MAP



LEGEND & ABBREVIATIONS

AB	AGGREGATE BASE	DI	DRAINAGE INLET	GSB	GRADING SETBACK	P	PROPERTY LINE	STA	STATION	●	AREA DRAIN	⊠	GAS METER	⊠	ROCK RETAINING WALL
AC	ASPHALT CONCRETE	DS	DOWNSPOUT	GM	GAS METER	PP	PROPOSED	STD	STANDARD CITY DETAIL	⊕	BENCHMARK	⊠	GAS VALVE	---	RIGHT OF WAY
AD	AREA DRAIN	DWY	DRIVEWAY	HP	HI POINT	PROP	PROPOSED	SW	SIDEWALK	⊕	BENCHMARK	⊠	GUY WIRE	⊕	SANITARY SEWER CLEAN OUT MANHOLE
AE	ANCHOR EASEMENT	EA	EASEMENT	INV	INVERT	PSE	PUBLIC SERVICE EASEMENT	TC	TOP OF CURB	⊕	BENCHMARK	⊠	GUY WIRE ANCHOR	⊕	SANITARY SEWER MANHOLE
BB	BUBBLER BOX	ELEV	ELEVATION	LIP	LIP OF GUTTER	PSUE	PUBLIC SERVICE UTILITY EASEMENT	TEMP	TEMPORARY	⊕	BENCHMARK	⊠	HYDRANT: EXISTING	⊕	STORM DRAIN MANHOLE
BD	BRASS DISC	EM	ELECTRIC METER	LS	LANDSCAPED AREA	PUE	PUBLIC UTILITY EASEMENT	TOC	TOP OF COVER	⊕	BENCHMARK	⊠	INLET	⊕	ELECTRICAL BOX
BLDG	BUILDING	E(OH)	ELECTRIC OVERHEAD	MAX	MAXIMUM	PVMT	PAVEMENT	TOE	TOE OF BANK	⊕	BENCHMARK	⊠	JOINT POLE	⊕	ELECTRIC METER
BLK	BLOCK	E(UG)	ELECTRIC UNDERGROUND	MH	MANHOLE	PVC	POLYVINYL CHLORIDE	TOF	TOP OF GRADE	⊕	BENCHMARK	⊠	LIGHTING	⊕	TELEPHONE BOX
BSL	BUILDING SETBACK LINE	EP	EDGE OF PAVEMENT	MIN	MINIMUM	R	RADIUS	TG	TOP OF GRADE	⊕	BENCHMARK	⊠	LIGHTING POLE	⊕	TELEVISION BOX
BW	BOTTOM OF WALL/BACK OF WALK	EX	EXISTING	MON	MONUMENT	RET	RETAINING WALL	TWF	TREE PROTECTION FENCE	⊕	BENCHMARK	⊠	MAIL BOX	⊕	UTILITY: EXISTING
CG	CURB & GUTTER	EVA	VEHICLE ACCESS EASEMENT	MW	MONUMENT WELL	RM	REMOVE	TYP	TYPICAL	⊕	BENCHMARK	⊠	MONUMENT WELL	⊕	WATER METER
CL	CENTERLINE	FC	FACE OF CURB	N&S	NAIL AND SHINER	R/W	RIGHT OF WAY	UV	UTILITY VAULT	⊕	BENCHMARK	⊠	PGE BOX	⊕	WATER VALVE
CLF	CHAIN LINK FENCE	FF	FINISH ELEVATION OF FLOOR	NTS	NOT TO SCALE	SD	STORM DRAIN	VG	VALLEY GUTTER	⊕	BENCHMARK	⊠	PROJECT SITE	⊕	WELL
CO	SANITARY SEWER	FG	GROUND FINISH GRADE	OH	OVERHEAD	SDE	STORM DRAIN EASEMENT	W	WATER	⊕	BENCHMARK				
COP	CURB OPENING	FL	FLOW LINE	OG	ORIGINAL GROUND	SE	SLOPE EASEMENT	WCE	WIRE CLEARANCE EASEMENT	⊕	BENCHMARK				
CONC	CONCRETE	FL	FIRE HYDRANT FLOW LINE	P	PAVEMENT FINISH GRADE	SME	SLOPE MAINTENANCE EASEMENT	WLK	WALKWAY	⊕	BENCHMARK				
CSD	COUNTY STANDARD DETAIL	G	GARAGE SLAB	PAD	PAVEMENT FINISH GRADE	SS	SANITARY SEWER/LATERAL EASEMENT	WME	WATER METER EASEMENT	⊕	BENCHMARK				
CVE	CONSERVATION EASEMENT			PEE	PEDESTRIAN EQUESTRIAN EASEMENT	SSE	SANITARY SEWER EASEMENT	WVO	WIRE OVERHANG EASEMENT	⊕	BENCHMARK				
DE	DRAINAGE EMITTER	GPE	GENERAL PUBLIC EASEMENT	PERF	PERFORATED			WV	WATER VALVE	⊕	BENCHMARK				

NOTES

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 80G-1114-3-2
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
- DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES.

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE MONUMENT LINE ON LEWELLING BOULEVARD, AS FOUND MONUMENTED AS N62°00'00"E RECORDED IN BOOKS 80 OF MAPS, AT PAGE 26, ALAMEDA COUNTY RECORDS.

SURVEYOR'S STATEMENT

THIS BOUNDARY SURVEY AND TOPOGRAPHIC MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

TOM H. MILO
L.S. 6438
DATE 06/29/18



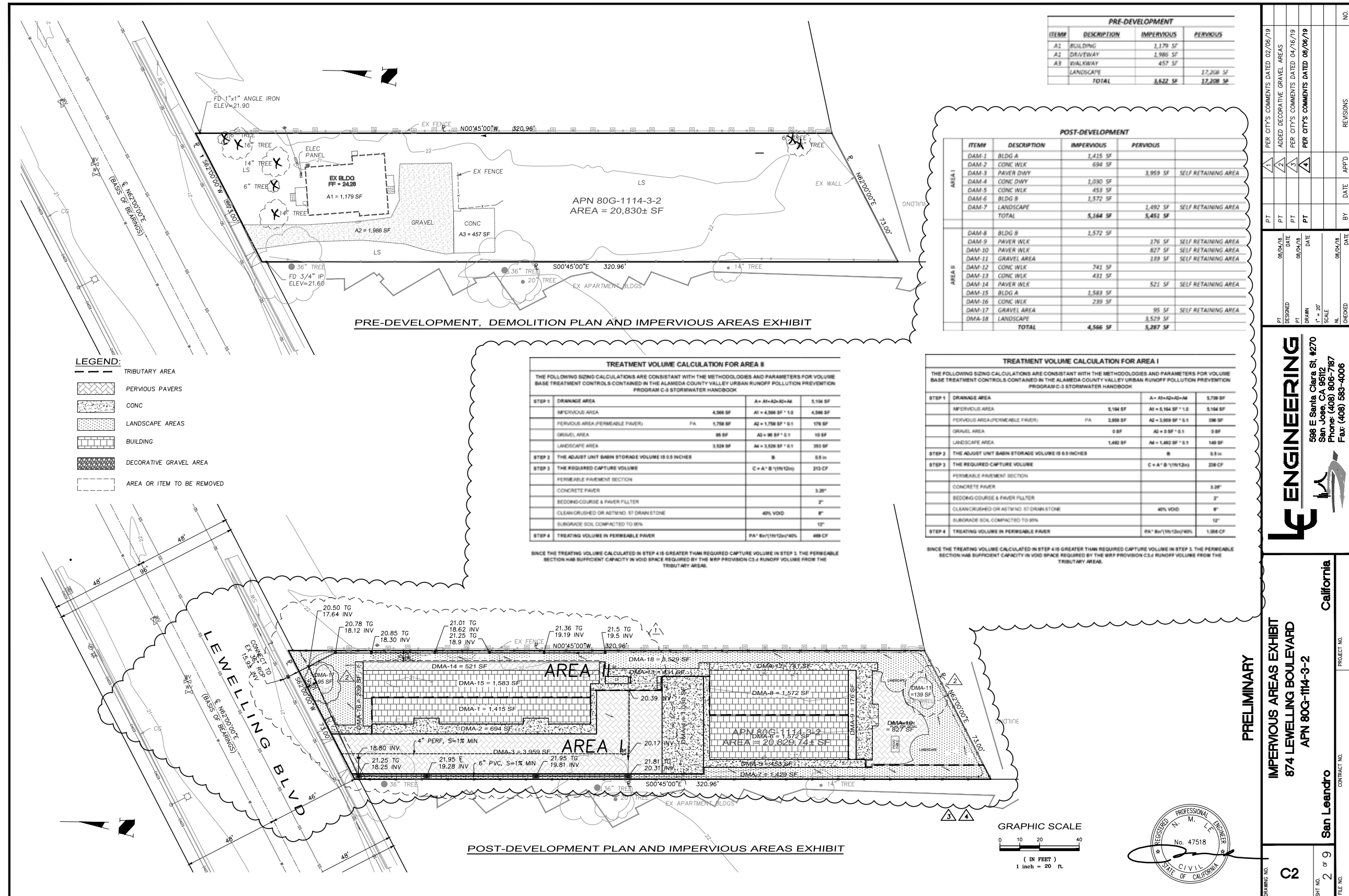
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PT	06/29/18	CT	06/29/18				
SCALE	1" = 20'						
ENGINEERING 598 E Santa Clara St, #270 San Jose, CA 95112 Phone: (408) 906-7187 Fax: (408) 983-4006							
BOUNDARY SURVEY AND TOPOGRAPHIC MAP 874 LEWELLING BOULEVARD APN 80G-1114-3-2 California San Leandro PROJECT NO. _____ CONTRACT NO. _____							
DRAWING NO.	T1	SHEET NO.	1	OF	1	FILE NO.	

APPLICANT : WONG

ROAD NAME : LEWELLING BOULEVARD

FILE NO : .

EXHIBIT O - IMPERVIOUS AREAS



APPLICANT :

ROAD NAME : LEWELLING BOULEVARD

FILE NO : PLN17-0069

PER CITY'S COMMENTS DATED 02/06/19
ADDED DECORATIVE GRAVEL AREAS

PER CITY'S COMMENTS DATED 04/16/19

PER CITY'S COMMENTS DATED 08/06/19

DATE: 08/04/19
DESIGNED: [Signature]
DATE: 08/04/19
DRAWN: [Signature]
DATE: 08/04/19
SCALE: 1" = 20'
CHECKED: [Signature]
DATE: 08/04/19

ENGINEERING
596 E Santa Clara St. #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

California

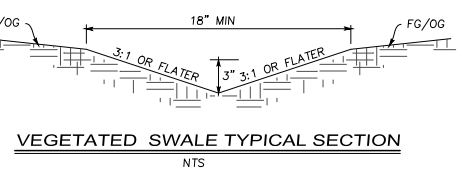
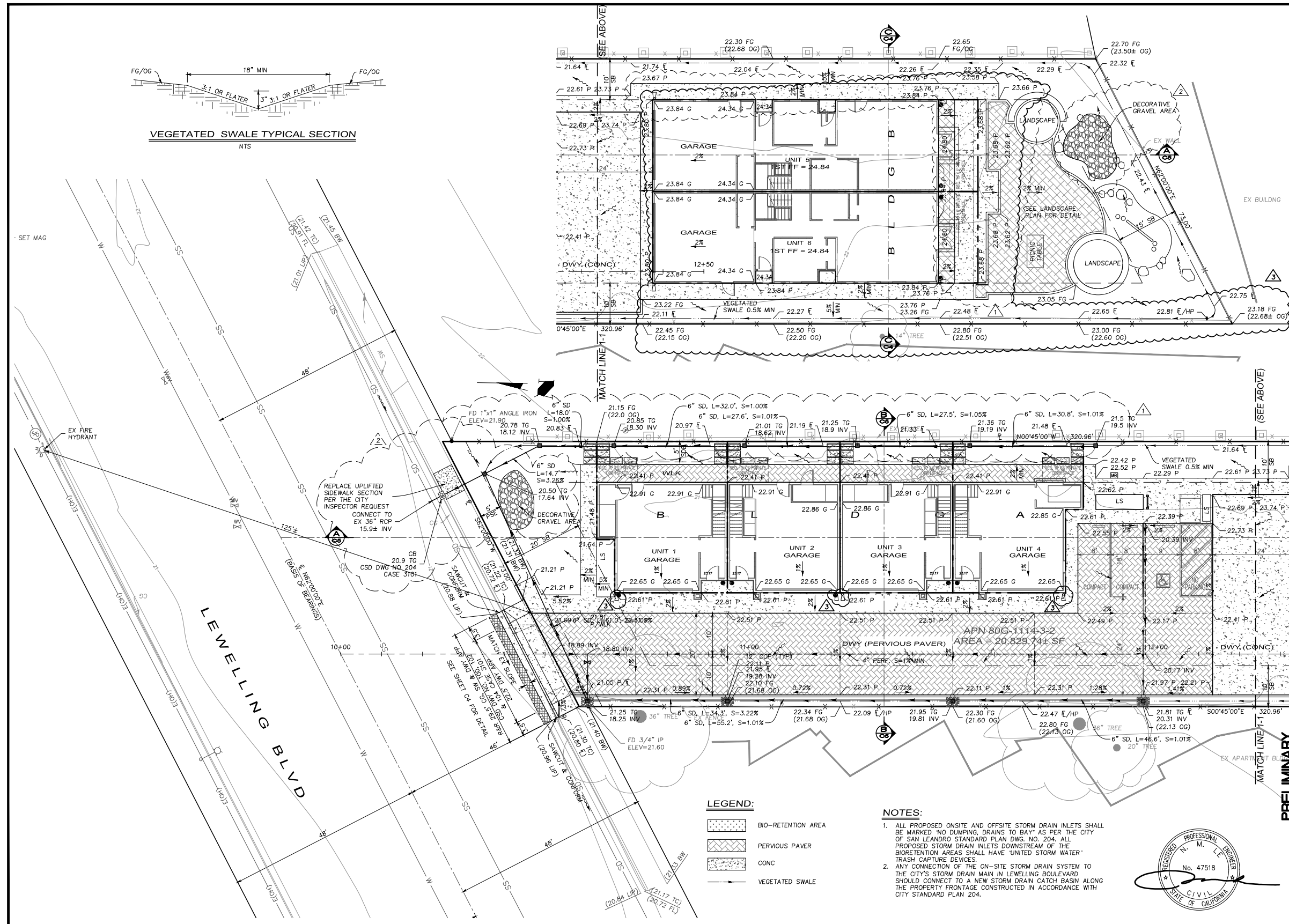
PRELIMINARY
IMPERVIOUS AREAS EXHIBIT
874 LEWELLING BOULEVARD
APN 80G-1114-3-2

San Leandro
CONTRACT NO. [Blank]
PROJECT NO. [Blank]

SHR NO. 2
OF 9
FILE NO. [Blank]

PROFESSIONAL ENGINEER
No. 47518
CIVIL
STATE OF CALIFORNIA

EXHIBIT P.1 - GRADING AND DRAINAGE - SITE



- LEGEND:**
- BIO-RETENTION AREA
 - PERVIOUS PAVER
 - CONC
 - VEGETATED SWALE

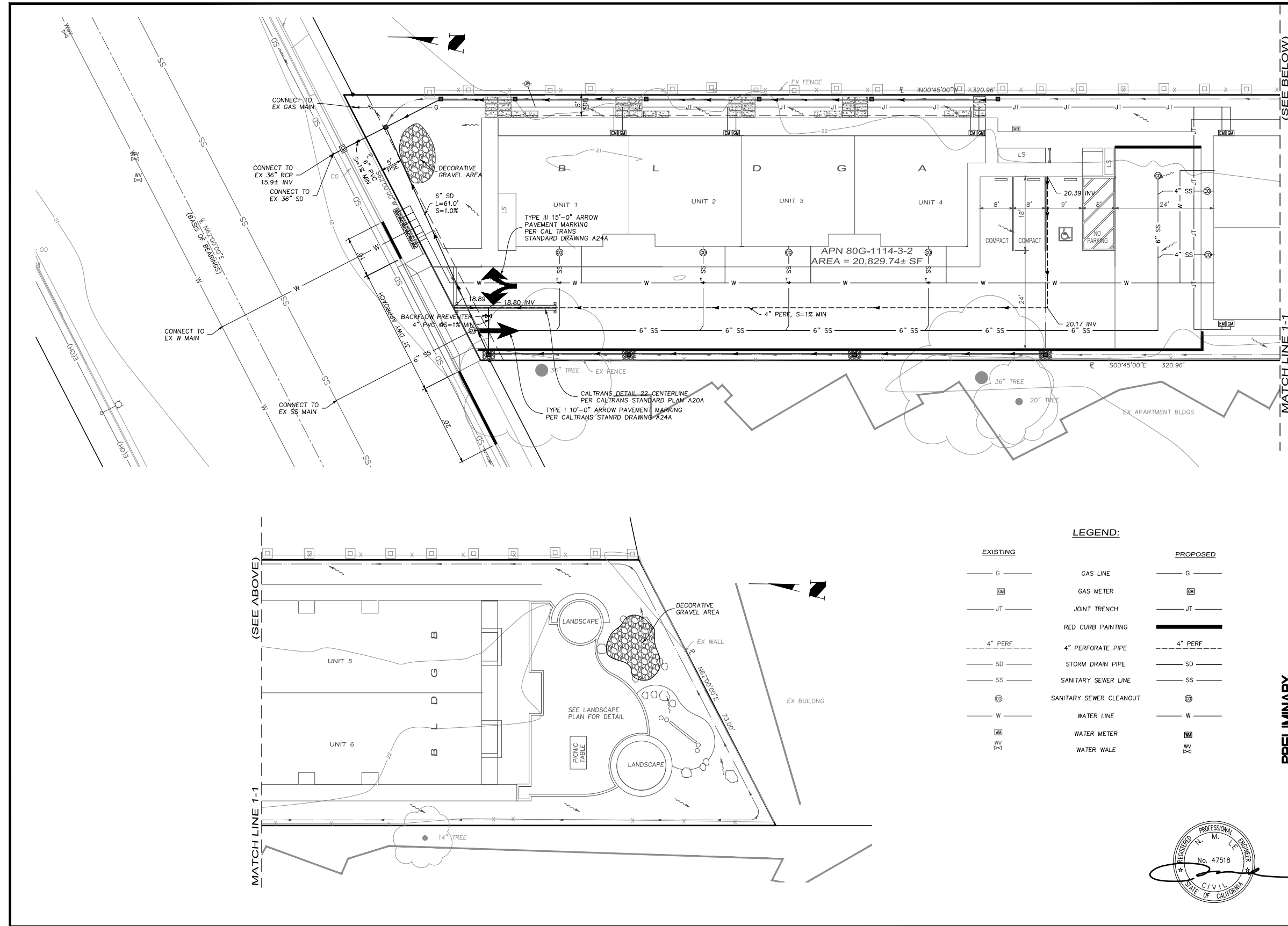
- NOTES:**
1. ALL PROPOSED ONSITE AND OFFSITE STORM DRAIN INLETS SHALL BE MARKED "NO DUMPING, DRAINS TO BAY" AS PER THE CITY OF SAN LEANDRO STANDARD PLAN DWG. NO. 204. ALL PROPOSED STORM DRAIN INLETS DOWNSTREAM OF THE BIORETENTION AREAS SHALL HAVE "UNITED STORM WATER" TRASH CAPTURE DEVICES.
 2. ANY CONNECTION OF THE ON-SITE STORM DRAIN SYSTEM TO THE CITY'S STORM DRAIN MAIN IN LEWELLING BOULEVARD SHOULD CONNECT TO A NEW STORM DRAIN CATCH BASIN ALONG THE PROPERTY FRONTAGE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD PLAN 204.



ENGINEERING 588 E Santa Clara St. #270 San Jose, CA 95122 Phone: (408) 806-7887 Fax: (408) 583-4006	
GRADING AND DRAINAGE PLAN 874 LEWELLING BOULEVARD APN 80G-1114-3-2 California	
PROJECT NO. 3 of 9	CONTRACT NO. San Leandro
PER CITY'S COMMENTS DATED 02/08/19 PER CITY'S COMMENTS DATED 04/16/19	REVISIONS NO.
DESIGNED DATE 08/05/18	CHECKED DATE 08/05/18
DRAWN DATE 09/05/18	APP'D DATE 08/05/18
SCALE 1" = 10'	BY
NO.	DATE

APPLICANT : ROAD NAME : LEWELLING BOULEVARD FILE NO : PLN17-0069

EXHIBIT R - UTILITY AND STRIPING PLAN



DESIGNED	DATE	08/04/18
DRAWN	DATE	08/04/18
CHECKED	DATE	08/04/18
SCALE	DATE	1" = 10'

ENGINEERING
 598 E Santa Clara St, #270
 San Jose, CA 95112
 Phone: (408) 806-7187
 Fax: (408) 583-4006

PRELIMINARY
 UTILITY AND STRIPING PLAN
 874 LEWELLING BOULEVARD
 APN 80G-1114-3-2
 California
 San Leandro
 PROJECT NO. CONTRACT NO.

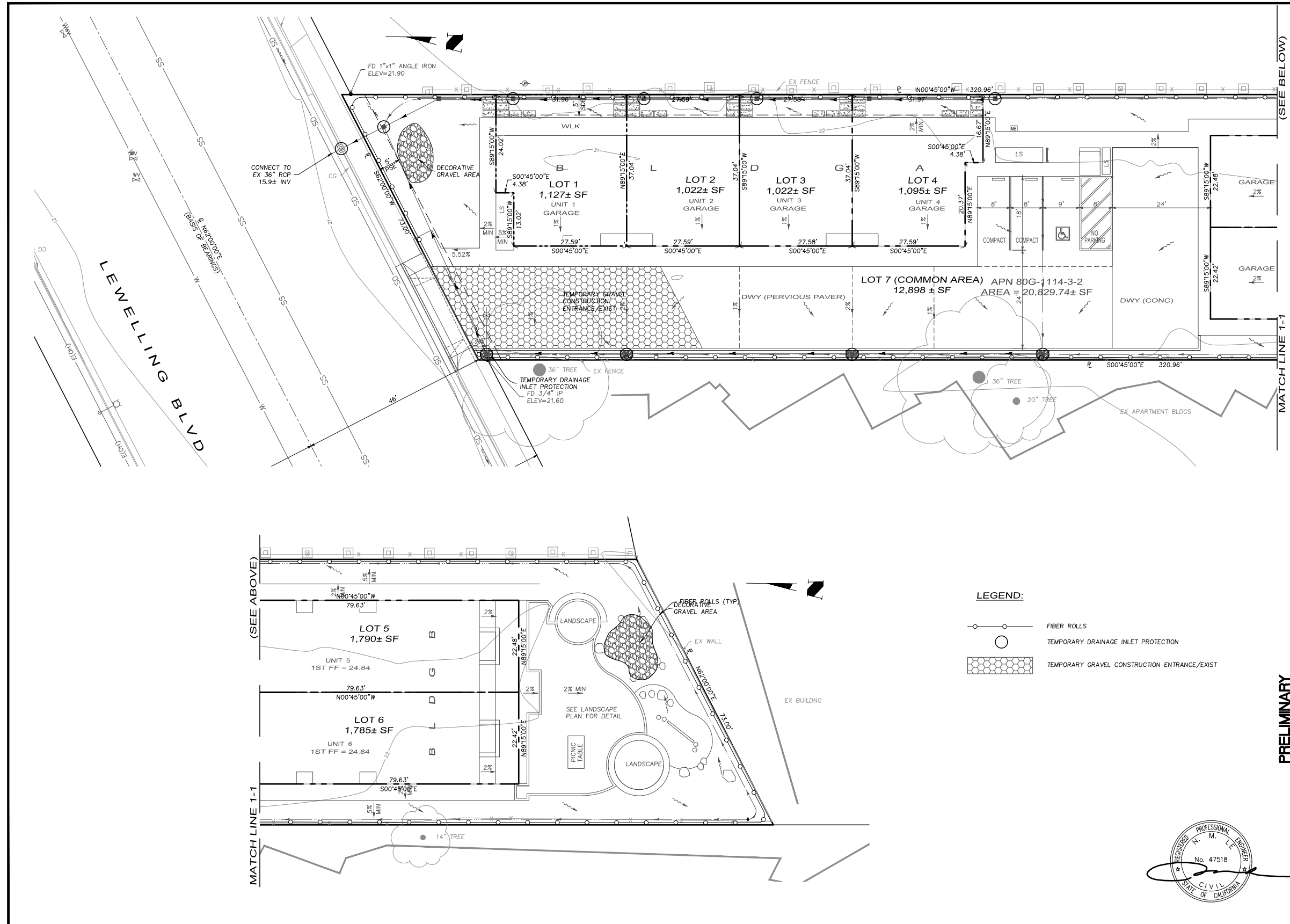
DRAWING NO. **06**
 SHEET NO. **6** OF **9**
 FILE NO.

APPLICANT :

ROAD NAME : LEWELLING BOULEVARD

FILE NO : PLN17-0069

EXHIBIT S - EROSION CONTROL PLAN



ENGINEERING 598 E Santa Clara St. #270 San Jose, CA 95128 Phone: (408) 806-7887 Fax: (408) 583-4006	DESIGNED: 08/05/18 DRAWN: 09/05/18 SCALE: 1" = 10' CHECKED: 08/05/18	DATE: 08/05/18 DATE: 09/05/18 DATE: 08/05/18	NO. REVISIONS DATE BY APP'D
	PROJECT NO.: CONTRACT NO.: FILE NO.:		
PRELIMINARY			
EROSION CONTROL PLAN 874 LEWELLING BOULEVARD APN 80G-1114-3-2 California			
DRAWING NO.: C7	SHEET NO.: 7 of 9	PROJECT NO.: CONTRACT NO.: FILE NO.:	PROJECT NO.: CONTRACT NO.: FILE NO.:

APPLICANT : ROAD NAME : LEWELLING BOULEVARD FILE NO : PLN17-0069

EXHIBIT U - LANDSCAPE PLAN



BALANCE BUTTON LOOP



BALANCE BEAM



FLAT STEP STONE BOULDER

GENERAL NOTES

- 1) See architectural plans for concrete walls and driveway material.
- 2) Fences to be Belgard Lullax Green Stone set on sand and base rock.
- 3) See civil plans for retention area details. Place combination of 1'-2" and 4'-6" cobbles and use of new Sevens' boulders to border retention areas as shown.
- 4) Surfaces and play area to be Fiber or equal, wheelchair accessible surfaces. See civil plan for drainage measures below Fiber material. Install wood fabric and 1/2" thick layer of Fiber StrataSoft play area. Play area to be edged with 4" square steel leader, or equal.
- 5) Lunar fabric boulders at play area to be Chief Cliff with a mix of size for stepping on and sitting.
- 6) Seat wall and raised planter to be faced with stone and capped with Connecticut Phosphate fill rezeq. Topped with cap.



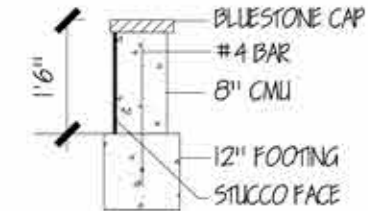
RAISED PLANTER/ SEAT WALL



3'-0" FENCE - PRESSURE TREATED WOOD - WHITE PAINT
6'-0" FENCE - PRESSURE TREATED WOOD - TRANSPARENT STAIN FINISH



BELGARD PAVER



SEAT/PLANTER WALL

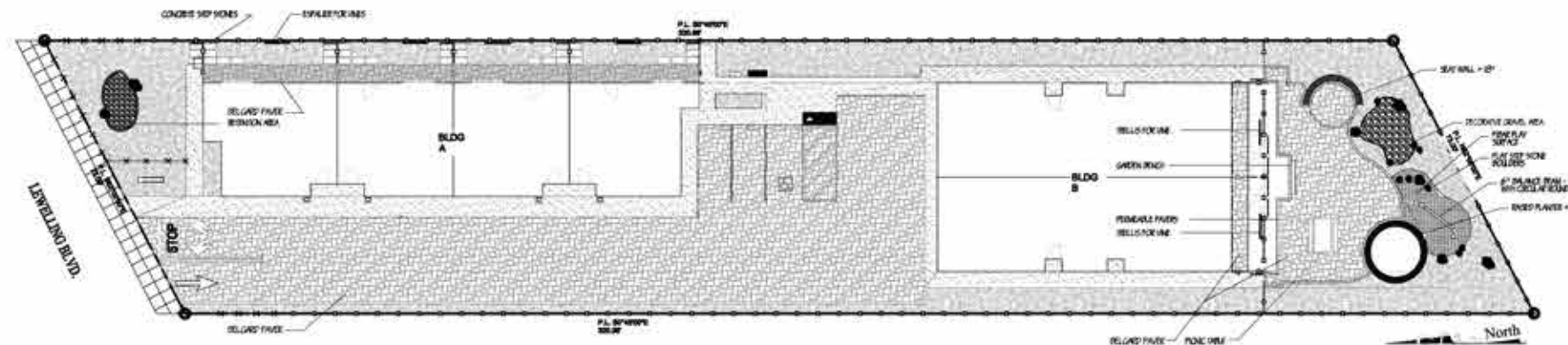


FIBER PLAY SURFACE



LEGEND

- CONCRETE
- BELGARD PAVER
- FIBER
- DECORATIVE GRAVEL/ STORMWATER TREATMENT
- PLANTING/ EARTH



OVERALL SITE PLAN

1/16" = 1'-0"

W. Jeffrey Heid
Landscape Architect
C-2295

6179 Orinda Drive
San Jose, California 95129

tel: 408 691-5207
fax: 408 226-6089
email: wjheid@comcast.net

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REVISED 7/30/18
REVISED 8/6/18
REVISED 12/22/18
REVISED 5/10/19



LEWELLING
CONDOMINIUMS

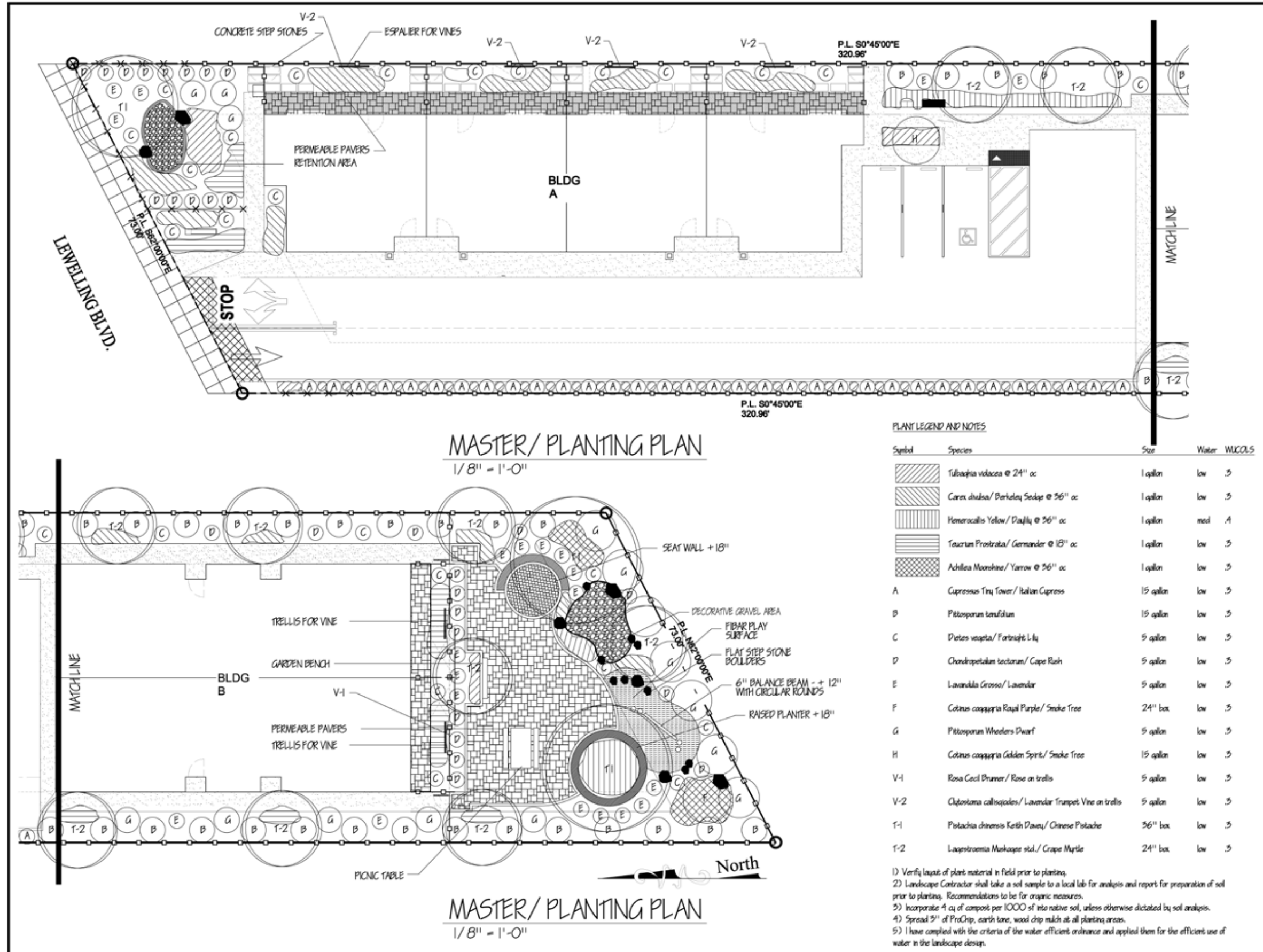
for:
BAY HOME INVESTMENTS
AND LOANS, INC.
874 LEWELLING BLVD.
SAN LEANDRO, CA 94579

OVERALL SITE PLAN

date: 7/19/18
scale: NOTED
drawn by: WJH
job no. 21837
sheet

1
of 5 shts

EXHIBIT V.1 - PLANTING



W. Jeffrey Held
Landscape Architect
C-2295

6179 Oneda Drive
San Jose, California 95125
Tel 408 691-9207
Fax 408 226-6089
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REVISED 8/6/18
REVISED 12/22/18
REVISED 5/10/19



LEWELLING
CONDOMINIUMS

for:
BAY HOME INVESTMENTS
AND LOANS, INC.
874 LEWELLING BLVD.
SAN LEANDRO, CA 94579

MASTER PLANTING
PLAN

date: 7/19/18
scale: NOTED
drawn by: WJH
job no. 21837
sheet

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of 5 shts

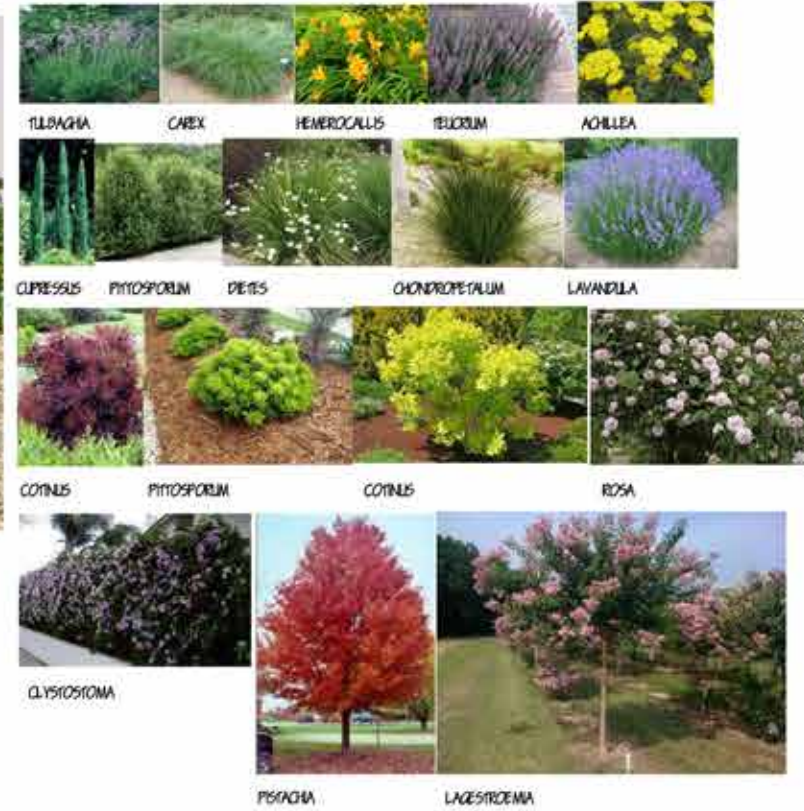
EXHIBIT V.2 - PHOTOS AND DETAILS



REAR VIEW / DECORATIVE GRAVEL



STORMWATER TREATMENT / DECORATIVE GRAVEL



W. Jeffrey Held
Landscape Architect
C-2235

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San Jose, California 95129

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email: wjh@heldlandscape.com

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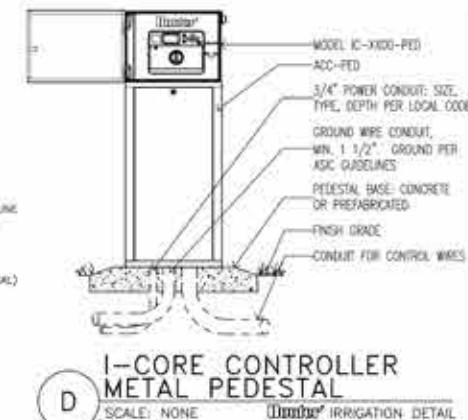
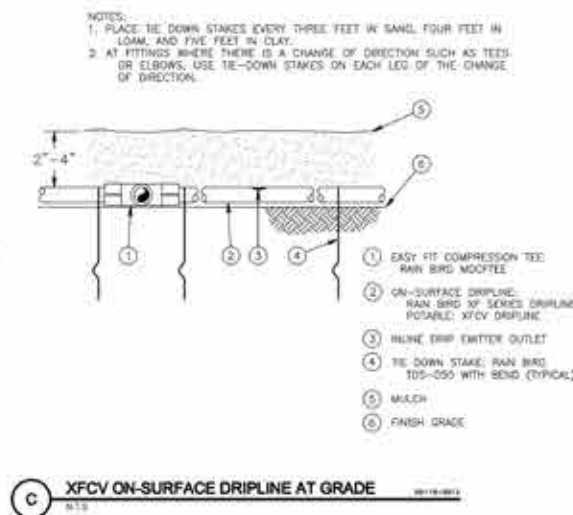
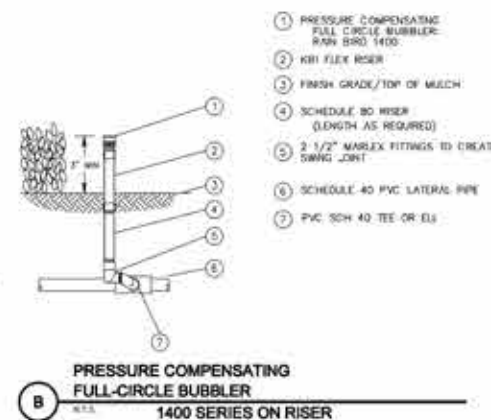
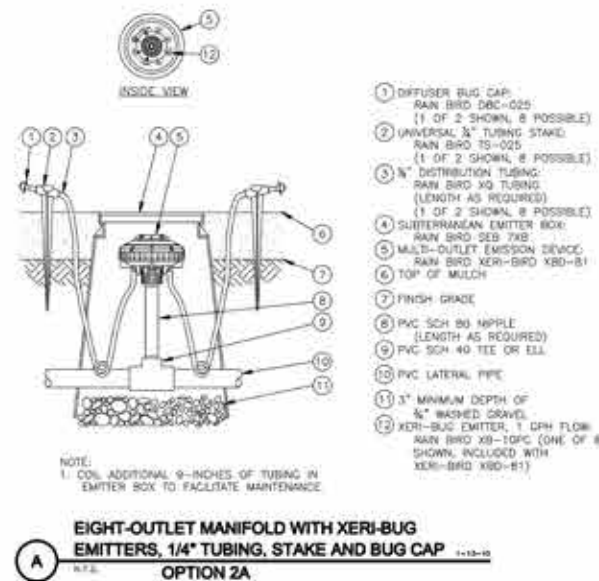
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LEWELLING
CONDOMINIUMS

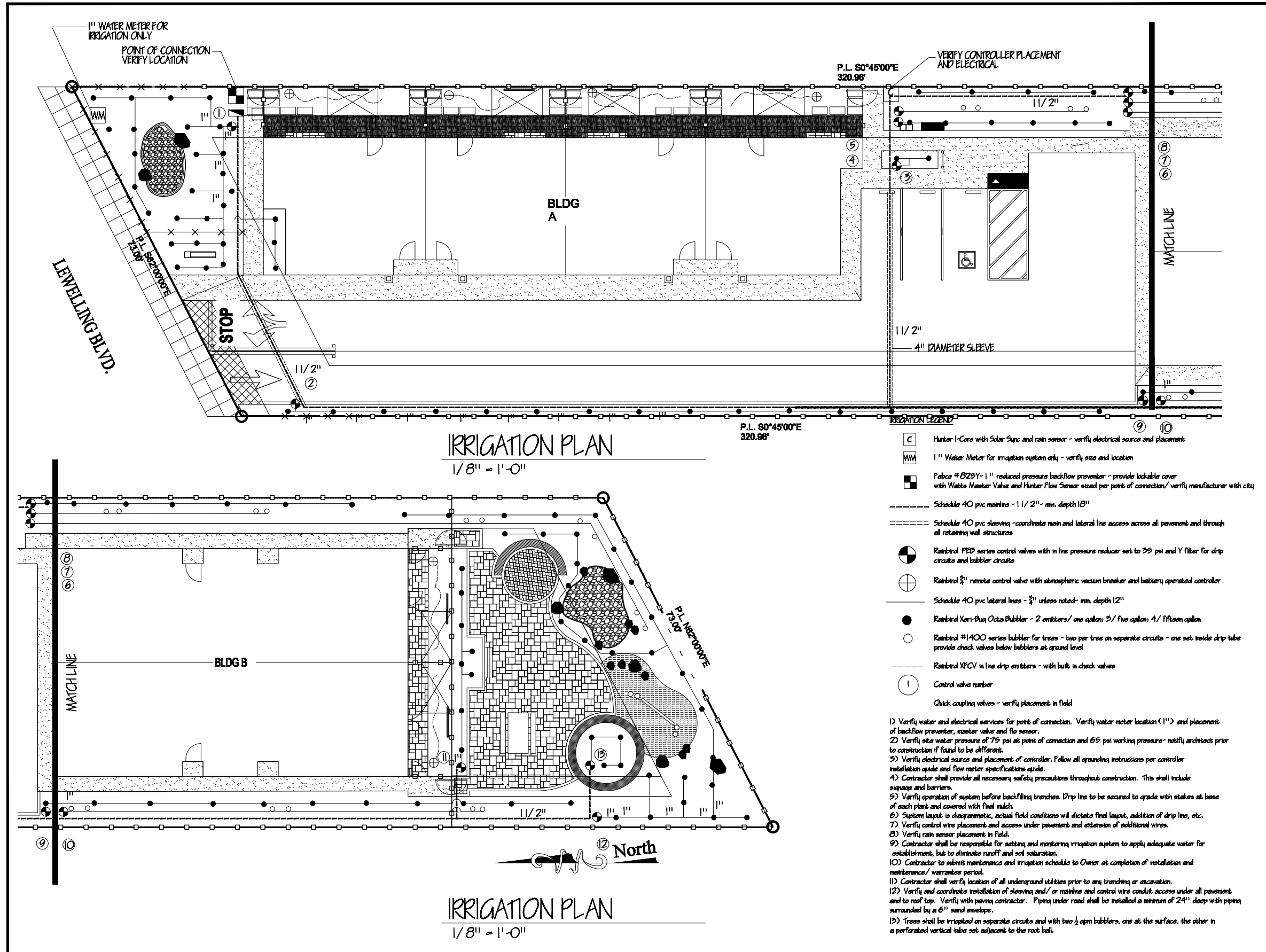
for:
BAY HOME INVESTMENTS
AND LOANS, INC.
874 LEWELLING BLVD.
SAN LEANDRO, CA 94579

PHOTOS AND DETAILS



date: 7/30/18
scale: NOTED
drawn by: WJH
job no. 21837
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of 5 shts.

EXHIBIT X - IRRIGATION PLAN



W. Jeffrey Heid
Landscape Architect
C-2255

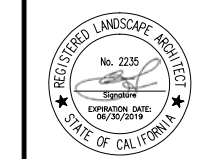
6179 Oneida Drive
San Jose, California 95125

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LEWELLING
CONDOMINIUMS

for:
BAY HOME INVESTMENTS
AND LOANS, INC.
874 LEWELLING BLVD.
SAN LEANDRO, CA 94579

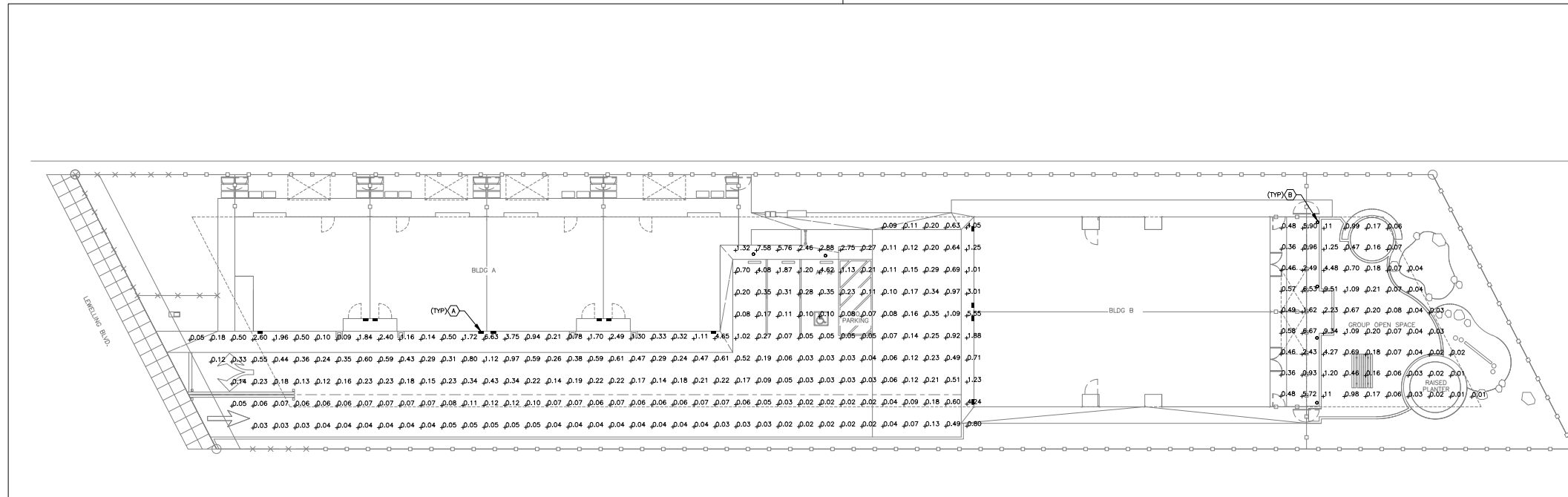
IRRIGATION PLAN

date: 7/30/18
scale: NOTED
drawn by: WJH
job no. 21837
sheet
L 4
of 5 shts

- IRRIGATION LEGEND**
- C Hunter I-Core with Solar Sync and rain sensor - verify electrical source and placement
 - WM 1" Water Meter for irrigation system only - verify size and location
 - Febrco #B25Y-1" reduced pressure backflow preventer - provide lockable cover with Watts Master Valve and Hunter Flow Sensor sized per point of connection/ verify manufacturer with city
 - Schedule 40 pvc mainline - 1 1/2" - min. depth 18"
 - Schedule 40 pvc sleeve - coordinate main and lateral line access across all pavement and through all retaining wall structures
 - Rainbird PEP series control valves with in line pressure reducer set to 35 psi and Y filter for drip circuits and bubbler circuits
 - Rainbird 3/4" remote control valve with atmospheric vacuum breaker and battery operated controller
 - Schedule 40 pvc lateral lines - 3/4" unless noted- min. depth 12"
 - Rainbird Vert-Bug Oeba Bubbler - 2 emitters/ one gallon: 3/ five gallon: 4/ fifteen gallon
 - Rainbird #1400 series bubbler for trees - two per tree on separate circuits - one set inside drip tube provide check valves below bubblers at ground level
 - Rainbird XFCV in line drip emitters - with built in check valves
 - Control valve number
 - Quick coupling valves - verify placement in field

- 1) Verify water and electrical services for point of connection. Verify water meter location (1") and placement of backflow preventer, master valve and flo sensor.
- 2) Verify site water pressure of 75 psi at point of connection and 65 psi working pressure- notify architect prior to construction if found to be different.
- 3) Verify electrical source and placement of controller. Follow all grounding instructions per controller installation guide and flow meter specifications guide.
- 4) Contractor shall provide all necessary safety precautions throughout construction. This shall include signage and barriers.
- 5) Verify operation of system before backfilling trenches. Drip line to be secured to grade with stakes at base of each plant and covered with final mulch.
- 6) System layout is diagrammatic, actual field conditions will dictate final layout, addition of drip lines, etc.
- 7) Verify control wire placement and access under pavement and extension of additional wires.
- 8) Verify rain sensor placement in field.
- 9) Contractor shall be responsible for setting and monitoring irrigation system to apply adequate water for establishment, but to eliminate runoff and soil saturation.
- 10) Contractor to submit maintenance and irrigation schedule to Owner at completion of installation and maintenance/ warranty period.
- 11) Contractor shall verify location of all underground utilities prior to any trenching or excavation.
- 12) Verify and coordinate installation of sleeve and/ or mainline and control wire conduit access under all pavement and to roof top. Verify with paving contractor. Piping under road shall be installed a minimum of 24" deep with piping surrounded by a 6" sand envelope.
- 13) Trees shall be irrigated on separate circuits and with two 1/2 gpm bubblers, one at the surface, the other in a perforated vertical tube set adjacent to the root ball.

EXHIBIT Y - LIGHTING PLAN



1 SITE PHOTOMETRIC PLAN 1/2/2018
E1.0 SCALE: 3/32"=1'-0"

GENERAL NOTES:

- MR ENGINEERING, INC. DISCLAIMER:
CALCULATIONS ARE PERFORMED USING INDUSTRY-RECOGNIZED SOFTWARE, AND ARE PROVIDED FOR ESTIMATION PURPOSES ONLY. INPUT DATA FOR THE CALCULATIONS CORRESPONDS TO THE INFORMATION PROVIDED TO US (ASSUMPTIONS MAY BE MADE FOR INFORMATION THAT IS NOT PROVIDED). IT IS THE RESPONSIBILITY OF THOSE USING THIS SERVICE TO VERIFY THAT OUR INPUT DATA IS CONSISTENT WITH EXPECTED FIELD CONDITIONS. RESULTS OF THE LIGHTING CALCULATIONS ACCURATELY REFLECT THE INPUT DATA. HOWEVER, ACTUAL LIGHTING LEVELS WILL VARY DEPENDING ON FIELD CONDITIONS SUCH AS ROOM CHARACTERISTICS, TEMPERATURE, VOLTAGE, AND LAMP/BALLAST OUTPUT AND OTHER FACTORS. CALCULATIONS ARE ALSO SUBJECT TO THE LIMITATIONS OF THE SOFTWARE. DUE TO THE ABOVE CONSIDERATIONS, MR ENGINEERING, INC. CANNOT GUARANTEE THAT ACTUAL LIGHT LEVELS MEASURED IN THE FIELD WILL MATCH OUR INITIAL CALCULATIONS.
- PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP, RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL AND SITE CHARACTERISTICS.

SHEET NOTES:

- PHOTOMETRIC DATA SHOWN HAS BEEN CALCULATED BY INDUSTRY RECOGNIZED SOFTWARE USING A DIGITAL MODEL OF THE PROJECT AREA. DATA IS THEORETICAL ONLY AND DOES NOT REPRESENT ANY GUARANTEE OF RESULTING LIGHT LEVELS IN THE FIELD.
- DIGITAL MODEL USES CONSERVATIVE AND INDUSTRY STANDARD VALUES FOR INTERIOR AND EXTERIOR MATERIALS, FINISHES, COLORS, REFLECTANCE VALUES AND TRANSMITTANCE VALUES. INSTALLED MATERIALS WITH DARK COLORS OR LOW REFLECTANCE VALUES WILL TYPICALLY ADVERSELY AFFECT THE RESULTING ILLUMINANCE VALUES.
- ILLUMINANCE VALUES SHOWN REPRESENT HORIZONTAL ILLUMINANCE EXPRESSED IN FOOTCANDELS (FC).
- ILLUMINANCE VALUES SHOWN REPRESENT THE ILLUMINANCE RECEIVED FROM THE PROJECT ELECTRIC LIGHTING ONLY WITH NO DAYLIGHT OR OTHER AMBIENT LIGHT CONTRIBUTION.

CALCULATION SURFACE LIST							
DESIGNATION	CALC TYPE	UNITS	E _{av} (FC)	E _{max} (FC)	E _{min} (FC)	E _{ave} / E _{min}	E _{max} / E _{min}
BUILDING A PERIMETER	ILLUMINANCE	Fc	0.58	7.58	0.02	29	379
BUILDING B PERIMETER	ILLUMINANCE	Fc	1.19	9.08	0.01	119	909

EXTERIOR LIGHTING FIXTURE SCHEDULE						
FIXTURE TYPE	DESCRIPTION	MANUFACTURER'S CATALOG NO.	LAMPS	VOLT	WATTS	MOUNTING
⬤	Ⓐ LED WALL SCIENCE LUMINAIRE MOUNTING HEIGHT : 8 FEET	MODERN FORMS BALTHUS LED WALL SCIENCE OR APPROVED EQUAL	LED	120	10	WALL MOUNTED
⬤	Ⓑ LED BOLLARD LIGHT	VISIONAIRE LIGHTING OWK-2-PR-8R36-20LC-4K-UNV OR APPROVED EQUAL	LED	120	34	SURFACE MOUNTED

Balthus LED Indoor/Outdoor Wall Sconce
By Modern Forms

Product Options
Finish: Granite, Oil Rubbed Bronze, Black, Blue Smoky, Medium, Large
Voltage: 120 Volt

Details

- Slim to 1/2" with an electronic, low voltage (ELV) driver
- 80,000 hour rated life
- No transformer or driver required
- Mounts directly to junction box
- Designed in 2015
- Material: Aluminum
- Shade Material: Clear Mouth Blown Rippled Glass
- Dimensions when used with Electronic low voltage (ELV) driver dimensions included
- Diameter Range: 1 1/8"
- Deck Size: 2 1/2" x 2 1/2" x 2 1/2"
- ETL Listed Item
- Warranty: 3 Years Functional, 2 Years Finish
- Made in China

Dimensions
120 Volt Option Fixture: Width 9", Height 13.25", 16.5", 21", Depth 1.5", 4.5", 15.5"

Lighting

- Small Option: 30 Watt (400 Lumens) 120 Volt Integrated LED: CR: 90 Color Temp: 3000K (Lifespan: 80,000 hours)
- Medium Option: 30 Watt (800 Lumens) 120 Volt Integrated LED: CR: 90 Color Temp: 3000K (Lifespan: 80,000 hours)
- Large Option: 30 Watt (1475 Lumens) 120 Volt Integrated LED: CR: 90 Color Temp: 3000K (Lifespan: 80,000 hours)

Additional Details
Product URL: <https://www.lumens.com/balthus-led-indoor-outdoor-all-accessories-by-modern-forms-wfmp0982.html>
Rating: ETL Listed Item
Product ID: WFMP0982

Prepared by: _____
Prepared for: _____
Project: _____
Room: _____
Floor: _____
Approval: _____

Created September 13th, 2018

Shown in Oil Rubbed Bronze finish, Small size

OCEANWALK ROUND Bollard LED Specifications

Ordering Information

MODEL	OPTICS	SIZE	SOURCE	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS
OWK-2	PR	8R36	20LC	3	4K	UNV	AB	BK	SLS
OWK-1	PR	8R36	20LC	3	4K	UNV	AB	BK	SLS
OWK-2	PR	8R36	20LC	3	4K	UNV	AB	BK	SLS
OWK-2	PR	8R36	20LC	3	4K	UNV	AB	BK	SLS

Dimensions

OWK-1
Width: 3.88" x 3.88"
Height: 3.88" x 3.88"
Weight: 3.88" x 3.88"

Request Name: _____
Catalog Number: _____
Type: _____

2 LIGHT FIXTURE SPECS
E1.0 NOT TO SCALE

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Lewelling Condominiums
874 Lewelling Boulevard
San Leandro, CA 94579

Project Schedule
Revision

No.	Date	Description

SITE PHOTOMETRIC PLAN
E1.0
SCALE As Indicated
12/02/2018 3:43:17 PM

EXHIBIT Z - SIDEWALK REPAIR EXHIBIT

