

EXHIBIT A - COVER SHEET & GENERAL INFORMATION

ABBREVIATIONS

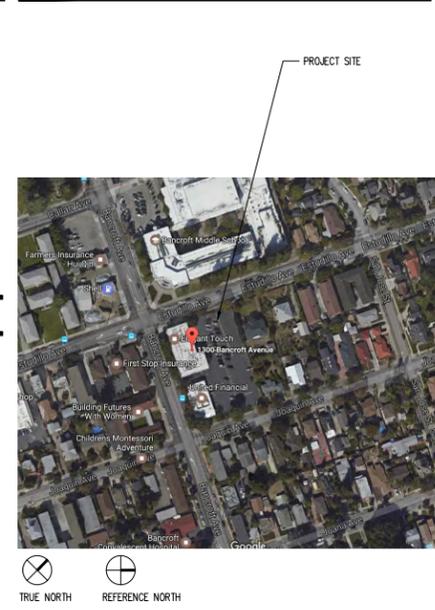
SCALE: N/A

&	AND	F.A.	FIRE ALARM	PL.	PLATE
∠	ANGLE	F.B.	FLOOR DRAIN	P.LAM.	PLASTIC LAMINATE
C	CENTERLINE	F.D.	FOUNDATION	P.WD.	PLYWOOD
∅	DIAMETER OR ROUND	F.E.	FIRE EXTINGUISHER	P.R.	PAPER
#	ROUND OR NUMBER	F.E.C.	FIRE EXTINGUISHER CABINET	P.R.-CAST	PAPER-TOWEL DISPENSER
(E)	EXISTING	F.H.C.	FIRE HOSE CABINET	P.T.D.	POINT
(N)	NEW	F.H.C.	FIRE HOSE CABINET	P.T.D./R	COMB. PAPER TOWEL DISPENSER & RECEPTACLE
A.B.	ANCHOR BOLT	F.L.	FLASHING	P.T.R.	PAPER TOWEL RECEPTACLE
ACC.	ACCESSIBLE	F.LUOR.	FLUORESCENT	Q.T.R.	QUARRY TILE RISER
AD.	ADJUSTABLE	F.O.C.	FACE OF CONCRETE	RAD.	RADIUS
A.F.F.	ABOVE FINISHED FLOOR	F.O.F.	FACE OF FINISH	R.C.P.	ROOF CEILING PLAN
AGGR.	AGGREGATE	F.O.S.	FACE OF STUDS	R.D.	ROOF DRAIN
ALUM.	ALUMINUM	F.P.	FIRE PROOF	R.F.	REFERENCE FLOOR
APPROX.	APPROXIMATE	F.P.F.	FLOOR FINISH	R.F.C.	REFERENCE FLOOR
ARCH.	ARCHITECTURAL	F.P.F.	FLOOR FINISH	R.F.C.	REFERENCE FLOOR
ASTM.	AM. SOC. OF TEST. & MAT.	F.P.F.	FLOOR FINISH	R.F.C.	REFERENCE FLOOR
BD.	BOARD	GA.	GALVE	R.F.C.	REFERENCE FLOOR
BDM.	BIRMINGHAM	GALV.	GALVANIZED	R.F.C.	REFERENCE FLOOR
BLDG.	BUILDING	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
BLK.	BLOCK	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
BLK.K.	BLOCKING	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
BLT.	BOLT	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
BLT.	BOTTOM	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
CAB.	CABINET	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
C.B.	CATCH BASIN	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
CEM.	CEMENT	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
CEM.	CERAMIC	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
CFCI	CONTRACTOR FURNISHED	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
C.F.	CONTRACTOR INSTALLED	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
C.G.	CORNER GUARD	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
C.I.P.	CAST IN PLACE	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
C.J.	CONTROL JOINT	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
CLG.	CEILING	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
CLG.	CEILING	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
CLO.	CLOSET	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
CLO.	CLOSET	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
CNTR.	COUNTER	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
C.O.	CASED OPENING	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
CONC.	CONCRETE	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
CONSTR.	CONSTRUCTION	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
CONSTR.	CONSTRUCTION	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
COOR.	CORRIDOR	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
C.S.B.	CONCRETE SPLASH BLOCK	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
C.TRSK.	COUNTERSUNK	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
DBL.	DOUBLE	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
DEPT.	DEPARTMENT	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
DET.	DETAIL	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
D.F.	DRINKING FOUNTAIN	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
DIA.	DIAMETER	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
DISP.	DISPENSER	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
D.O.	DOOR OPENING	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
DR.	DOWNPOUT	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
D.S.P.	DRY STANDPIPE	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
DT.	DATA COMMUNICATIONS	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
DWC.	DRAWING	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
DWR.	DRAWING	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
E.	EAST	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
E.A.	EACH	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
E.L.	EXPANSION JOINT	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
ELEV.	ELEVATION	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
ELEC.	ELECTRICAL	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
ELEV.	ELEVATION	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
ELEV.	ELEVATION	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
ENCL.	ENCLOSURE	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
E.O.	ELECTRICAL PANELBOARD	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
E.O.	ELECTRICAL PANELBOARD	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
E.O.P.	EQUIPMENT	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
E.W.C.	EMERGENCY SHOWER	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
E.W.C.	EYE WASH	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
EXP.O.	EXPOSED	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
EXP.	EXPANSION	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
EXT.	EXTENDING	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR
EXT.	EXTERIOR	G.C.P.	GENERAL CONTRACTOR	R.F.C.	REFERENCE FLOOR

PROJECT SCOPE

- DEMOLISHING OF (E) 2 OFFICE BUILDINGS AND SURFACE PARKING.
- NEW GROUND UP 3-STORY MULTI FAMILY - 45 UNITS - 43 (2)BEDROOMS & 2 (3)BEDROOMS
- SEE PROJECT DATA SUMMARY FOR BUILDING AREA, PARKING COUNTS AND PROJECT OPEN SPACE.

VICINITY MAP



CODE REFERENCE

- GOVERNING CODES *
- 2016 CALIFORNIA BUILDING CODE
 - 2016 CALIFORNIA ELECTRIC CODE
 - 2016 CALIFORNIA ENERGY CODE
 - 2016 CALIFORNIA MECHANICAL CODE
 - 2016 CALIFORNIA PLUMBING CODE
- * ALL OTHER CURRENT MUNICIPAL AND LOCAL ORDINANCES AND REGULATIONS

PROJECT DATA SUMMARY

PROJECT NAME:	1388 BANCROFT
PROJECT ADDRESS:	1388 BANCROFT AVENUE
PARCEL NUMBER:	77-524-12-4
ZONING:	P- PROFESSIONAL DISTRICT WITH RM-1800 DISTRICT OVERLAY
TYPE OF CONSTRUCTION:	TYPE-VA
OCCUPANCY GROUP:	R1, A (ROOF DECK)
NUMBER OF STORIES:	3-STORIES
HEIGHT LIMIT:	MAXIMUM 50'-0"
LIFE SAFETY:	FULLY SPRINKLERED
PROJECT AREA:	SEE FOLLOWING CHART

DRAWING INDEX

ARCHITECTURAL	
A00.00	COVER SHEET
A01.00	CONTEXT SITE PLAN
A01.10	SITE PHOTOS
A01.20	OCCUPANCY EGREES PLAN
A02.00	GROUND FLOOR PLAN
A02.01	SECOND & THIRD FLOOR PLAN
A02.02	ROOF PLAN
A03.01	ELEVATIONS AND SIGNAGE DETAIL
A03.02	ELEVATIONS
A04.01	SECTIONS
A05.01	PERSPECTIVES
A05.02	PERSPECTIVES
A05.03	PERSPECTIVES
A05.04	PERSPECTIVES
A06.01	UNIT PLANS

LANDSCAPE	
L1.1	LANDSCAPE MATERIALS PLAN - GROUND FLOOR
L1.2	LANDSCAPE MATERIALS PLAN - ROOF
L2.1	PLANTING PLAN - GROUND FLOOR
L2.2	PLANTING PLAN ROOF TOP
L3.1	SECTION ELEVATIONS
L4.1	MATERIALS AND IMAGES

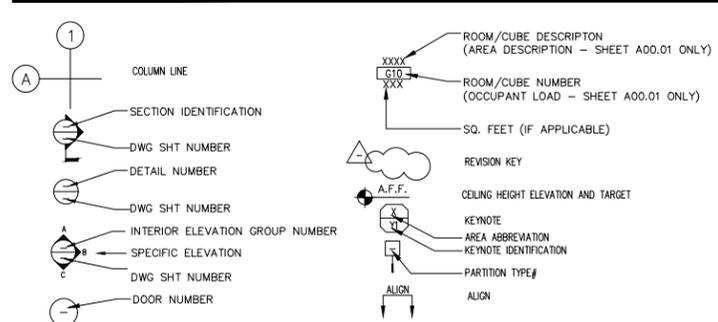
CIVIL	
C0.0	COVER SHEET
C1.0	TOPOGRAPHIC SURVEY
C2.0	SITE PLAN
C3.0	GRADING PLAN
C3.1	SECTIONS
C4.0	STORM WATER QUALITY CONTROL
C5.0	UTILITY PLAN

1000 BRANNAN STREET
SUITE 404
SAN FRANCISCO, CA 94103
T 415.371.1400
F 415.371.1401
www.axisgfa.com

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SAN LEANDRO, CA 94577
APN: 77-524-12-4

SYMBOLS



	BUILDING AREA		
	TOTAL BUILDING AREA	UNIT AREA	UNIT COUNT
1ST FLOOR	19930	12740	13
2ND FLOOR	19930	16080	16
3RD FLOOR	19930	16080	16
TOTAL	59790	44900	45

PROJECT DATA	
LOT SIZE	55,282 SF (1.27 ACRE)
CAR PARKING SPACE	PARKING COUNT INSIDE GATE: 47
COMPLEX WITH GREEN TRIP CERTIFICATION REQUIREMENTS	INCLUDING 2 ACCESSIBLE PARKING SPACES
	PARKING COUNT OUTSIDE GATE: 8
	INCLUDING 1 ACCESSIBLE PARKING SPACES
	TOTAL: 55 PARKING SPACES
	JOAQUIN AVENUE: 5 SPACES
BIKE PARKING	INSIDE - 50 BIKE PARKING SPACES
COMPLEX WITH GREEN TRIP CERTIFICATION REQUIREMENTS	OUTSIDE - 18 BIKE PARKING SPACES
UNITS/ACRE	34.64 /ACRE

	OPEN SPACE	PRIVATE (1)		COMMON (2)	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
3RD FL.	3200	960	1676	2240	---
2ND FL.	3200	960	1676	2240	---
OR FL.	2600	1560	2715	1040	6230
TOTAL	9000	3480	6067	5520	6230

- PRIVATE OPEN SPACE: 120 S.F. PER UNIT ON GROUND FLOOR
60 S.F. PER UNIT ON 2&3RD FLOOR
- COMMON OPEN SPACE: 200 S.F. PER UNIT LESS PRIVATE OPEN SPACE S.F.
- ROOF DECK: NOT REQUIRED FOR COMMON OPEN SPACE OPEN SPACE. ROOF DECK AREA IS 1800 S.F. ROOF PLANTED AREA IS 2638 S.F.

DIRECTORY

ARCHITECT:	CIVIL ENGINEER:	LANDSCAPE ARCHITECT:
AXIS ARCHITECTURE + DESIGN 1000 BRANNAN ST. SUITE 404 SAN FRANCISCO, CA 94103 (415) 371-1400 (415) 371-1401 FAX CONTACT: SHAWN ALEXANDER EMAIL: salexander@axisonline.net	GREENWOOD&MOORE, INC 3111 CASTRO VALLEY BLVD. CASTRO VALLEY, CA 94546 (510) 581-2772 (510) 581-6913 FAX CONTACT: BRIAN DORWARD EMAIL: bdorward@greenwoodmoore.com	PEDERSEN ASSOCIATES LANDSCAPE ARCHITECTURE 24 H STREET SAN RAFAEL, CA 94901 (415) 456-2070 (415) 456-2086 FAX CONTACT: PETE PEDERSEN EMAIL: ppedersen@pedersenassociates.com



NO.	DATE	ISSUES AND REVISIONS	BY
1.	05/01/2018	ENTITLEMENT SET	
2.	08/21/2018	REVISION 1	

DATE
SCALE

PROJECT NUMBER
COMPUTER FILE
PROJECT NAME

COVERSHEET & GENERAL INFORMATION

SHEET NUMBER

A00.00

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EXHIBIT B - CONTEXT SITE PLAN

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SUITE 404
SAN FRANCISCO, CA 94103
T 415.371.1400
F 415.371.1401
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1.	05/10/2018	ENTITLEMENT SET	
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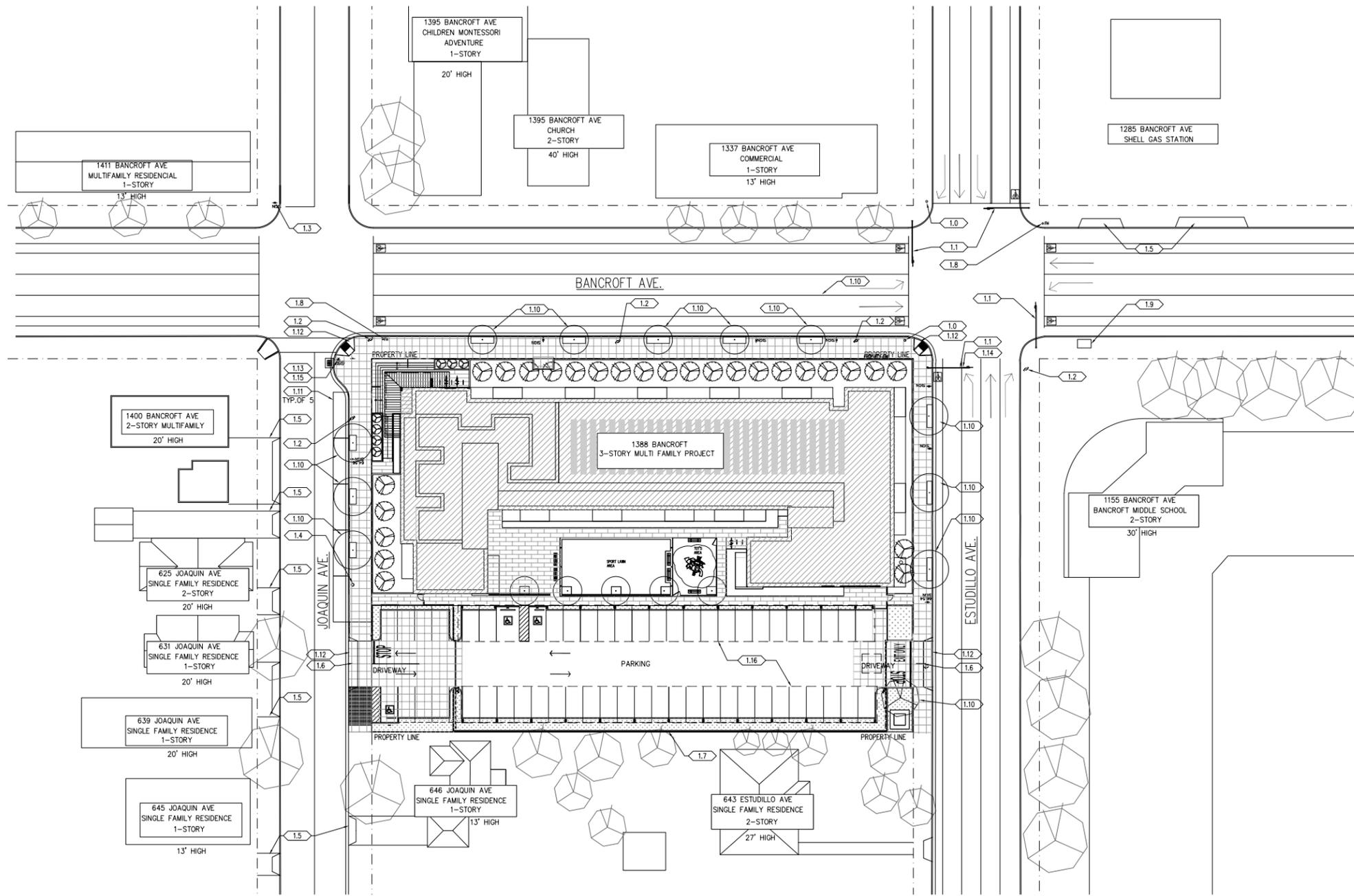
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PROJECT NAME

DESCRIPTION
CONTEXT SITE PLAN

SHEET NUMBER
A01.00

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KEY PLAN

- | | |
|-------------------------------------------------|-------------------------------------|
| 1.0 (E) TRAFFIC LIGHT | 1.12 (N) CURB RAMP |
| 1.1 (E) TRAFFIC LIGHT WITH STREET LIGHT FIXTURE | 1.13 (E) STREET SIGN |
| 1.2 (E) UTILITY POLE WITH STREET LIGHT FIXTURE | 1.14 (E) R3-1 "ACTIVATED BLANK-OUT" |
| 1.3 (E) STOP SIGN | 1.15 RELOCATED (E) STOP SIGN |
| 1.4 (E) STREET LIGHT FIXTURE | 1.16 OVERHEAD PARKING CANOPY |
| 1.5 (E) DRIVEWAY | 1.17 BUS STOP SHELTER |
| 1.6 (N) DRIVEWAY | |
| 1.7 (N) WOOD FENCE, SEE DRAWINGS | |
| 1.8 (E) FIRE HYDRANT | |
| 1.9 (E) FIBER OPTIC VAULT | |
| 1.10 (N) STREET TREE | |
| 1.11 (N) PARKING SPACES ON JOAQUIN AVE. | |

CONTEXT SITE PLAN
SCALE: 1:250

EXHIBIT C - SITE PHOTOS



1 ESTUDILLO AVENUE LOOKING EAST



2 BANCROFT STREET LOOKING SOUTH



3 JOAQUIN AVENUE LOOKING EAST



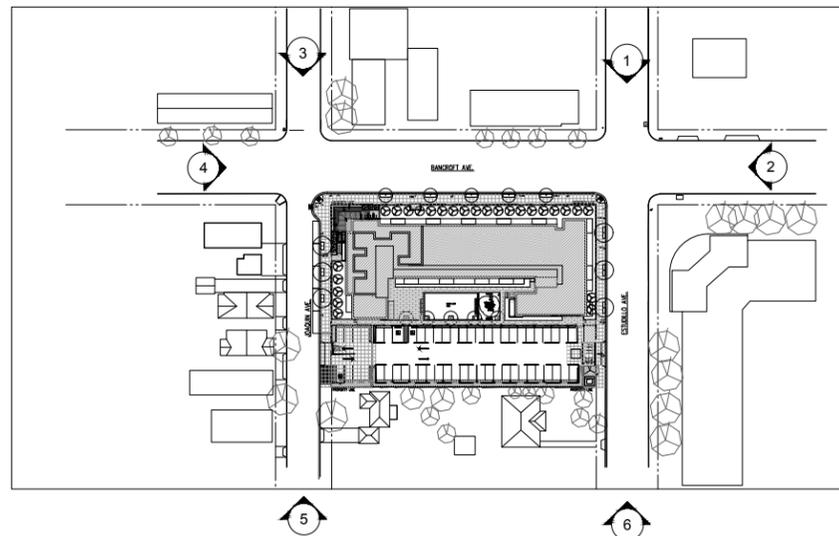
4 BANCROFT STREET LOOKING NORTH



5



6



AERIAL VIEW
SCALE: N.T.S.



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F 415.371.1401
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DATE
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PROJECT NUMBER
COMPUTER FILE
PROJECT NAME

DESCRIPTION
SITE PHOTOS

SHEET NUMBER
A01.10

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EXHIBIT D - OCCUPANCY EGRESS PLANS

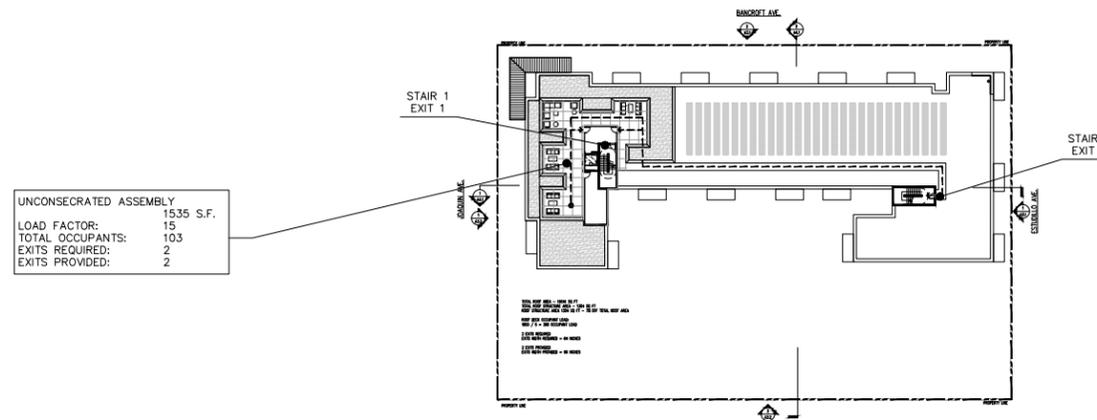


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SUITE 404
SAN FRANCISCO, CA 94103
T 415.371.1400
F 415.371.1401
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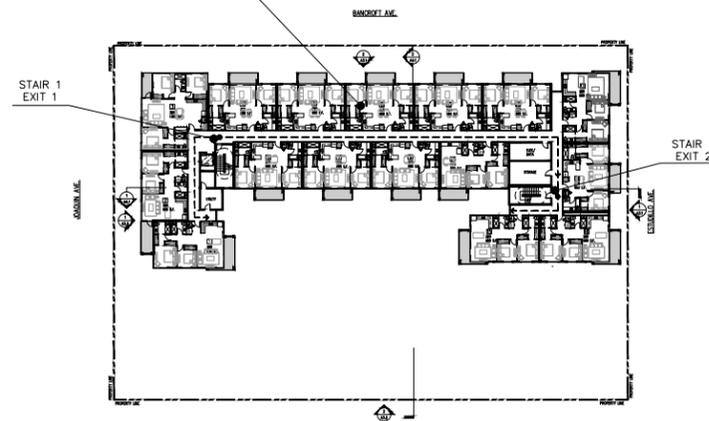


UNCONSECRATED ASSEMBLY	1535 S.F.
LOAD FACTOR:	15
TOTAL OCCUPANTS:	103
EXITS REQUIRED:	2
EXITS PROVIDED:	2

PATH OF EGRESS - ROOF PLAN
SCALE: 1/16" = 1'-0"

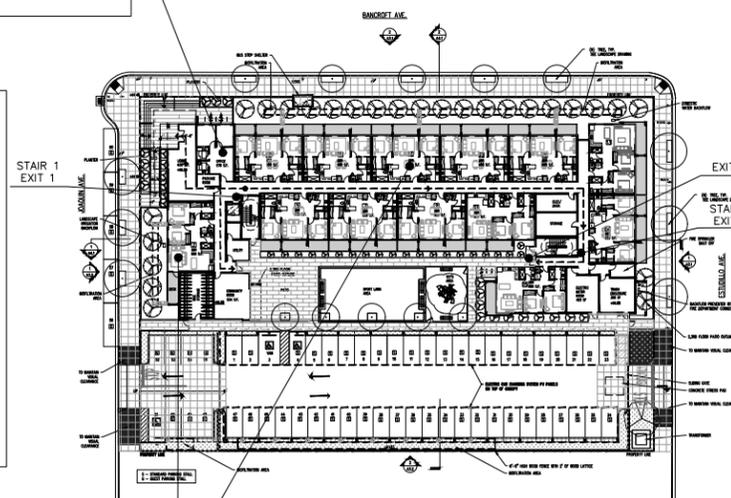
3

RESIDENTIAL	16080 S.F.
LOAD FACTOR:	200
TOTAL OCCUPANTS:	81
EXITS REQUIRED:	2
EXITS PROVIDED:	2



BUSINESS	568 S.F.
LOAD FACTOR:	100
TOTAL OCCUPANTS:	6
EXITS REQUIRED:	1
EXITS PROVIDED:	1

STAIR	
TOTAL OCCUPANTS	334
EXITS REQUIRED:	2
EXITS PROVIDED:	2
STAIR WIDTH: 41" MIN.	
PROVIDED:	2 X 48"
$334 \times 0.2 = 66.8/2$ EXITS	
* SPRINKLERED BUILDING PER 1005.3.1 EXCEPTION 1 - 0.2	
MEANS OF EGRESS FACTOR	
DOOR	
TOTAL OCCUPANTS	328
EXITS REQUIRED:	2
EXITS PROVIDED:	2
DOOR WIDTH: 32" MIN.	
PROVIDED:	2X 36"
$334 \times 0.15 = 50.1/2$ EXITS	
* SPRINKLERED BUILDING PER 1005.3.2 EXCEPTION 1 - 0.15	
MEANS OF EGRESS FACTOR	



RESIDENTIAL	12740 S.F.
LOAD FACTOR:	200
TOTAL OCCUPANTS:	64
EXITS REQUIRED:	2
EXITS PROVIDED:	3

DOOR	
TOTAL OCCUPANTS	47
EXITS REQUIRED:	2
EXITS PROVIDED:	3
DOOR WIDTH: 32" MIN.	
PROVIDED:	3X 36"
* SPRINKLERED BUILDING PER 1005.3.2 EXCEPTION 1 - 0.15	
MEANS OF EGRESS FACTOR	

PATH OF EGRESS - SECOND/THIRD FLOOR
SCALE: 1/16" = 1'-0"

2

PATH OF EGRESS - GROUND FLOOR
SCALE: 1/16" = 1'-0"

1



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DESCRIPTION

OCCUPANCY EGRESS PLAN

SHEET NUMBER

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EXHIBIT E - GROUND FLOOR PLAN



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SUITE 404
SAN FRANCISCO, CA 94103
T 415.371.1400
F 415.371.1401
www.axisgf.com

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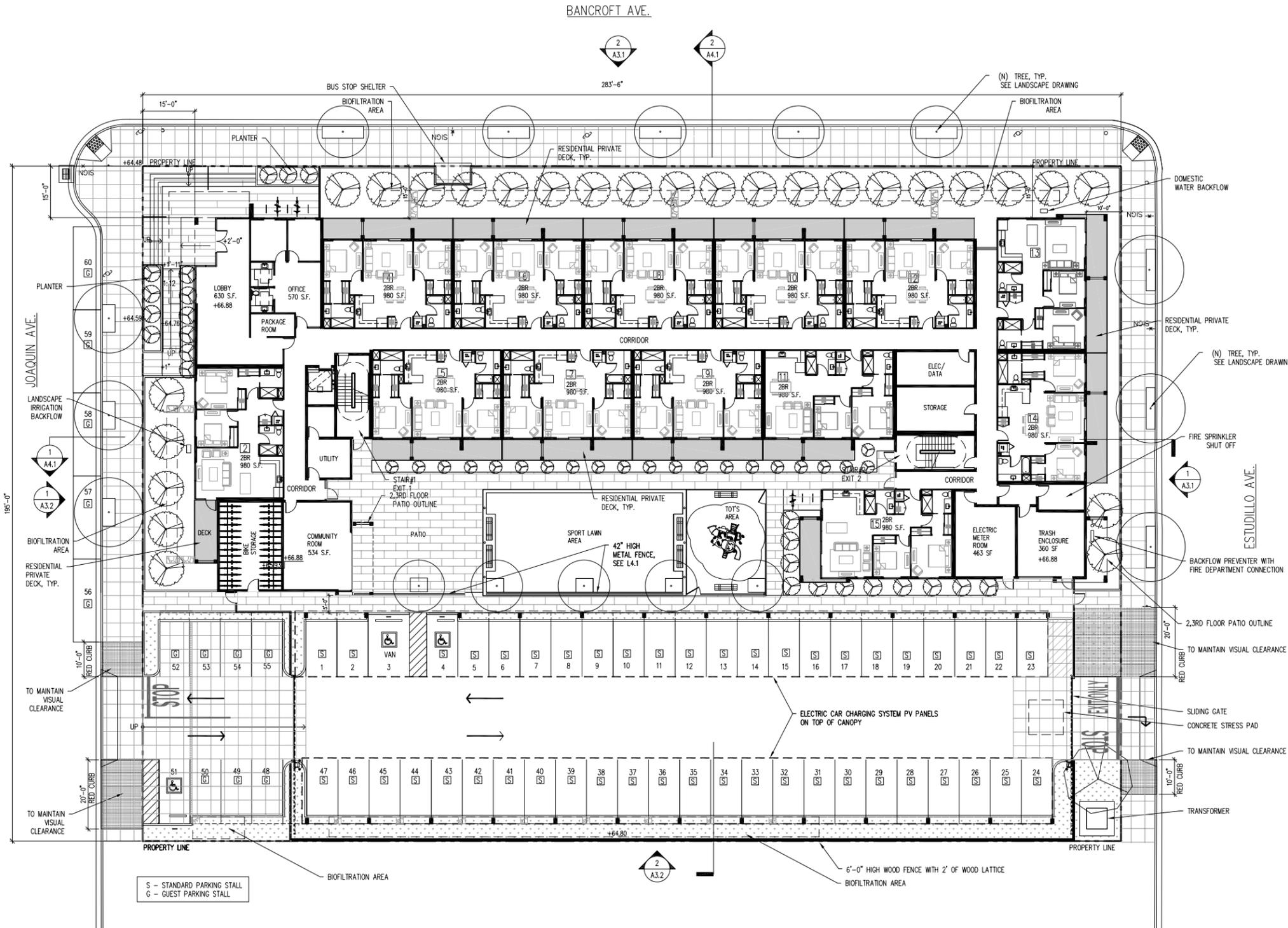
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DESCRIPTION
GROUND FLOOR PLAN

SHEET NUMBER
A02.00

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GROUND FLOOR PLAN
SCALE: 3/32" = 1'-0"

EXHIBIT F - SECOND AND THIRD FLOOR PLAN

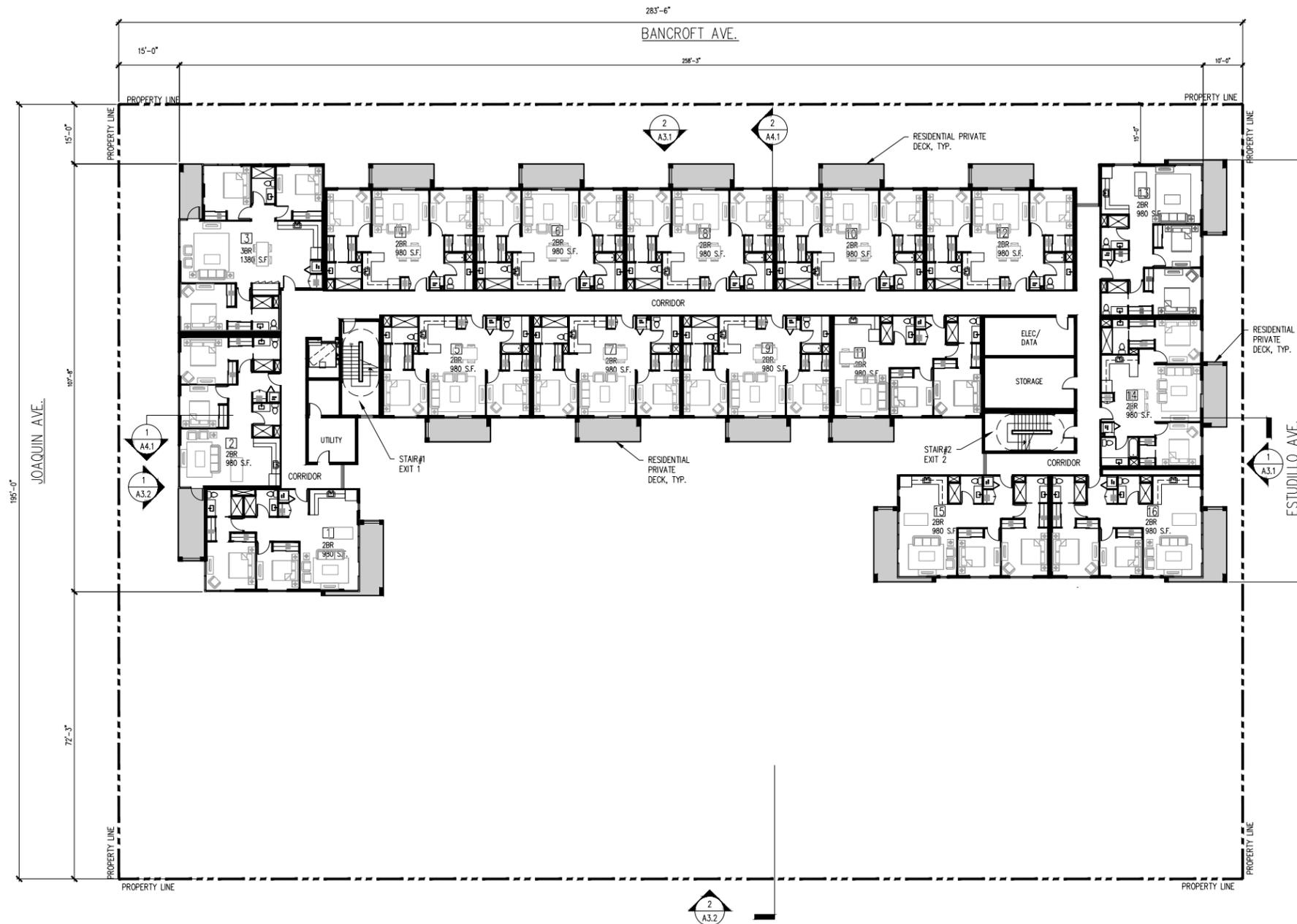


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SUITE 404
SAN FRANCISCO, CA 94103
T 415.371.1400
F 415.371.1401
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DATE
SCALE AS SHOWN

PROJECT NUMBER
COMPUTER FILE
PROJECT NAME

DESCRIPTION
2ND & 3RD FLOOR PLAN

SHEET NUMBER
A02.01

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SECOND & THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

1

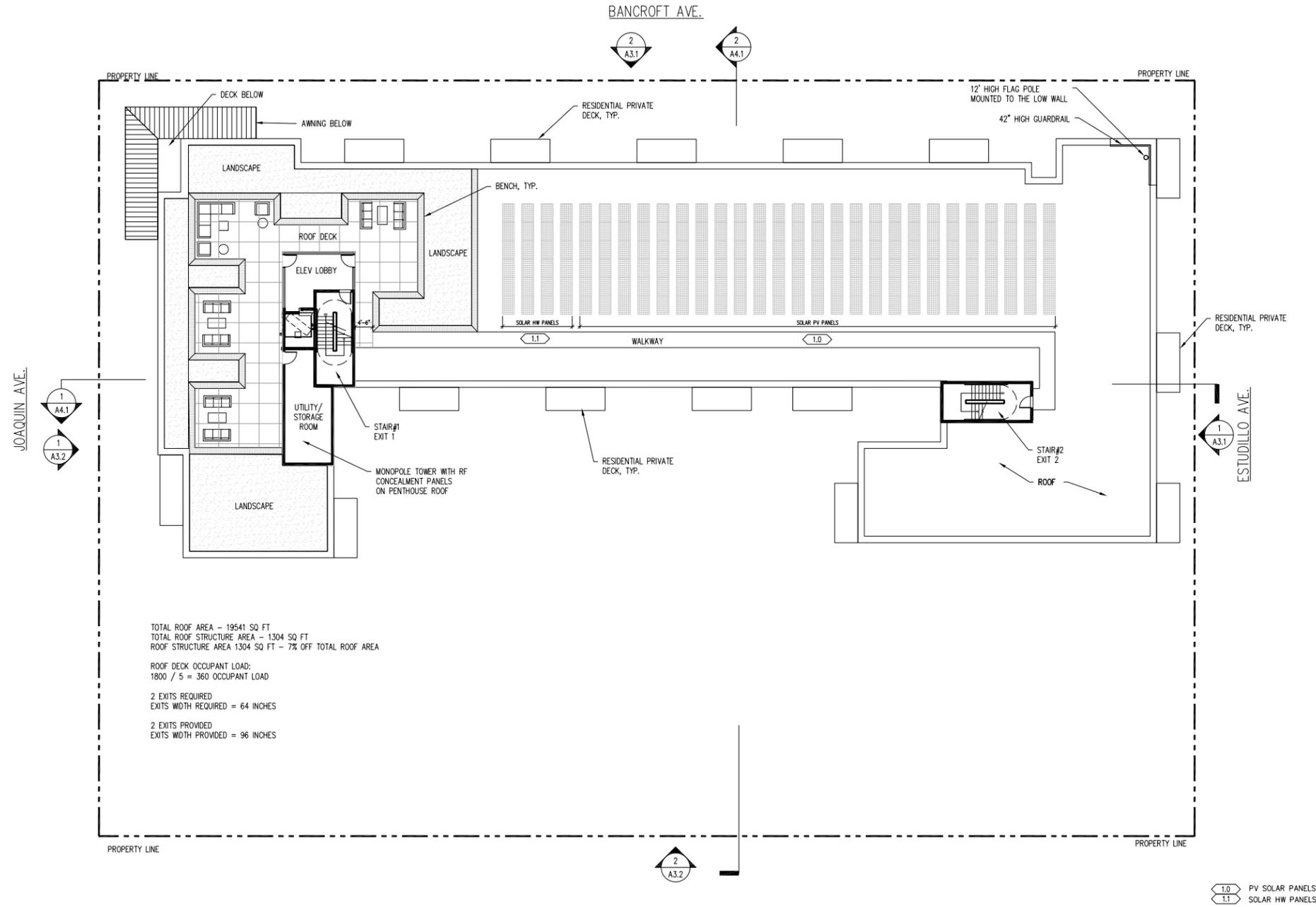
EXHIBIT G - ROOF PLAN



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TOTAL ROOF AREA - 19541 SQ FT
TOTAL ROOF STRUCTURE AREA - 1304 SQ FT
ROOF STRUCTURE AREA 1304 SQ FT - 7% OFF TOTAL ROOF AREA

ROOF DECK OCCUPANT LOAD:
1800 / 5 = 360 OCCUPANT LOAD

2 EXITS REQUIRED
EXITS WIDTH REQUIRED = 64 INCHES

2 EXITS PROVIDED
EXITS WIDTH PROVIDED = 96 INCHES

1.0 PV SOLAR PANELS
1.1 SOLAR HW PANELS



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2. 08/21/2018 REVISION 1

DATE
SCALE AS SHOWN

PROJECT NUMBER

COMPUTER FILE

PROJECT NAME

DESCRIPTION

ROOF
PLAN

SHEET NUMBER

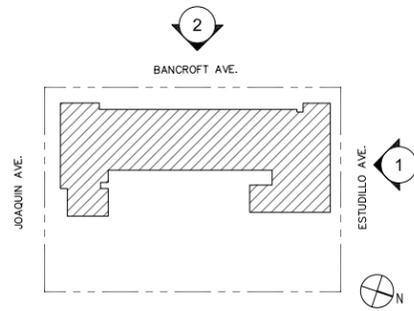
A02.02

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ROOF PLAN
SCALE: 3/32" = 1'-0"

1

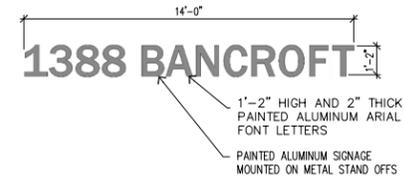
EXHIBIT H - ELEVATIONS



KEY MAP

- PT1 PAINT ON CEMENT PLASTER - COLOR: BM2112-70 AMERICAN WHITE
- PT2 PAINT ON CEMENT PLASTER - COLOR: BM2104-20 BEAVER BROWN
- PT3 PAINT ON CEMENT PLASTER - COLOR: BM 1596-NIGHTFALL
- PT4 PAINT ON CEMENT PLASTER - COLOR: BM 2175-10 AZTEK BRICK
- PT5 PAINT ON CEMENT PLASTER - COLOR: BM 2118-50 EXCALIBUR GRAY
- LS LAP SIDING, COLOR: IRON GRAY
- WF WINDOW FRAME, COLOR: BM 1596-NIGHTFALL
- GL LOW-E GLASS
- GLO OPAQUE GLASS
- AW1 ALUMINUM AWNING -COLOR: BM 1596-NIGHTFALL
- AW2 ALUMINUM AWNING -COLOR: BM 1596-NIGHTFALL
- PR PERFORATED METAL INFILL @ JULIET BALCONY
- LV ALUMINUM LOUVER SCREEN, COLOR: BM2104-20 BEAVER BROWN
- SG METAL SLIDING GATE - COLOR: BM 1596-NIGHTFALL
- AS ALUMINUM STOREFRONT
- AR ALUMINUM RAILING
- MD METAL DOOR, COLOR: BM2104-20 BEAVER BROWN
- MC METAL CONOPY, COLOR: BM 1596-NIGHTFALL
- WS WALL SCONCE

KEYNOTES



SIGNAGE ABOVE ENTRY CANOPY AND SIDE FENCE



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SUITE 404
SAN FRANCISCO, CA 94103
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F 415.371.1401
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NORTH ELEVATION (VIEW FROM ESTUDILLO AVE.) 1
SCALE: 3/32" = 1'-0"



WEST ELEVATION (VIEW FROM BANCROFT AVE.) 2
SCALE: 3/32" = 1'-0"



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SCALE

PROJECT NUMBER

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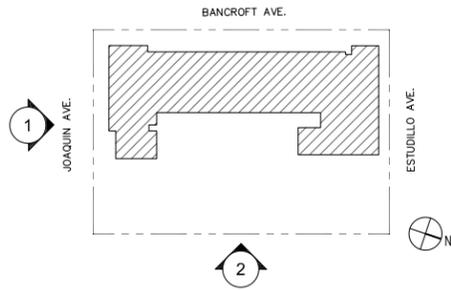
ELEVATIONS

SHEET NUMBER

A03.01

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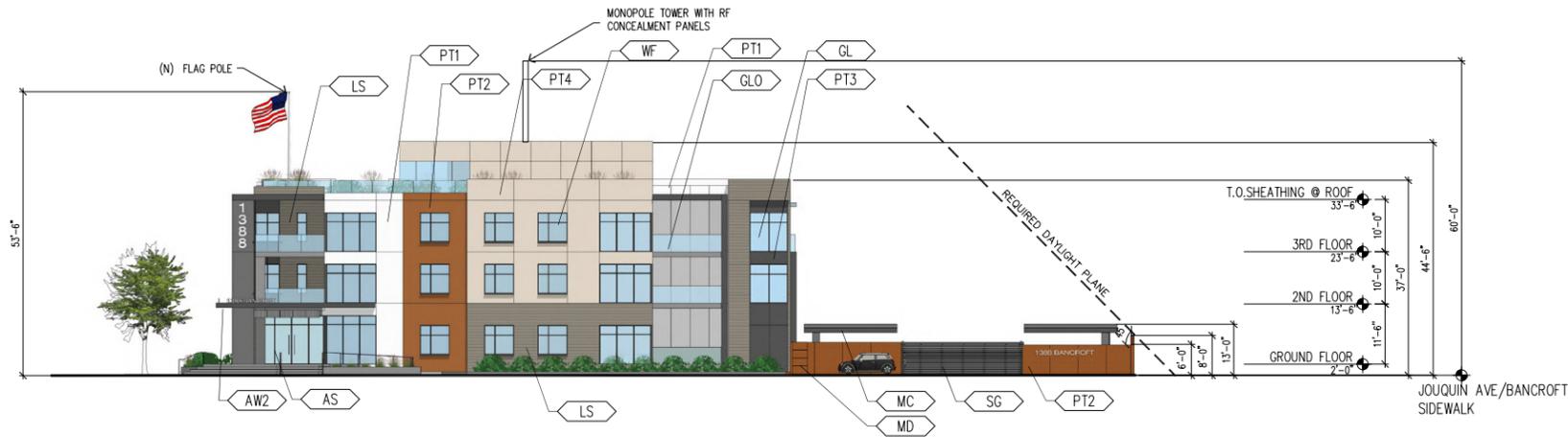
EXHIBIT I - ELEVATIONS



- PT1 PAINT ON CEMENT PLASTER - COLOR: BM2112-70 AMERICAN WHITE
- PT2 PAINT ON CEMENT PLASTER - COLOR: BM2104-20 BEAVER BROWN
- PT3 PAINT ON CEMENT PLASTER - COLOR: BM 1596-NIGHTFALL
- PT4 PAINT ON CEMENT PLASTER - COLOR: BM 2175-10 AZTEK BRICK
- PT5 PAINT ON CEMENT PLASTER - COLOR: BM 2118-50 EXCALIBUR GRAY
- LS LAP SIDING, COLOR: IRON GRAY
- WF WINDOW FRAME, COLOR: BM 1596-NIGHTFALL
- GL LOW-E GLASS
- GLO OPAQUE GLASS
- AW1 ALUMINUM AWNING -COLOR: BM 1596-NIGHTFALL
- AW2 ALUMINUM AWNING -COLOR: BM 1596-NIGHTFALL
- LV ALUMINUM LOUVER SCREEN, COLOR: BM2104-20 BEAVER BROWN
- SG METAL SLIDING GATE - COLOR: BM 1596-NIGHTFALL
- AS ALUMINUM STOREFRONT
- AR ALUMINUM RAILING
- MD METAL DOOR, COLOR: BM2104-20 BEAVER BROWN
- MC METAL CONOPY, COLOR: BM 1596-NIGHTFALL
- WS WALL SCONCE

KEY MAP

KEYNOTES



SOUTH ELEVATION (VIEW FROM JOAQUIN AVE.) 1
SCALE: 3/32" = 1'-0"



EAST ELEVATION (VIEW FROM PARKING LOT) 2
SCALE: 3/32" = 1'-0"



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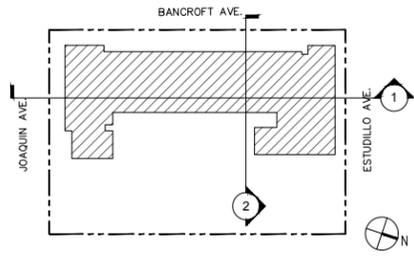
ELEVATIONS

SHEET NUMBER

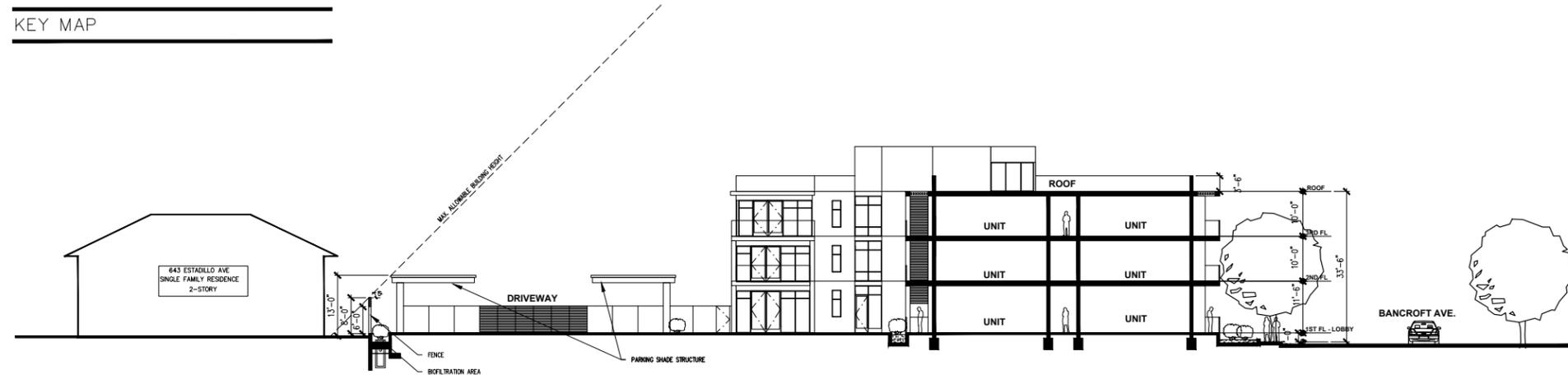
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EXHIBIT J - SECTION

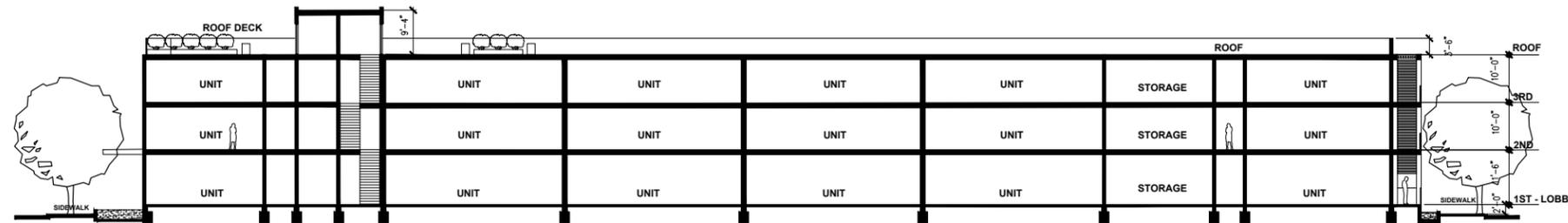


KEY MAP



SECTION SOUTH-NORTH
SCALE: 3/32" = 1'-0"

2



SECTION WEST-EAST
SCALE: 3/32" = 1'-0"

1



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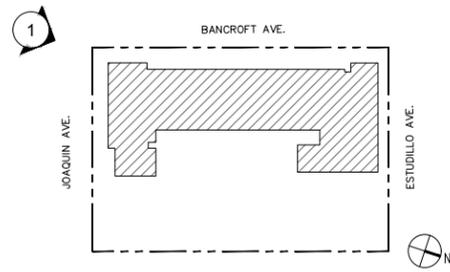
SECTION

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A04.01

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EXHIBIT K - PERSPECTIVE (SOUTHWEST AT BANCROFT AVE)



KEY MAP



PERSPECTIVE VIEW FROM SOUTHWEST AT BANCROFT AVE.
SCALE: NONE 1



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DATE

SCALE

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DESCRIPTION

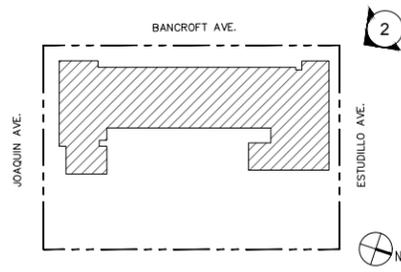
PERSPECTIVES
(COURTYARD)

SHEET NUMBER

A05.01

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EXHIBIT L - PERSPECTIVE (NORTHWEST AT BANCROFT AVE)



KEY MAP



PERSPECTIVE VIEW FROM NORTHWEST AT BANCROFT AVE.
SCALE: NONE

1



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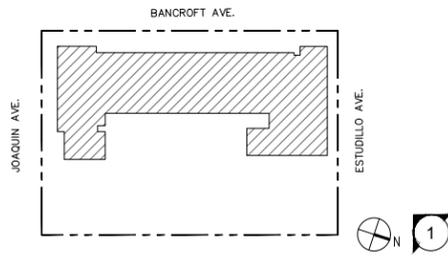
PERSPECTIVES
(COURTYARD)

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EXHIBIT M - PERSPECTIVE (ESTUDILLO AVE)



KEY MAP



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PERSPECTIVES
(COURTYARD)

SHEET NUMBER

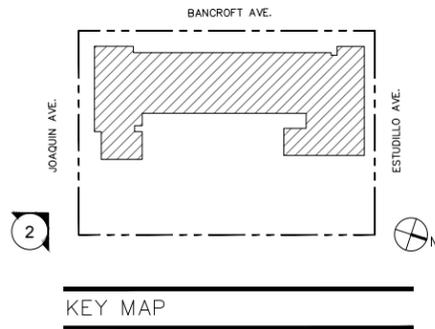
A05.03

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PERSPECTIVE VIEW FROM ESTUDILLO AVE.
SCALE: NONE

1

EXHIBIT N - PERSPECTIVE (JOAQUIN AVE)



PERSPECTIVE VIEW FROM JOAQUIN AVE.
SCALE: NONE 1



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EXHIBIT O - UNIT PLANS

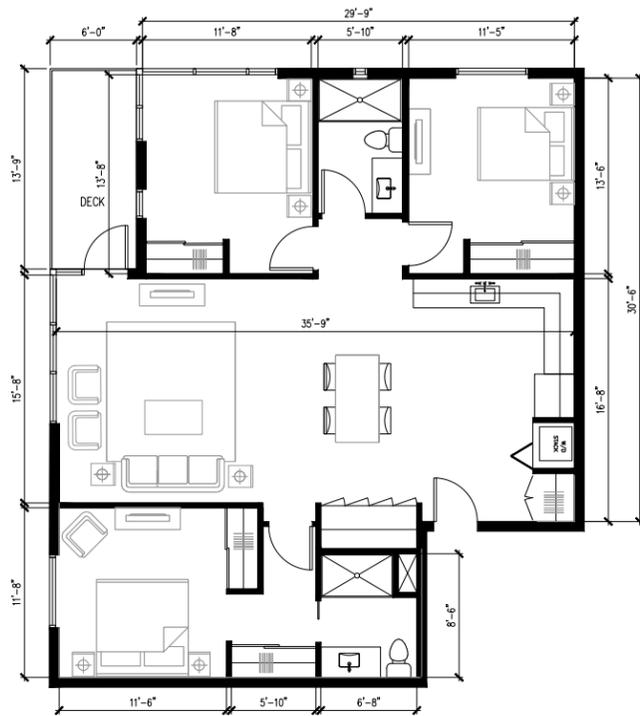


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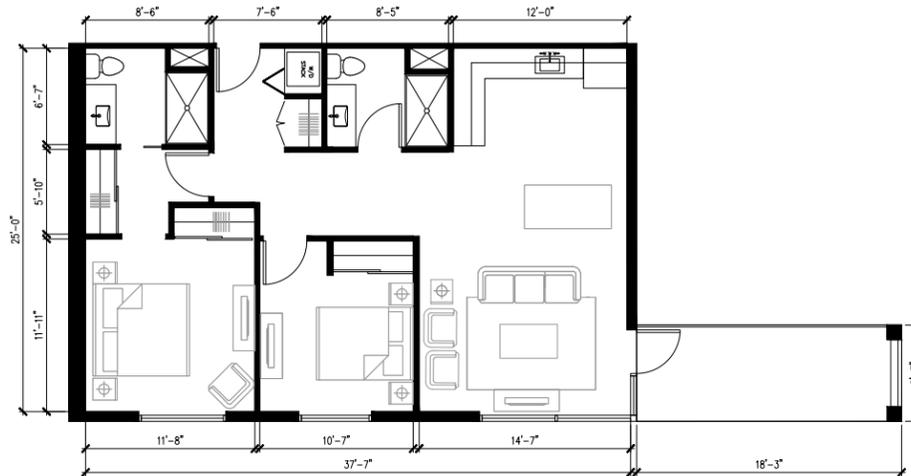
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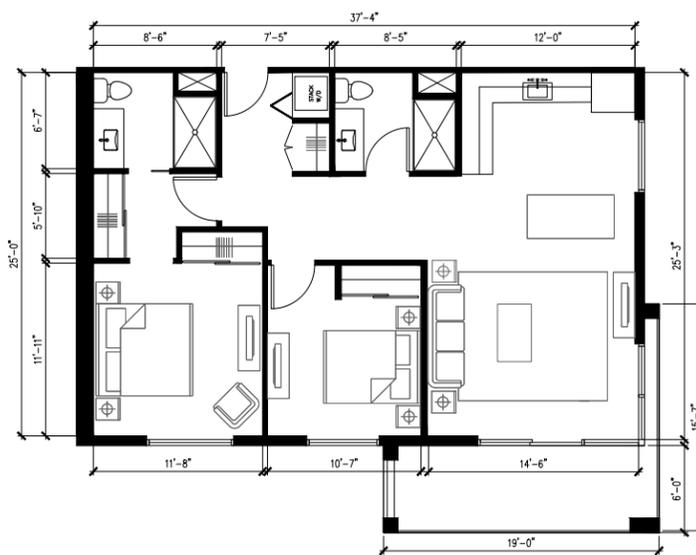
UNIT A3 - 3 BEDROOM UNIT
SCALE: 1/4" = 1'-0" 5



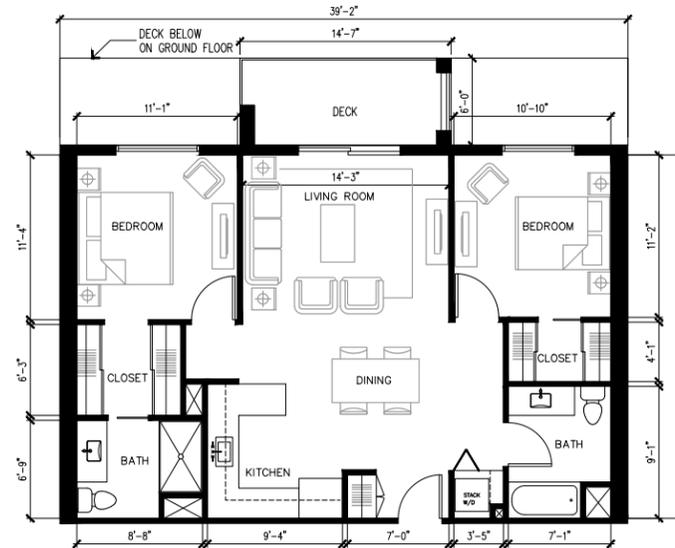
UNIT B - 2 BEDROOM UNIT
SCALE: 1/4" = 1'-0" 4



UNIT A3 - 2 BEDROOM UNIT
SCALE: 1/4" = 1'-0" 3



UNIT A2 - 2 BEDROOM UNIT
SCALE: 1/4" = 1'-0" 2



UNIT A1 - 2 BEDROOM UNIT
SCALE: 1/4" = 1'-0" 1



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SCALE

PROJECT NUMBER
COMPUTER FILE
PROJECT NAME

DESCRIPTION
UNIT PLANS

SHEET NUMBER
A06.01

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