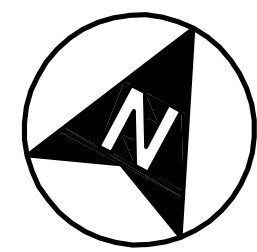


PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

268 PARROTT STREET TRACT 8476 FOR CONDOMINIUM PURPOSES

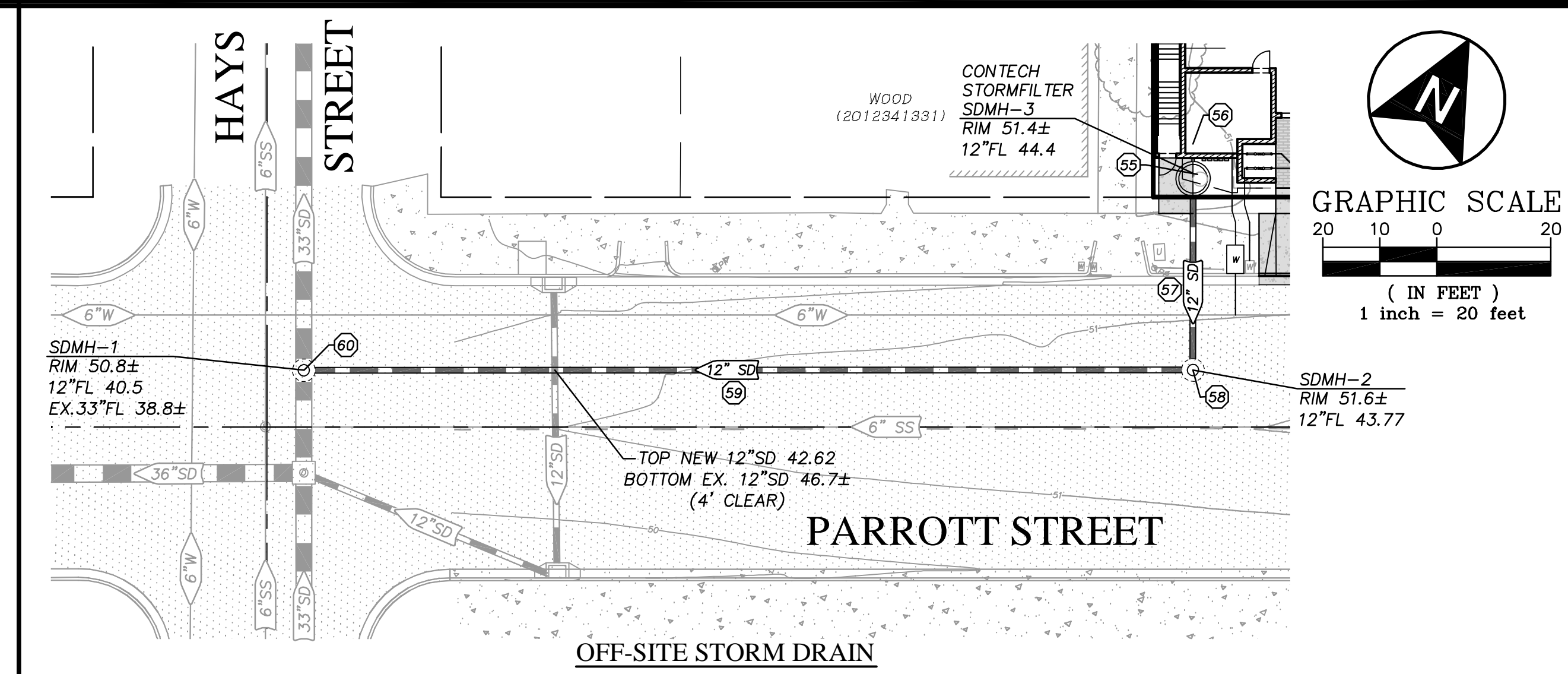
CITY OF SAN LEANDRO
ALAMEDA COUNTY
STATE OF CALIFORNIA



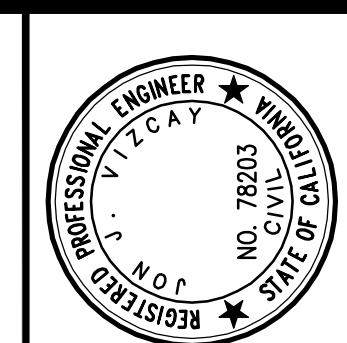
GRAPHIC SCALE
(IN FEET)
1 inch = 10 feet

EXISTING UTILITIES NOTE:

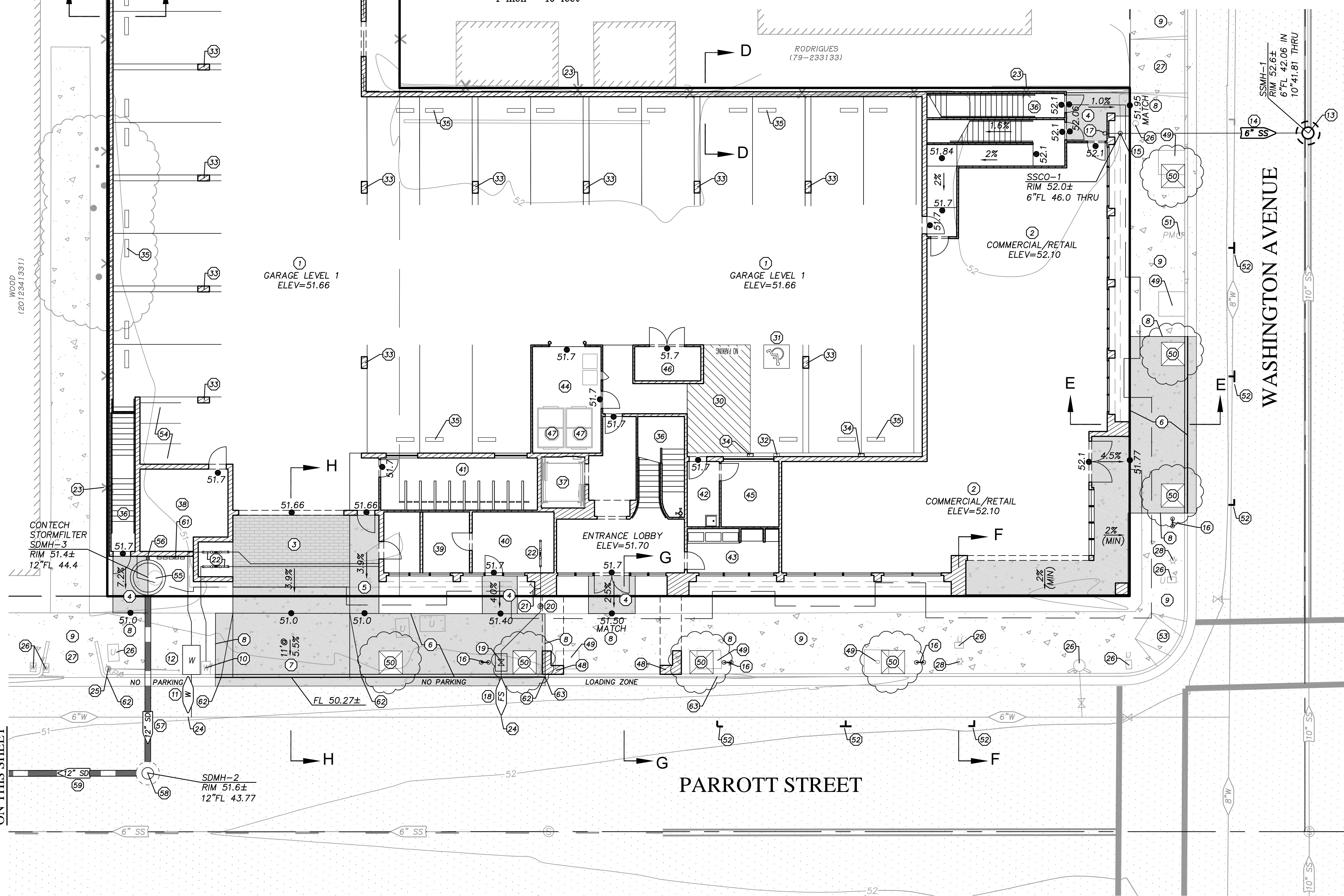
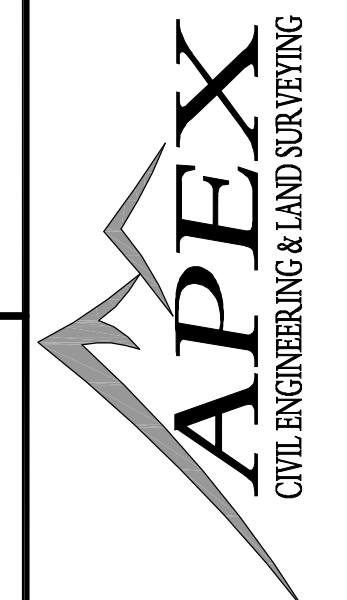
ALL EXISTING UTILITY LATERALS (WATER, SEWER) AND SERVICES (CABLE, PHONE, GAS, ELECTRICAL) SHALL BE REMOVED BACK TO THE ASSOCIATED MAIN OR TRENCH. NEW SERVICES SHALL BE INSTALLED PER PLAN.



GRAPHIC SCALE
(IN FEET)
1 inch = 20 feet



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KEY LEGEND

- 1 GARAGE - FIRST FLOOR
- 2 COMMERCIAL/RETAIL SPACE - FIRST FLOOR
- 3 20' WIDE GARAGE ENTRANCE RAMP (6" CONC / 5" AB)
- 4 CONCRETE ENTRY WALK (4" CONC/ 4" AB)
- 5 5' WIDE CONCRETE ENTRY WALK FLUSH WITH GARAGE ENTRANCE RAMP GRADE (4" CONC/ 4" AB)
- 6 STANDARD CURB, GUTTER AND SIDEWALK PER COSL STD DET DWG-100
- 7 20' WIDE RESIDENTIAL DRIVEWAY APPROACH PER COSL STD DET DWG-102
- 8 MATCH EXISTING CURB, GUTTER AND SIDEWALK
- 9 EXISTING CURB, GUTTER AND SIDEWALK TO REMAIN
- 10 EXISTING 2" WATER METER TO REMAIN FOR COMMERCIAL/RETAIL USE
- 11 4" WATER LATERAL
- 12 3" COMPOUND WATER METER FOR ALL RESIDENTIAL UNITS
- 13 SANITARY SEWER MANHOLE OVER EX. SEWER MAIN
- 14 6" SANITARY SEWER LATERAL @ S=12.3%
- 15 6" SANITARY SEWER CLEANOUT
- 16 BIKE RACK (TYP)
- 17 SEWER RISER IN BUILDING
- 18 6" FIRE SERVICE LATERAL
- 19 WATER METER WITH CHECK VALVE
- 20 POST INDICATOR VALVE
- 21 FIRE DEPARTMENT CONNECTION
- 22 BACKFLOW PREVENTION DEVICE
- 23 REPLACED EX. WITH NEW FENCE ON PROPERTY LINE
- 24 CONNECT TO EXISTING WATER MAIN
- 25 EXISTING POWER POLE TO REMAIN
- 26 EXISTING UTILITY BOX/VAULT TO REMAIN
- 27 EXISTING DRIVEWAY TO REMAIN
- 28 EXISTING STREET LIGHT TO REMAIN
- 29 EXISTING FIRE HYDRANT TO REMAIN
- 30 ACCESS AISLE STRIPED AREA WITH 36" MAX. SPACING (TYP)
- 31 36"x36" ACCESSIBILITY STALL EMBLEM
- 32 WALL MOUNTED ACCESSIBLE PARKING SPACE SIGN
- 33 COLUMN IN GARAGE (TYP)
- 34 ELECTRIC VEHICLE CHARGING STATION
- 35 WHEELSTOP (TYP)
- 36 STAIRWELL
- 37 ELEVATOR
- 38 UTILITY ROOM
- 39 DOMESTIC WATER PUMP ROOM
- 40 FIRE SERVICE PUMP ROOM
- 41 BIKE STORAGE AREA
- 42 MAINTENANCE ROOM
- 43 MAIL ROOM
- 44 TRASH ROOM
- 45 MECHANICAL/BOILER ROOM
- 46 MPOE ROOM
- 47 TRASH CHUTES
- 48 SEAT WALL
- 49 EXISTING TREE WELL IN SIDEWALK TO BE REMOVED AND REPLACE WITH NEW CONCRETE (TYP)
- 50 TREE WELL
- 51 EXISTING PARKING METER TO REMAIN
- 52 STRIPING FOR PARALLEL PARKING STALLS (TYP). 2 NEW ON PARROTT & 2 NEW ON WASHINGTON
- 53 REPLACE EXISTING CURB RAMP WITH ADA COMPLIANT CURB RAMP
- 54 MOTORCYCLE PARKING (3)
- 55 CONTECH STORMFILTER FOR MECHANICAL STORM WATER TREATMENT (SFMH72 OR EQUAL)
- 56 DISCHARGE POINT OF ROOF DRAINAGE
- 57 29.1 LF OF 12" RCP STORM DRAIN @ S=2.1%
- 58 STORM DRAIN MANHOLE
- 59 152.0 LF OF 12" RCP STORM DRAIN @ S=2.1%
- 60 STORM DRAIN MANHOLE OVER EX. 33" STORM DRAIN LINE
- 61 GAS METER LOCATIONS
- 62 BEGIN/END CURB TO BE PAINTED RED FOR "NO PARKING" ZONE (APPROX. 19.5' & 31.5')
- 63 BEGIN/END CURB TO BE PAINTED YELLOW FOR LOADING ZONE (APPROX. 29.5')

SECTIONS NOTE:
REFER TO SHEET 5
FOR ALL SECTIONS

SEE OFF-SITE STORM DRAIN ON THIS SHEET

NO.	REVISIONS	BY	APP	DATE

TENTATIVE MAP
DIMENSIONED SITE PLAN
TRACT 8476 - FOR CONDOMINIUM PURPOSES
268 PARROTT STREET, SAN LEANDRO, CA

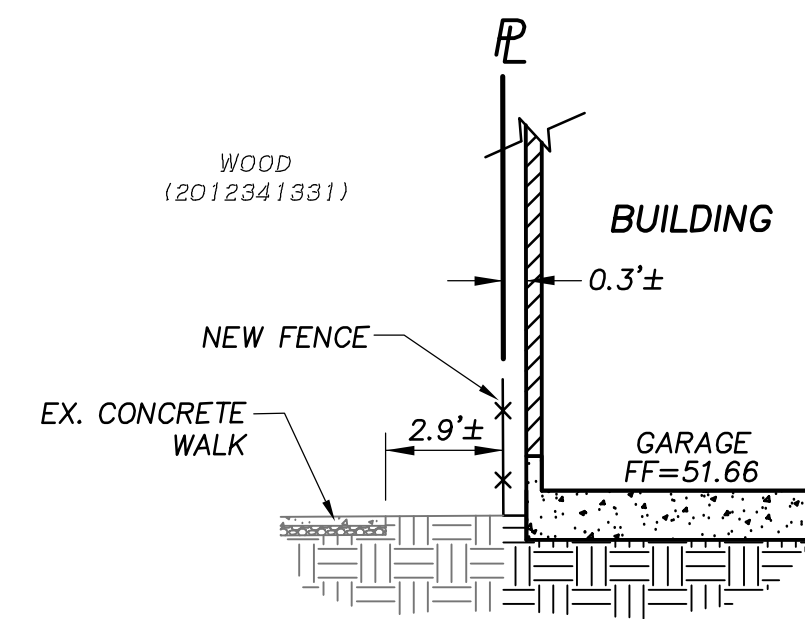
SHEET
4 OF 5

DATE
12-17-2018

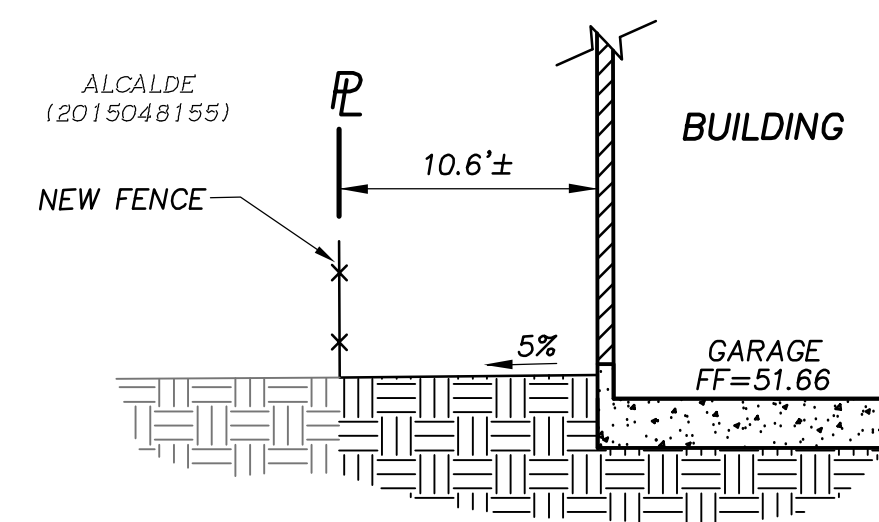
PROJECT #: 18025

SECTIONS & DETAILS 268 PARROTT STREET TRACT 8476 FOR CONDOMINIUM PURPOSES

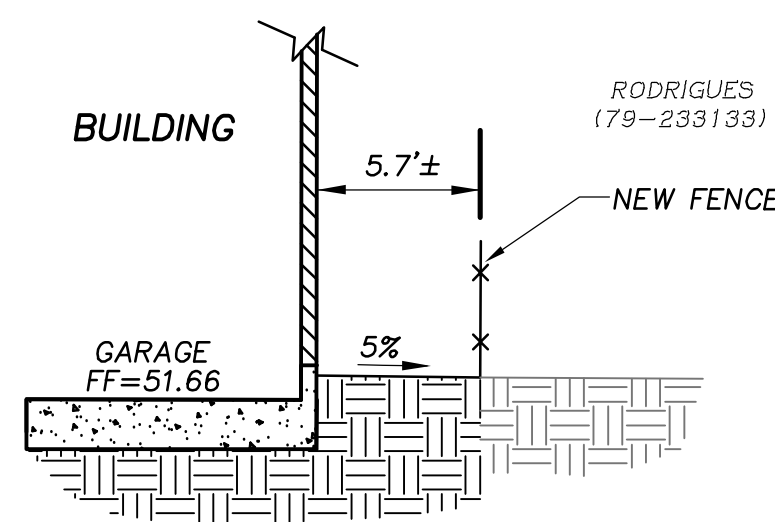
CITY OF SAN LEANDRO
ALAMEDA COUNTY
STATE OF CALIFORNIA



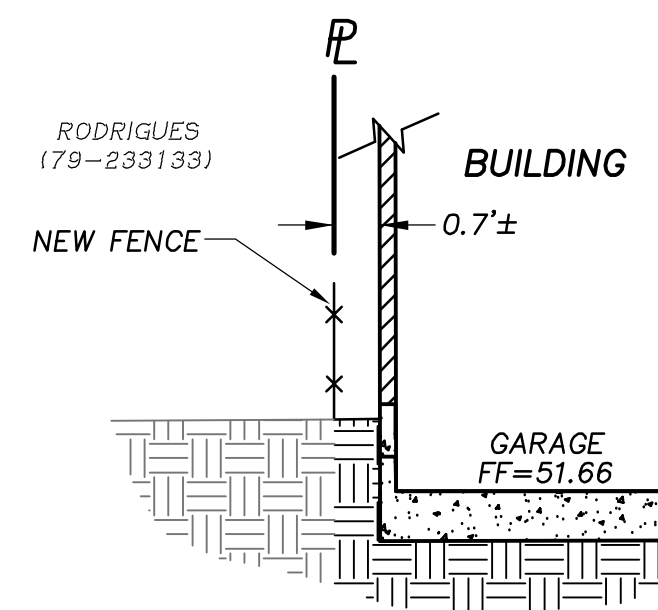
SECTION A-A
NOT TO SCALE



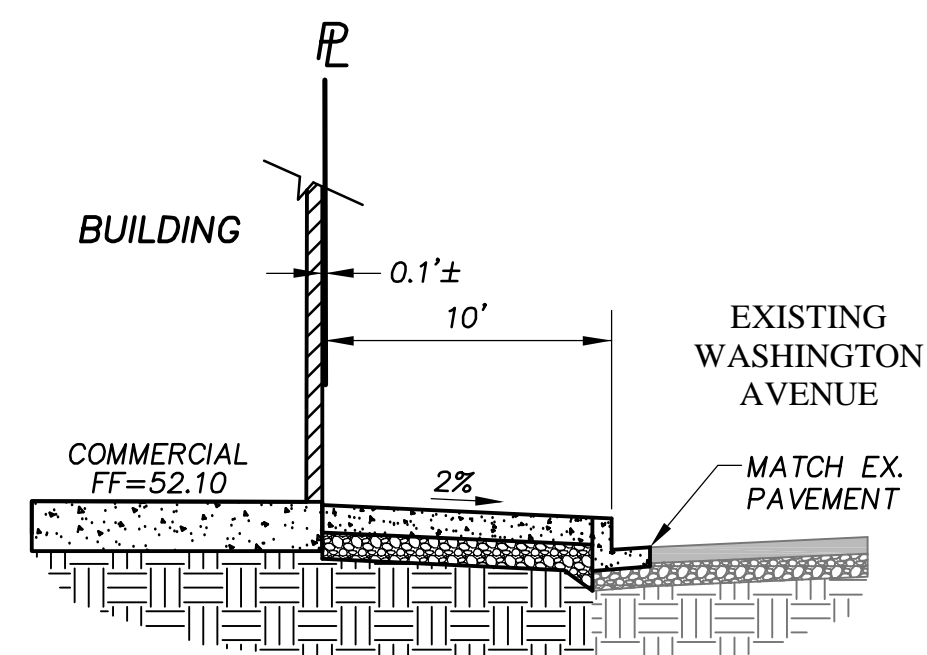
SECTION B-B
NOT TO SCALE



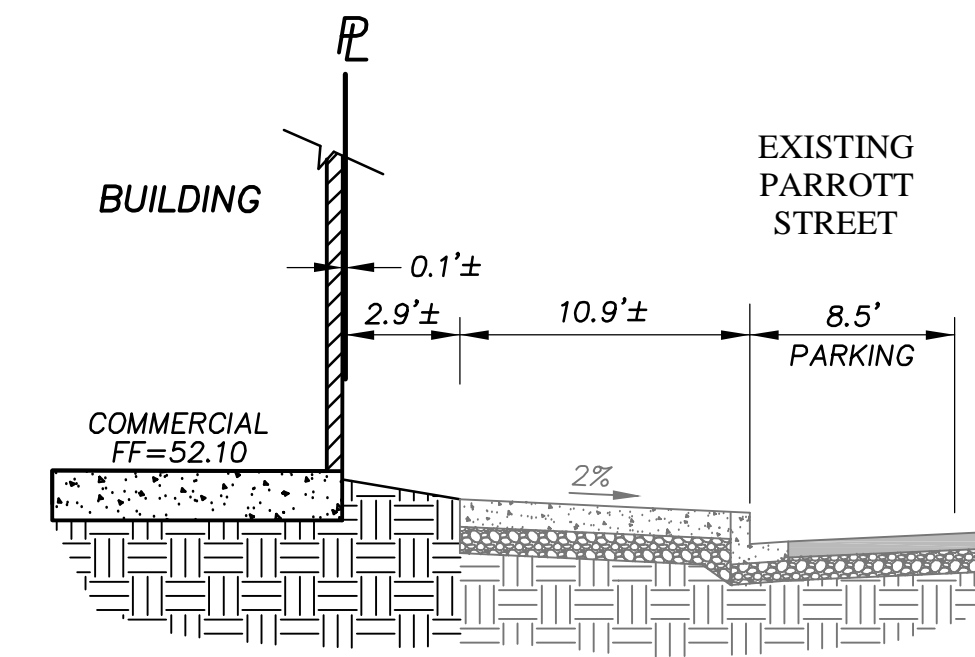
SECTION C-C
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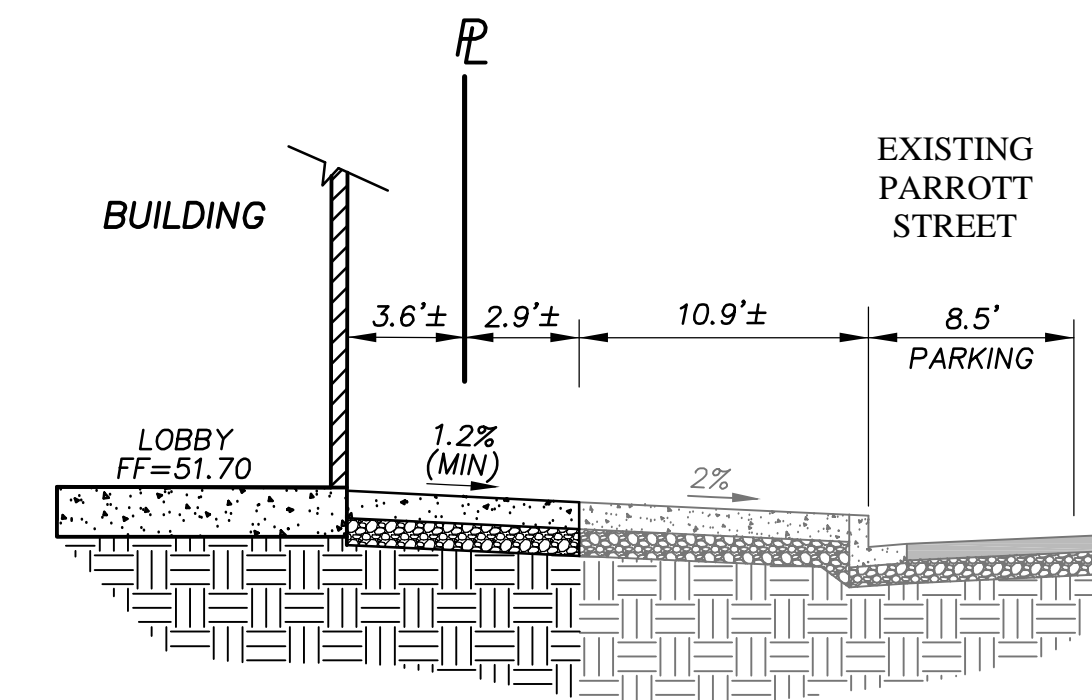
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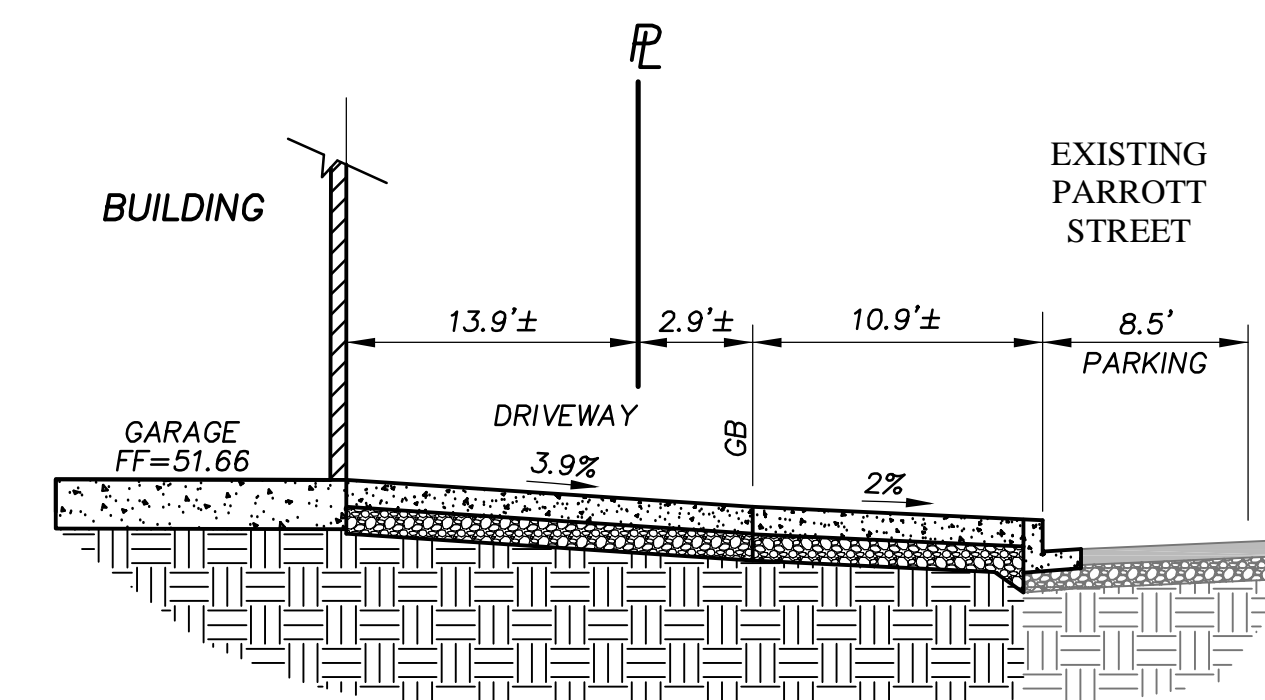
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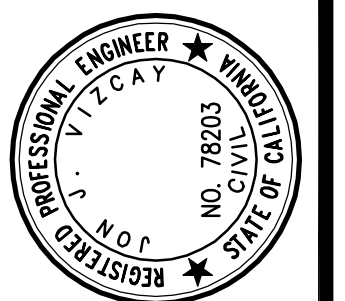
SECTION F-F
NOT TO SCALE



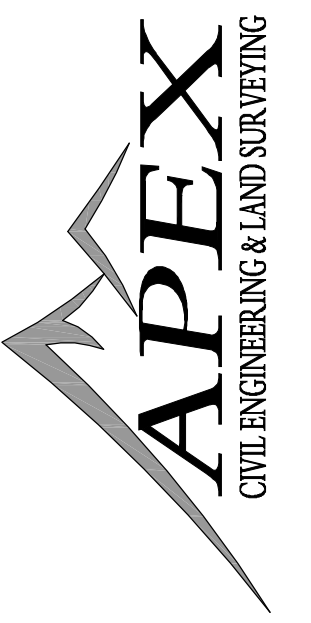
SECTION G-G
NOT TO SCALE



SECTION H-H
NOT TO SCALE



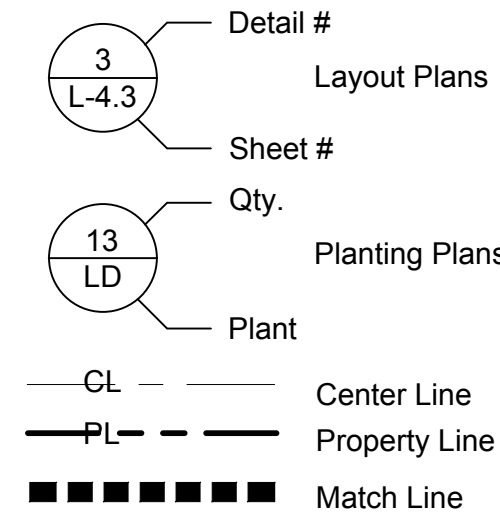
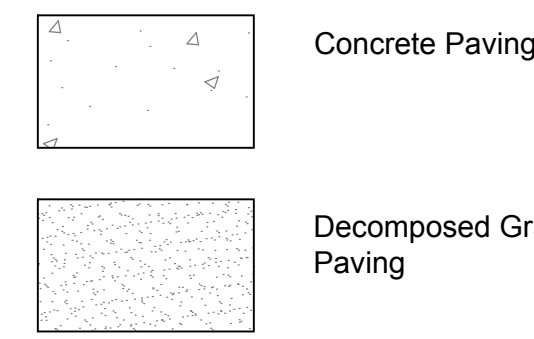
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NO.	REVISIONS	BY	APP	DATE

TENTATIVE MAP
SECTIONS & DETAILS
TRACT 8476 - FOR CONDOMINIUM PURPOSES
268 PARROTT STREET, SAN LEANDRO, CA

LAYOUT LEGEND



AD	Area Drain
BOC	Back of Curb
BC	Back of Curb
CL	Center Line
CO	Clean Out
CP	Center Point
DIA	Diameter
DI	Drain Inlet
EQ	Equal
EJ	Expansion Joint
FOC	Face of Curb
FC	Face of Curb
GALV	Galvanized
MA	Mulch Area
MAX	Maximum
MIN	Minimum
PA	Planting Area
PL	Property Line
POC	Point of connection
PREF	Perforated
PREP	Perpendicular
PT	Pressure Treated
RDRW	Redwood
RW	Right of Way
ROW	Right of Way
SAD	See Architect's Drawings
SCD	See Civil Engineer's Drawings
SED	See Electrical Engineer's Drawings
SHT	Sheet
SP	Start Point
SSD	See Structural Engineer's Drawings
TBD	To Be Determined
TYP	Typical



LAYOUT NOTES

- The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the builder and Landscape Architect for a decision before proceeding with the work.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building, wall, face of curb, edge of walk, property line, or centerline of street or column unless otherwise noted on the drawings.
- Walk scoring, expansion joints and headers shall be located as indicated on the Plans or as field adjusted under the direction of the Landscape Architect.
- The contractor is to verify location of all on-site utilities before commencing with the work. The contractor shall also be responsible for the repair of any damaged utilities.
- All work is to be in compliance with the City of Mountain View's Conditions of Approval, standard plans and specifications.
- Consultants List
Architect:
Hunt Hate Jones Architects
444 Spear Street #105
San Francisco, CA 94105
(415) 512-1300

Civil Engineer:
Apex Engineering & Land Surveying
817 Arnold Drive
Martinez, CA 94553
(925) 476 8499

FINE GRADING NOTES:

- The Landscape Contractor is responsible for fine grading and positive surface drainage in all landscape areas. The Contractor shall verify all rough grades in the field and bring any discrepancies to the attention of the General Contractor, Landscape Architect and Civil Engineer for a decision before proceeding with the work.
- See Civil Engineer's drawings for road surface elevations, roadway sections, catch basins, sidewalks, and top of curb elevations.
- Contractors are to exercise extreme care in backfilling and compacting any excavation or trenching in areas previously compacted for other aspects of the work.
- The Landscape Contractor shall remove from the site all debris and unsuitable material generated by their construction operations.
- All on-grade areas marked for planting shall be verified, by the fine grading contractor, that they are within a tenth of a foot of final grade. The Landscape Contractor shall rip compacted rough graded soil to a depth of 12 inches in both directions (park site), then till in the soil amendment. Soil amendment shall be determined by an agricultural suitability's analysis (see Planting Note 5). A minimum of one foot depth of non-mechanically compacted soil is available for water absorption and root growth in planted areas.
- Review structural soils report for recommendations on soil type, grading procedures, soil compaction, maximum allowable slopes, flatwork base material, etc. Copies of the report are available from the Owner.
- Minimum paving slope to be typically 1 percent. Minimum planting area slope to be typically 2 percent. Bring any discrepancies to the attention of the Landscape Architect for a decision prior to fine grading.
- Groundcover areas: Finish grades shall be 2 inch below the top of adjacent pavement, headers, curbs, or walls, unless otherwise specified. Lower headers where required to allow water to flow to drainage structures.
- Lawn Areas: Finish grades shall be 1 inch below the top of adjacent pavement, headers, curbs, or walls, unless otherwise specified. Lower headers where required to allow water to flow to drainage structures.

CERTIFICATE OF COMPLETION

Final Acceptance section / Certificate of Completion
At the completion of the project the contractor shall supply a Certificate of Completion document. Document shall include:
1. Project information sheet that contains:
a. Date,
b. Project name,
c. Project applicant name, telephone and mailing address,
d. Project address and location,
e. Property owner name, telephone, and mailing address.
2. Certification by either the signer of the landscape design plan, the designer of the irrigation design plan or the licensed landscape contractor that the landscape project has been installed per the approved Landscape documentation Package.
a. Where that have been significant changes made in the field during construction, these "as-built" or record drawings shall be included with he certification.
b. A diagram of the irrigation plan showing hydrozones shall be kept with he irrigation controller for subsequent management purposes.
3. Irrigation scheduling parameters used to set he controller.
4. Landscape and irrigation maintenance schedule.
5. Irrigation audit report.
6. Soils analysis report if not submitted with he Landscape Documentation package and documentation verifying implementation of the soil recommendations.

SHEET SCHEDULE

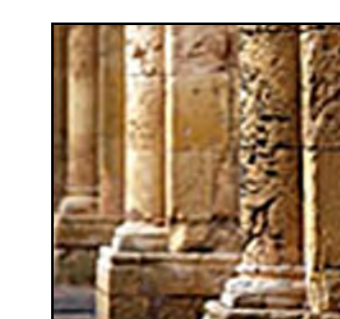
L-1.0	NOTES AND LEGENDS
L-3.1	LAYOUT PLAN: GROUND FLOOR
L-3.2	LAYOUT PLAN: SECOND FLOOR
L-4.1	DETAILS: FIRST FLOOR
L-4.2	DETAILS: SECOND FLOOR
L-4.3	DETAILS: SITE FURNITURE
L-5.0	IRRIGATION NOTES
L-5.1	HYDROZONE PLAN
L-6.0	PLANTING NOTES AND LEGENDS
L-6.1	PLANTING PLAN: GROUND FLOOR
L-6.2	PLANTING PLAN: SECOND FLOOR
L-6.3	PLANT PALETTE
L-6.4	PLANT PALETTE
L-6.5	PLANTING DETAILS

**NOTES AND LEGEND
PRELIMINARY LANDSCAPE PLAN**

268 Parrott Street

268 Parrott Street
San Leandro, California

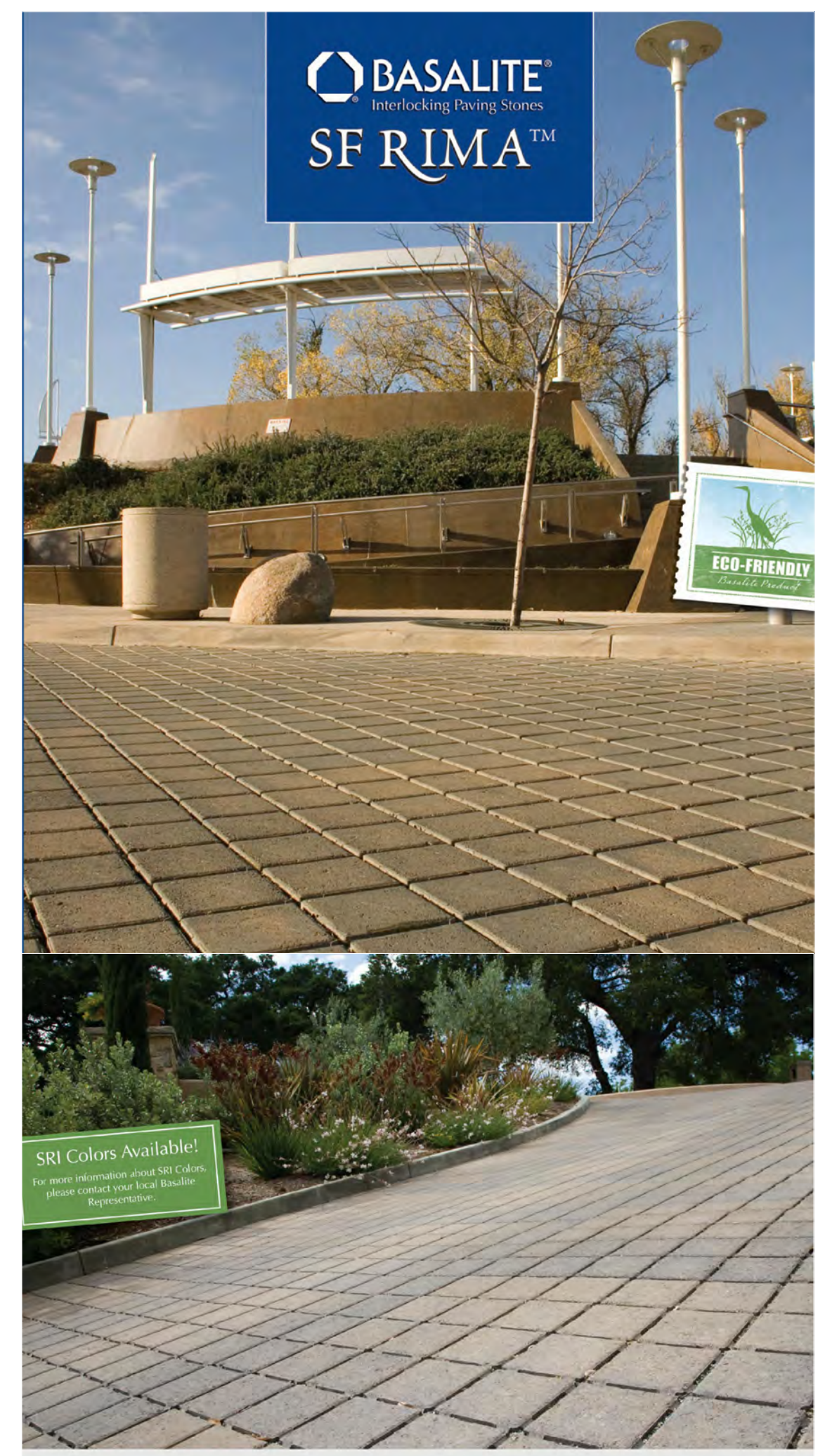
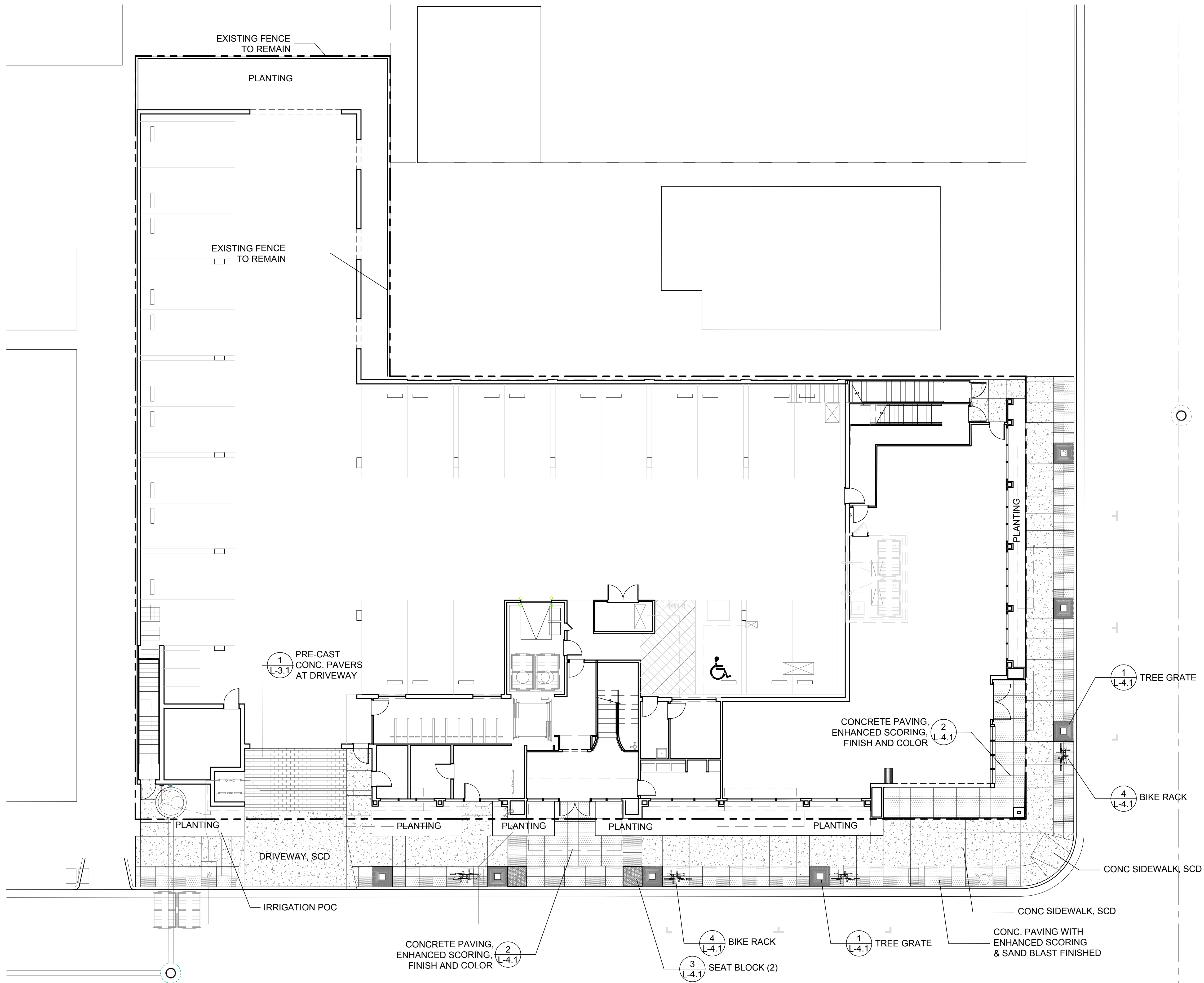
Date: January 4, 2019
Job: 18-171



LEVESQUE DESIGN

1414 BAY STREET, SUITE 100
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(510) 521 6700

L-1.0



BASALITE™
Interlocking Paving Stones
SF RIMA™

SF RIMA™

SF Rima™ permeable pavers are designed with the environment in mind, by reducing storm water runoff, decreasing flooding, and relieving storm water systems. SF Rima's unique design allows it to be installed with spacer on stone for water drainage or spacer on spacer for turf growth. Both beautiful and practical, SF Rima can turn any residential landscape project into a beautiful, eco-friendly environment.

Specifications

Size: 8" x 8" (203mm x 203mm)
Weight: 11.5 lbs (5.2 kg)

Colors

Tan Charcoal
Tumbled Tan Charcoal

Patterns

Turf Growth: With large joints, space on spacer. Ideal with grass or turf. Stone requirements: 20.4 stones/sq. Yard (1.8 m²).

Water Drainage: Installed in closed assembly with spacer on stone. Stone must be set in sand. Stone requirements: 22.8 stones/sq. Yard (1.8 m²).

Running Bond: Installed in closed assembly with spacer on spacer. Stone must be set in sand. Stone requirements: 22.8 stones/sq. Yard (1.8 m²).

1 PRE-CAST CONC. PAVERS
SCALE: NA

LAYOUT PLAN: FIRST FLOOR PRELIMINARY LANDSCAPE PLAN

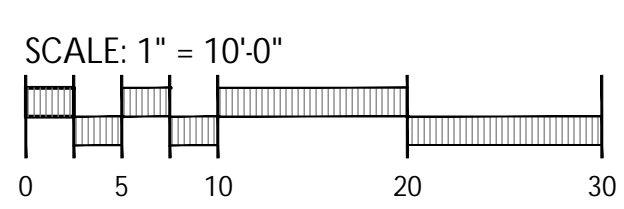
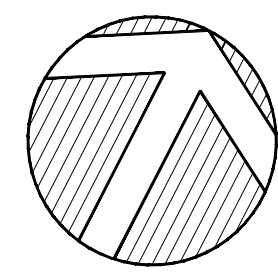
268 Parrott Street

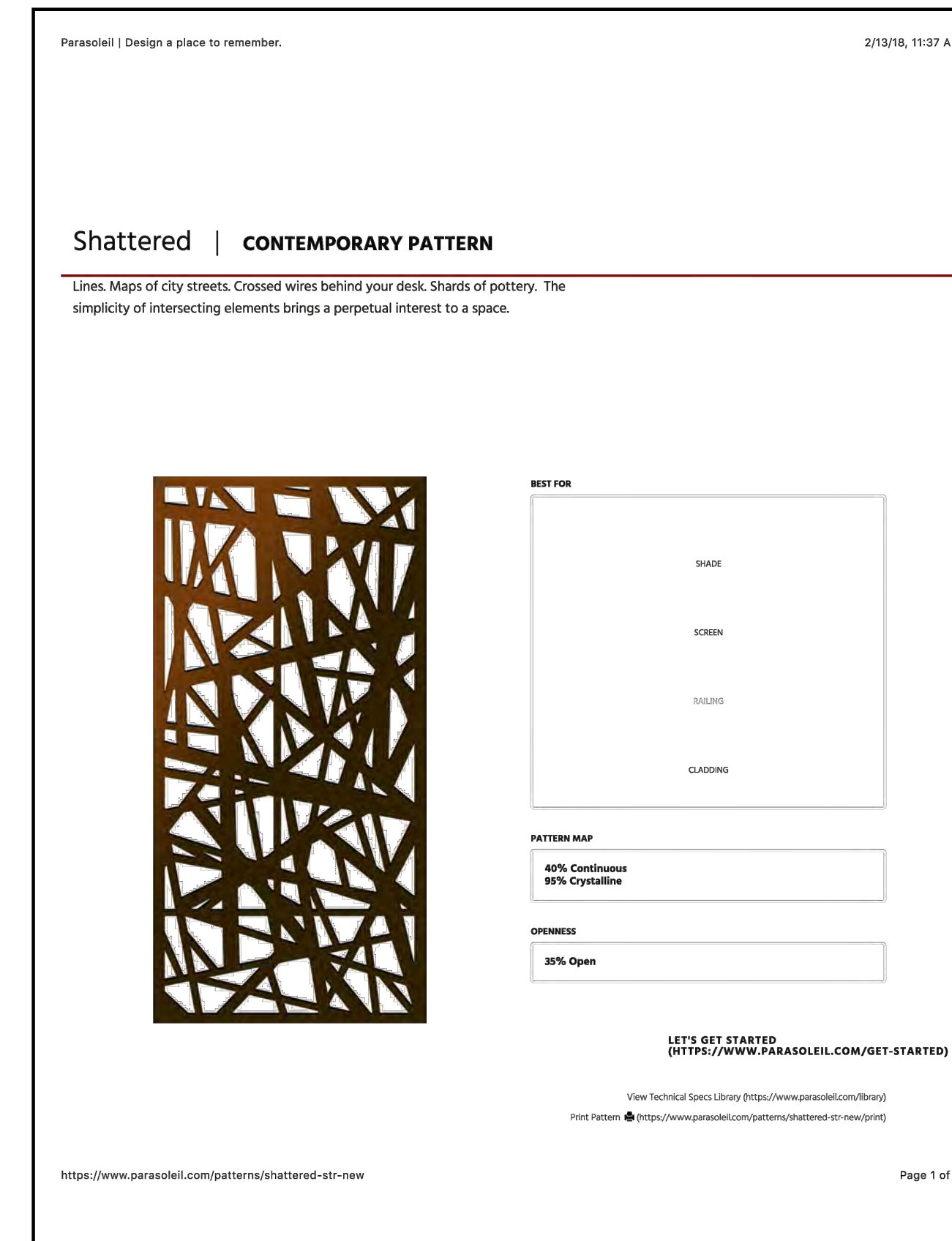
268 Parrott Street
San Leandro, California

Date: January 4, 2019
Job: 18-171

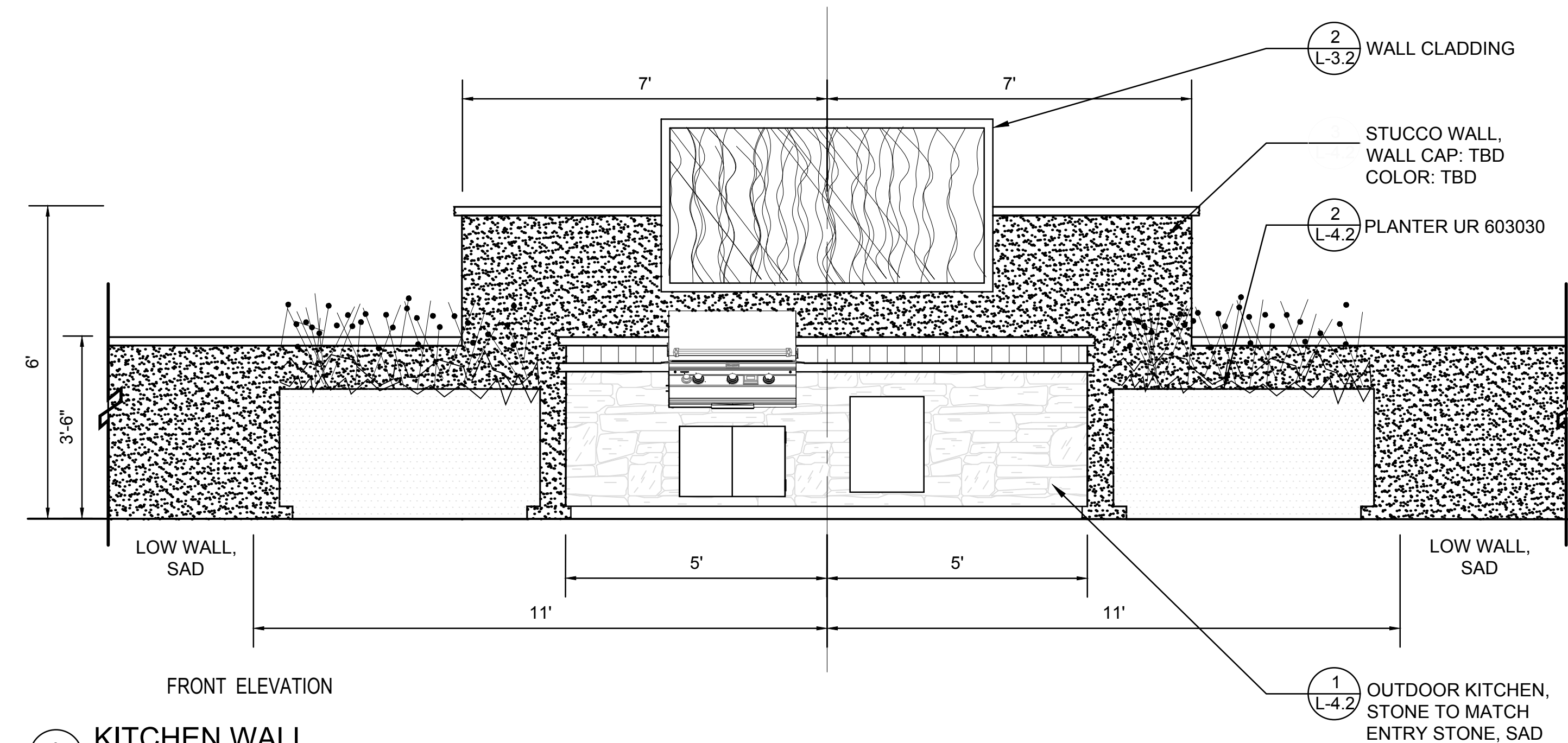
LEVESQUE DESIGN
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ALAMEDA, CALIFORNIA 94501
(510) 521 6700

L-3.1





2 WALL CLADDING
SCALE: NA



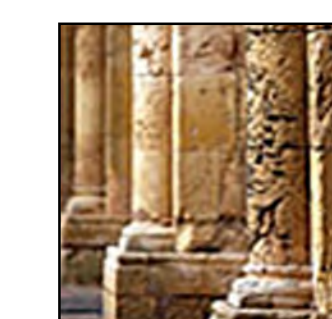
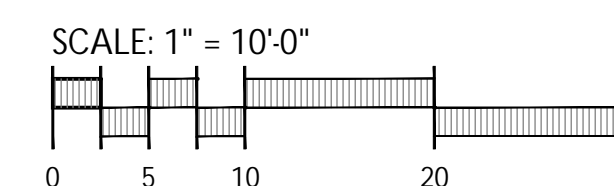
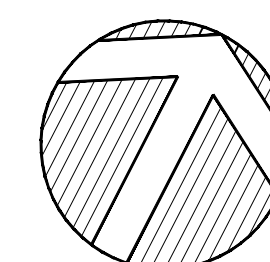
1 KITCHEN WALL
SCALE: 1/2"=1'-0"

LAYOUT PLAN: SECOND FLOOR PRELIMINARY LANDSCAPE PLAN

268 Parrott Street

268 Parrott Street
San Leandro, California

Date: January 4, 2019
Job: 18-171



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L-3.2