

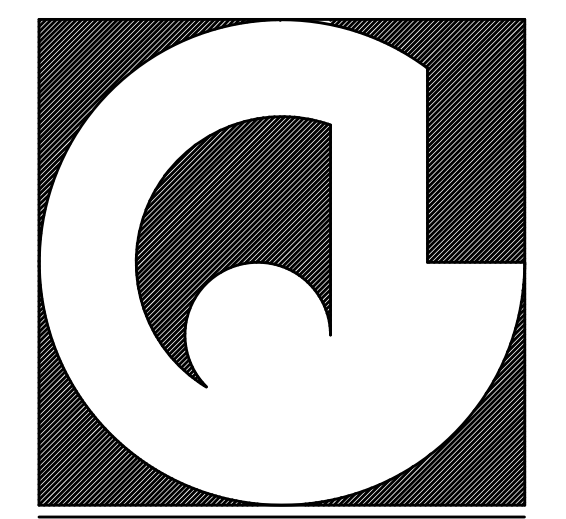
BUILDING DATA :	
BUILDING OWNER:	D/C 1717 DOOLITTLE SUB, LLC
BUILDING USE:	OFFICE/WAREHOUSE (ONE-STORY BUILDING)
JOB ADDRESS:	1717 DOOLITTLE DRIVE SAN LEANDRO, CA, 94577
FOOTPRINT:	±157,823 SQ. FT.
OFFICE AREA:	±3,500 SQ. FT.
MEZZANINE:	±2,800 SQ. FT.
WAREHOUSE AREA:	±154,900 SQ. FT.
PROPOSED AREA:	±161,200 SQ. FT.
ASSESSOR'S PARCEL NO.:	079A-0541-010

PROJECT DIRECTORY :	
ARCHITECT:	JOHN G. CATALDO AIA, CSI. 835 MISSION STREET SOUTH PASADENA, CA 91030 PHONE: (626) 799-4400 FAX: (626) 799-7010
CIVIL:	Kier & Wright Civil Engineers & Land Surveyors, Inc. 2850 Collier Canyon Road Livermore, CA 94551 Phone: (925) 245-8788 Fax: (925) 245-8796
LANDSCAPE:	Reed Associates Landscape Architecture 477 S. Taaffe St. Sunnyvale, CA 94086 408.481.9020 408.569.1519 cell

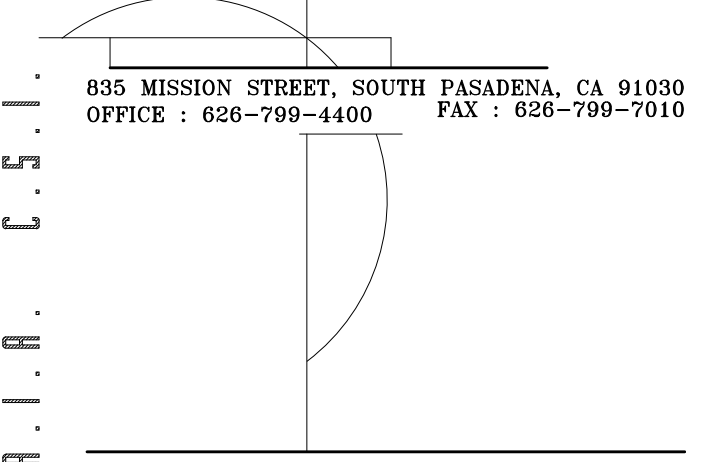
INDEX OF DRAWINGS :	
<u>ARCHITECTURAL</u>	
T-1	COVER SHEET
A-1	PROPOSED OVERALL SITE PLAN
A-1.1	PROPOSED ENLARGED SITE PLAN (SCALE:1"=30'-0")
A-1.2	PROPOSED ENLARGED SITE PLAN (SCALE:1"=30'-0")
A-2	EXISTING OFFICE PLANS
A-3	PROPOSED FLOOR PLAN
A-4	EXISTING/PROPOSED ELEVATIONS
A-4.1	PROPOSED ELEVATIONS
A-5	PROPOSED ROOF PLAN & SECTION
<u>CIVIL</u>	
C-1	COVER SHEET
C-2	PRELIMINARY GRADING PLAN
C-3	PRELIMINARY UTILITY PLAN
C-4	EROSION CONTROL PLAN
C-5	STORMWATER QUALITY CONTROL PLAN
<u>LANDSCAPE</u>	
L1.0	LANDSCAPE PLANTING PLAN
L1.1	LANDSCAPE PLANTING PLAN
L2.0	PRELIMINARY HYDROZONE PLAN
L2.1	PRELIMINARY HYDROZONE PLAN

1717 DOOLITTLE DRIVE SAN LEANDRO, CA 94577

PLN2014-00028
EXHIBIT A
November 6, 2014



ARCHITECTURE . ENGINEERING



PROJECT NAME & SITE ADDRESS:

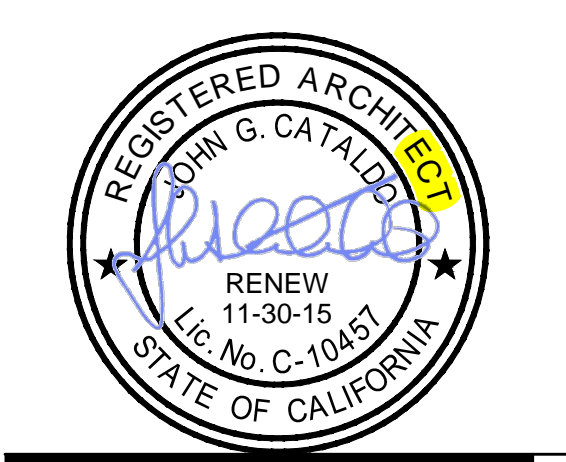
1717 DOOLITTLE DRIVE
SAN LEANDRO, CA 94577

DEVELOPER :
D/C 1717 DOOLITTLE SUB, LLC



JOHN G. CATALDO
A.I.A. C.S.I.

Drawing Content :
**TITLE SHEET
SITE PLAN**



Revisions :	Date :

Designer :
Manager :
Date : AUG 22, 2014
Job No : 2014-019
Scale : AS NOTED

Drawing No :

T-1

SHEET : OF :

SITE ANALYSIS	
TOTAL PROPERTY SITE AREA:	± 841,359 S.F.
EXISTING BUILDING:	± 421,538 S.F.
NEW BUILDING FOOTPRINT:	± 157,823 S.F.
MEZZANINE:	± 2,800 S.F.
TOTAL PROPOSED NEW BUILDING AREA:	± 161,200 S.F.
LOT COVERAGE FOR EXISTING AND NEW BUILDING	
LOT COVERAGE:	582,738 S.F. / 841,359 S.F. = 69.3%
ALLOWABLE LOT COVERAGE:	75%

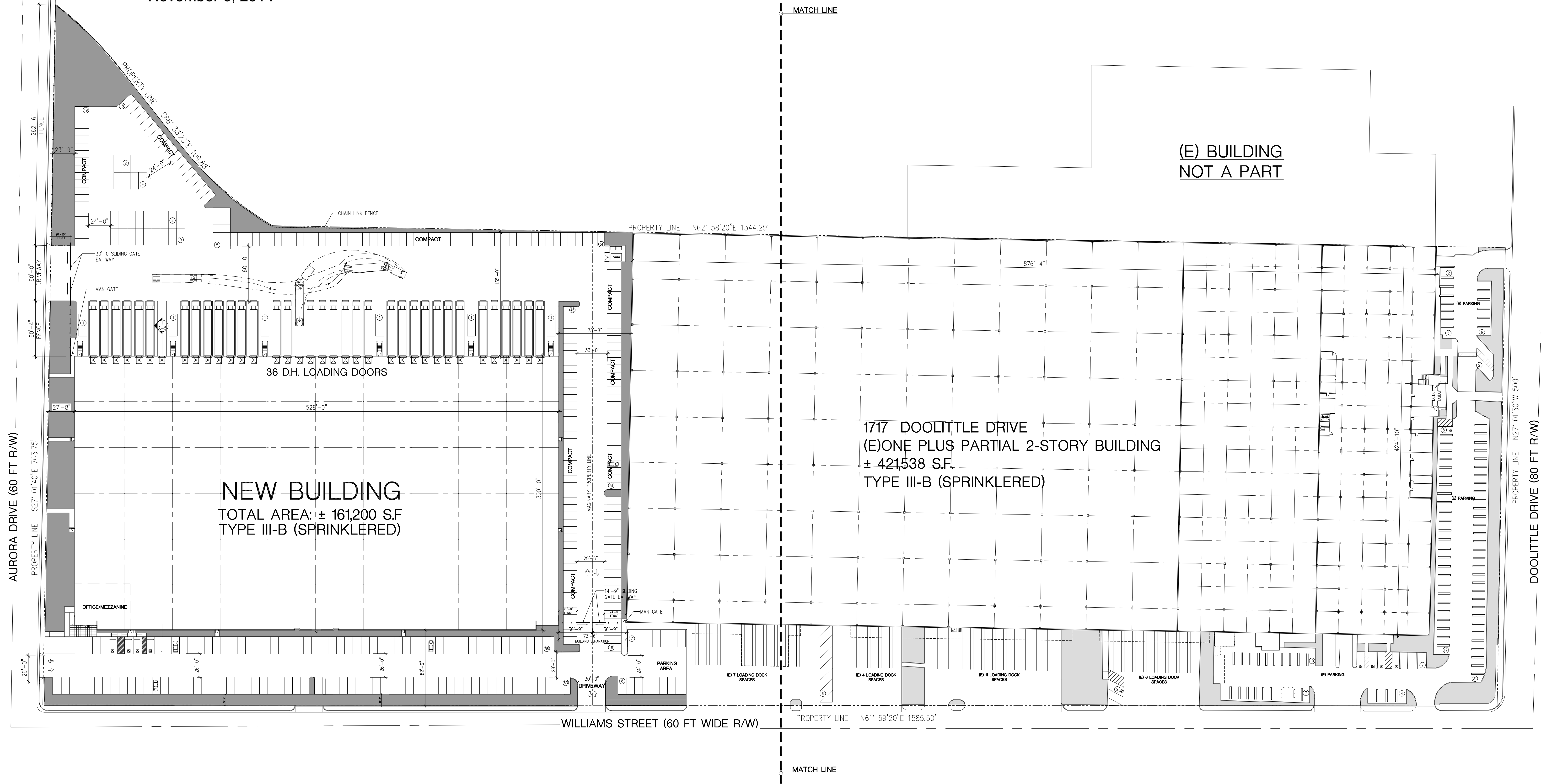
PARKING ANALYSIS FOR NEW DEVELOPMENT AREA	
WAREHOUSE AREA:	1 PER 1500 157,700 S.F./1500 ≈ 105 STALLS
OFFICE AREA:	1 PER 300 3,500 S.F./300 = 12 STALLS
TOTAL REQUIRED:	117 STALLS
TOTAL PROVIDED:	345 STALLS
STANDARD STALLS =	176 STALLS
COMPACT STALLS =	165 STALLS
HANDICAP STALLS =	4 STALLS
TOTAL TRUCK PARKING PROVIDED:	36 STALLS

PARKING ANALYSIS FOR EXISTING BUILDING	
TOTAL EXISTING BUILDING	421,538 S.F.
ERI TENANT AREA:	170,000 S.F. = 220 STALLS (MANUFACTURING/OFFICE/WAREHOUSE)
REMAINING BUILDING (WAREHOUSE)	1 PER 1500 251,538 S.F./1500 ≈ 168 STALLS
TOTAL REQUIRED:	388 STALLS
TOTAL PROVIDED:	107 STALLS

PROPOSED NEW BUILDING DEVELOPMENT	
NEW DEVELOPMENT SITE AREA:	367,484 S.F.
TOTAL PROPOSED NEW BUILDING AREA:	161,200 S.F.
LANDSCAPE REQUIRED: 367,484 S.F. X 0.05 =	18,374 S.F.
LANDSCAPE PROVIDED:	40,648 S.F.
TYPE OF CONSTRUCTION :	III-B (SPRINKLERED)
OCCUPANCY GROUP :	B & S-1

- FIRE DEPARTMENT NOTES:**
- FIRE SPRINKLER SYSTEM TO BE PROVIDED IN PROPOSED BUILDING.
 - CENTRAL MONITORING FIRE ALARM SYSTEM TO BE PROVIDED IN PROPOSED BUILDING.
 - ELECTRIC KNOX BOX KEY SWITCH TO BE PROVIDED AT NEW GATES FOR FIRE DEPARTMENT ACCESS.
 - EXIT SIGNS AND EMERGENCY LIGHTING TO BE PROVIDED IN PROPOSED BUILDING.
 - FIRE EXTINGUISHERS TO BE PROVIDED IN PROPOSED BUILDING.
 - KNOX BOX TO BE PROVIDED AT MAIN ENTRANCE OF PROPOSED BUILDING FOR FIRE DEPARTMENT ACCESS.

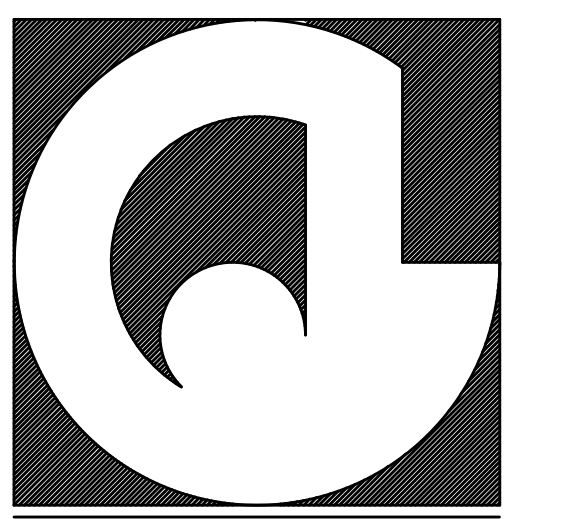
PLN2014-00028
EXHIBIT B
November 6, 2014



SITE LEGEND	
	FENCE
	SLIDING GATE
	NEW LANDSCAPE
	EXISTING LANDSCAPE

PROPOSED OVERALL SITE PLAN

SCALE: 1" = 50'-0"



ARCHITECTURE . ENGINEERING

835 MISSION STREET, SOUTH PASADENA, CA 91030
OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

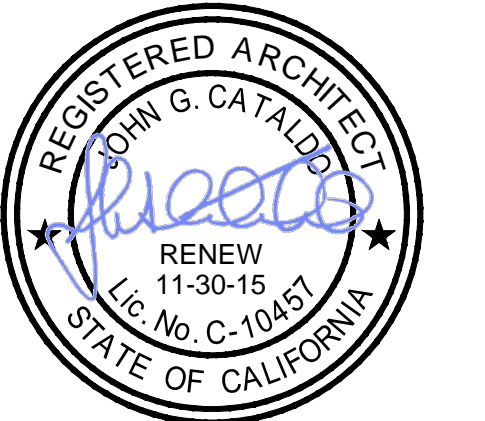
1717 DOOLITTLE DRIVE
SAN LEANDRO, CA 94577

DEVELOPER :
D/C 1717 DOOLITTLE SUB, LLC



JOHN G. CATALDO
A.I.A. C.S.C.

Drawing Content :
PROPOSED
OVERALL SITE PLAN



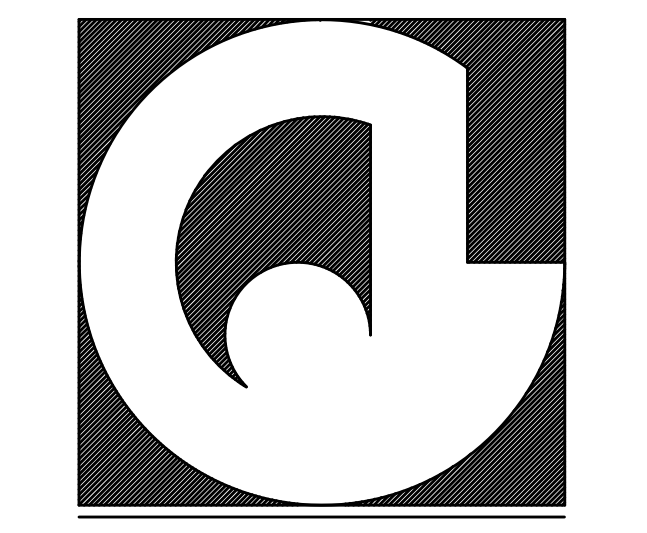
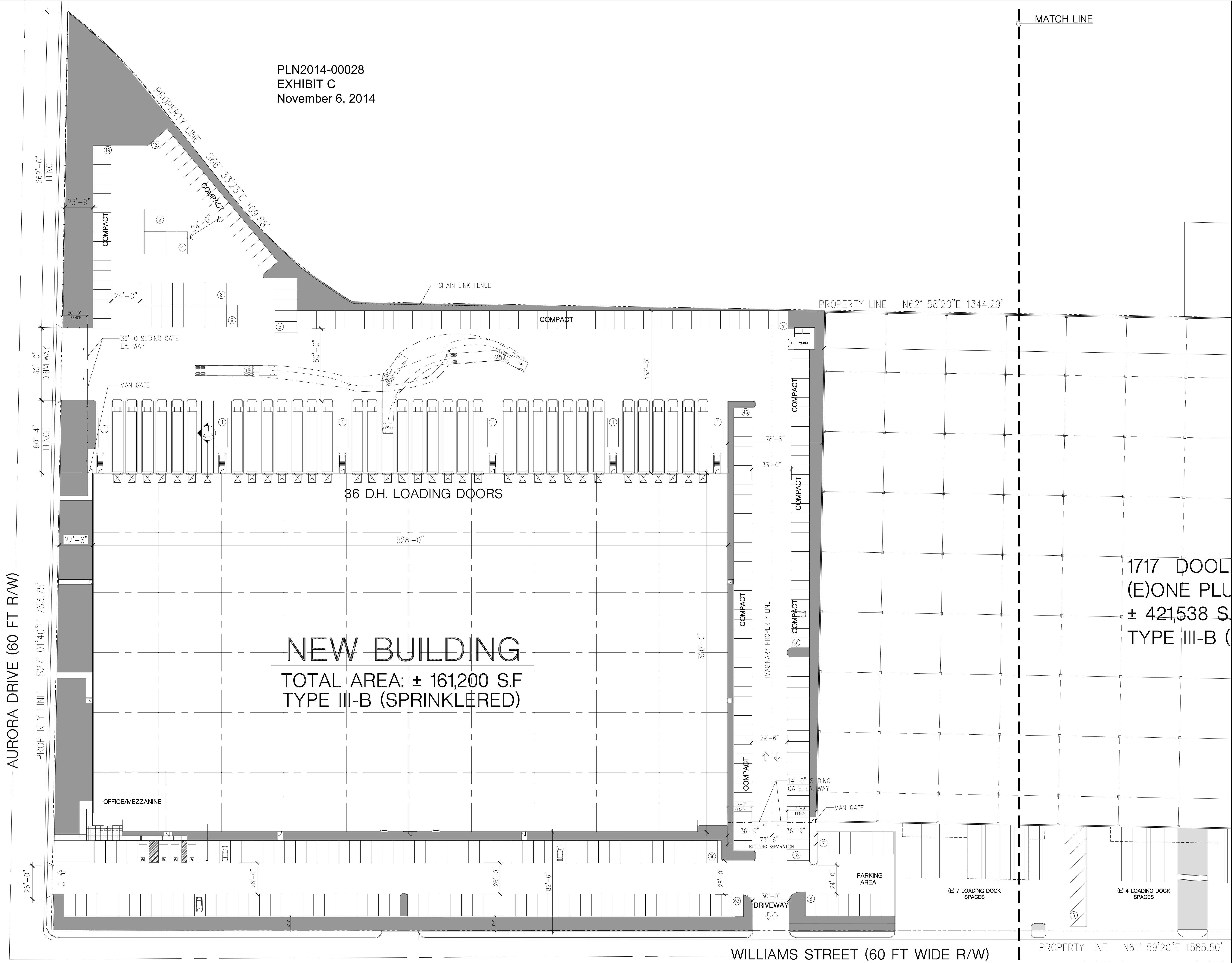
Revisions : _____ Date : _____

Designer : _____
Manager : _____
Date : AUG 22, 2014
Job No : 2014-019
Scale : AS NOTED
Drawing No : _____

A-1

SHEET : _____ OF : _____

PLN2014-00028
 EXHIBIT C
 November 6, 2014



ARCHITECTURE . ENGINEERING

835 MISSION STREET, SOUTH PASADENA, CA 91350
 OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

1717 DOOLITTLE DRIVE
 SAN LEANDRO, CA 94577

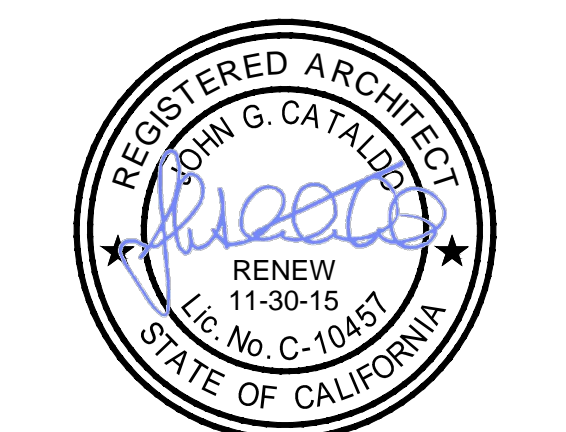
DEVELOPER :
 D/C 1717 DOOLITTLE SUB, LLC



COMSTOCK REALTY PARTNERS, LLC

JOHN G. CATALDO
 A.I.A. C.S.

Drawing Content :
 PROPOSED
 ENLARGED SITE PLAN



Revisions : Date :

Designer :
 Manager :
 Date : AUG 22, 2014
 Job No : 2014-019
 Scale : AS NOTED

Drawing No :

PROPOSED ENLARGED SITE PLAN

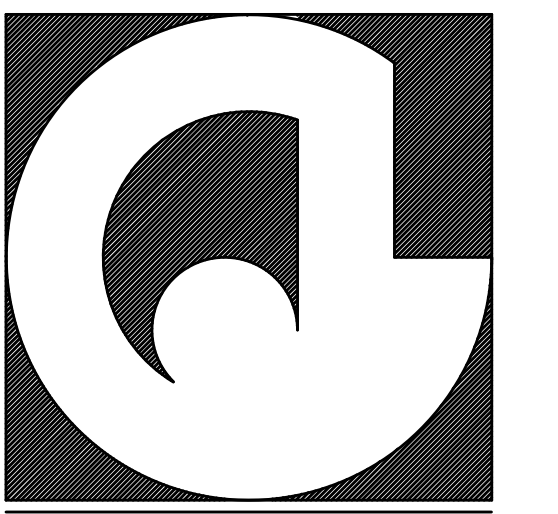
SCALE: 1" = 30'-0"



A-1.1

SHEET : OF :

PLN2014-00028
EXHIBIT D
November 6, 2014



ARCHITECTURE . ENGINEERING

835 MISSION STREET, SOUTH PASADENA, CA 91030
OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

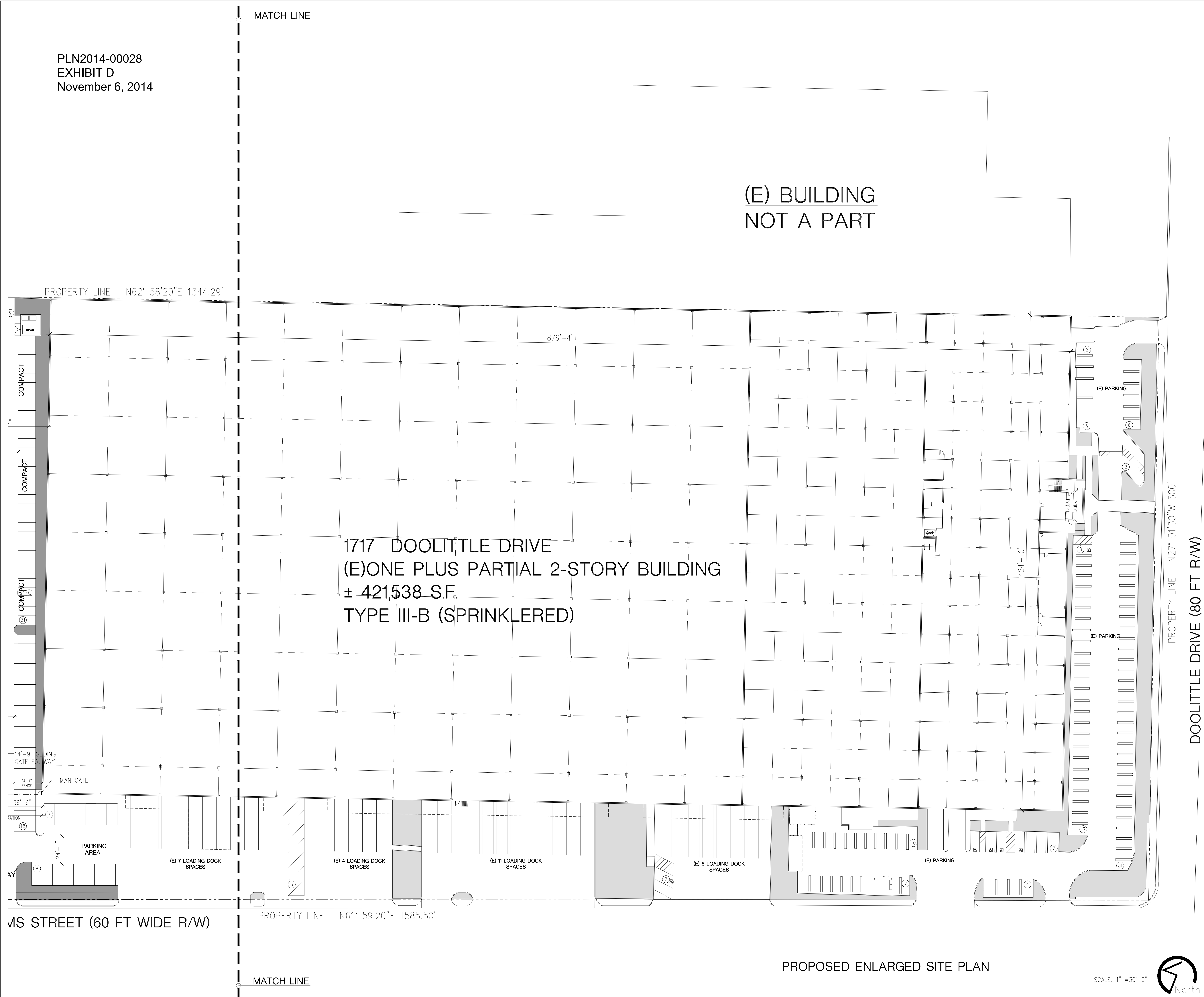
1717 DOOLITTLE DRIVE
SAN LEANDRO, CA 94577

DEVELOPER :
D/C 1717 DOOLITTLE SUB, LLC



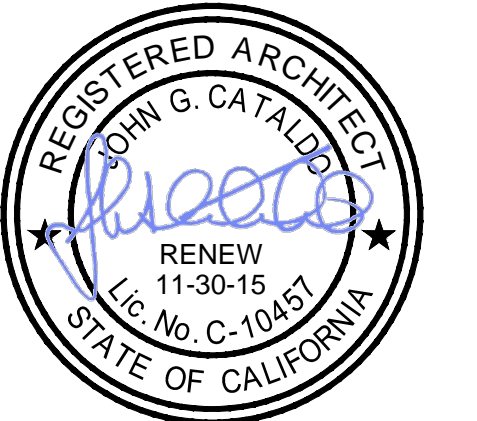
COMSTOCK REALTY
PARTNERS, LLC

JOHN G. CATALDO
A.I.A. C.S.A.



Drawing Content :

PROPOSED
ENLARGED SITE PLAN



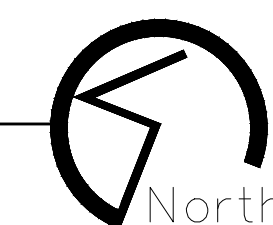
Revisions : _____ Date : _____

Designer : _____
Manager : _____
Date : AUG 22, 2014
Job No : 2014-019
Scale : AS NOTED

Drawing No :

PROPOSED ENLARGED SITE PLAN

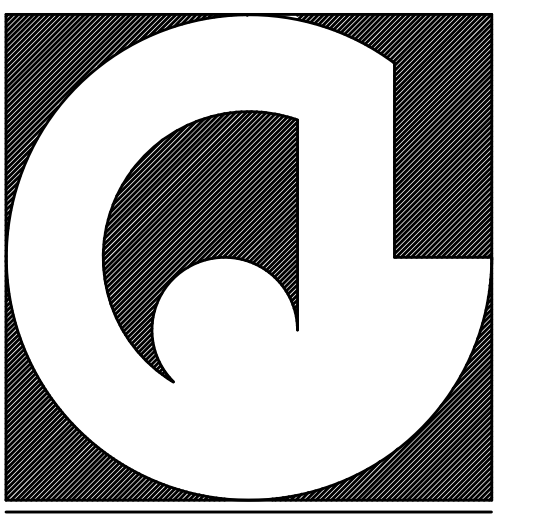
SCALE: 1" = 30'-0"



A-1.2

SHEET : _____ OF : _____

PLN2014-00028
 EXHIBIT E
 November 6, 2014



ARCHITECTURE . ENGINEERING

835 MISSION STREET, SOUTH PASADENA, CA 91030
 OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

1717 DOOLITTLE DRIVE
 SAN LEANDRO, CA 94577

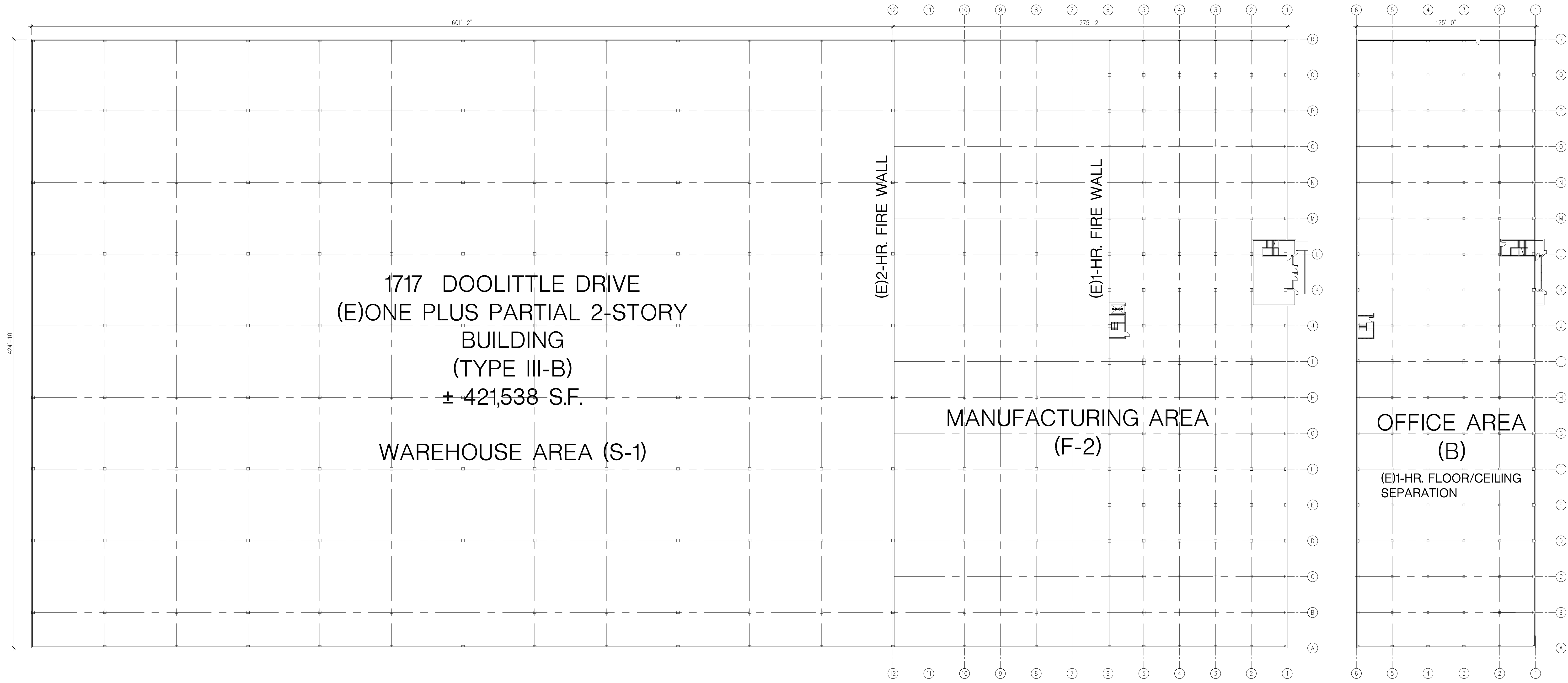
DEVELOPER :
 D/C 1717 DOOLITTLE, LLC



COMSTOCK REALTY
 PARTNERS, LLC

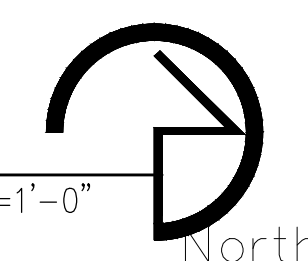
JOHN G. CATALDO
 A.I.A. C.S.

EXISTING BUILDING AREA ANALYSIS	
OFFICE AREA (B) :	53,125 S.F.
MANUFACTURING AREA (F-2) :	116,875 S.F.
WAREHOUSE AREA (S-1) :	251,538 S.F.
TOTAL EXISTING BUILDING AREA:	421,538 S.F.



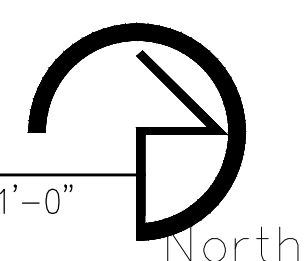
EXISTING GROUND FLOOR PLAN

SCALE: 1/32"=1'-0"



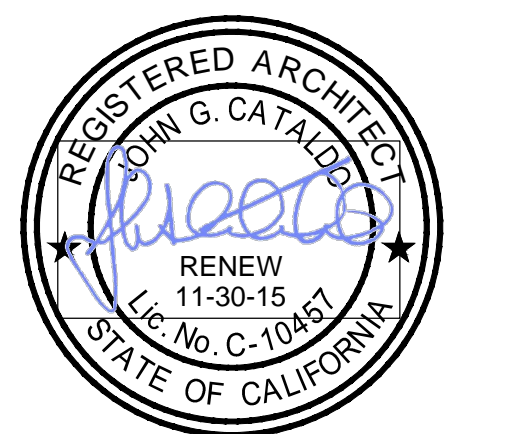
EXISTING SECOND FLOOR PLAN

SCALE: 1/32"=1'-0"



Drawing Content :

EXISTING
 OFFICE PLANS



Revisions : Date :

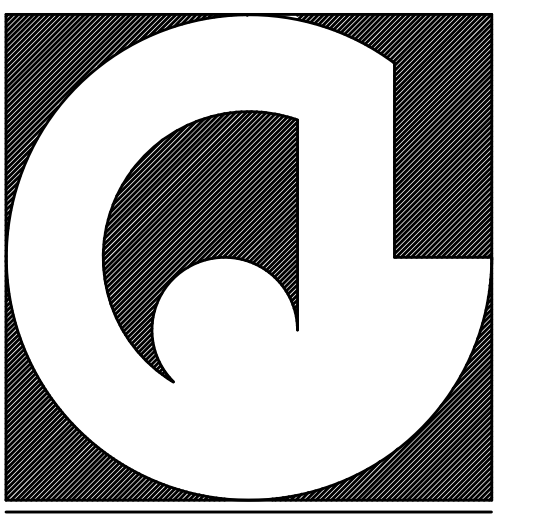
Designer :
 Manager :
 Date : AUG 22, 2014
 Job No : 2014-019
 Scale : AS NOTED

Drawing No :

A-2

SHEET : OF :

PLN2014-00028
 EXHIBIT F
 November 6, 2014



ARCHITECTURE . ENGINEERING

835 MISSION STREET, SOUTH PASADENA, CA 91030
 OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

1717 DOOLITTLE DRIVE
 SAN LEANDRO, CA 94577

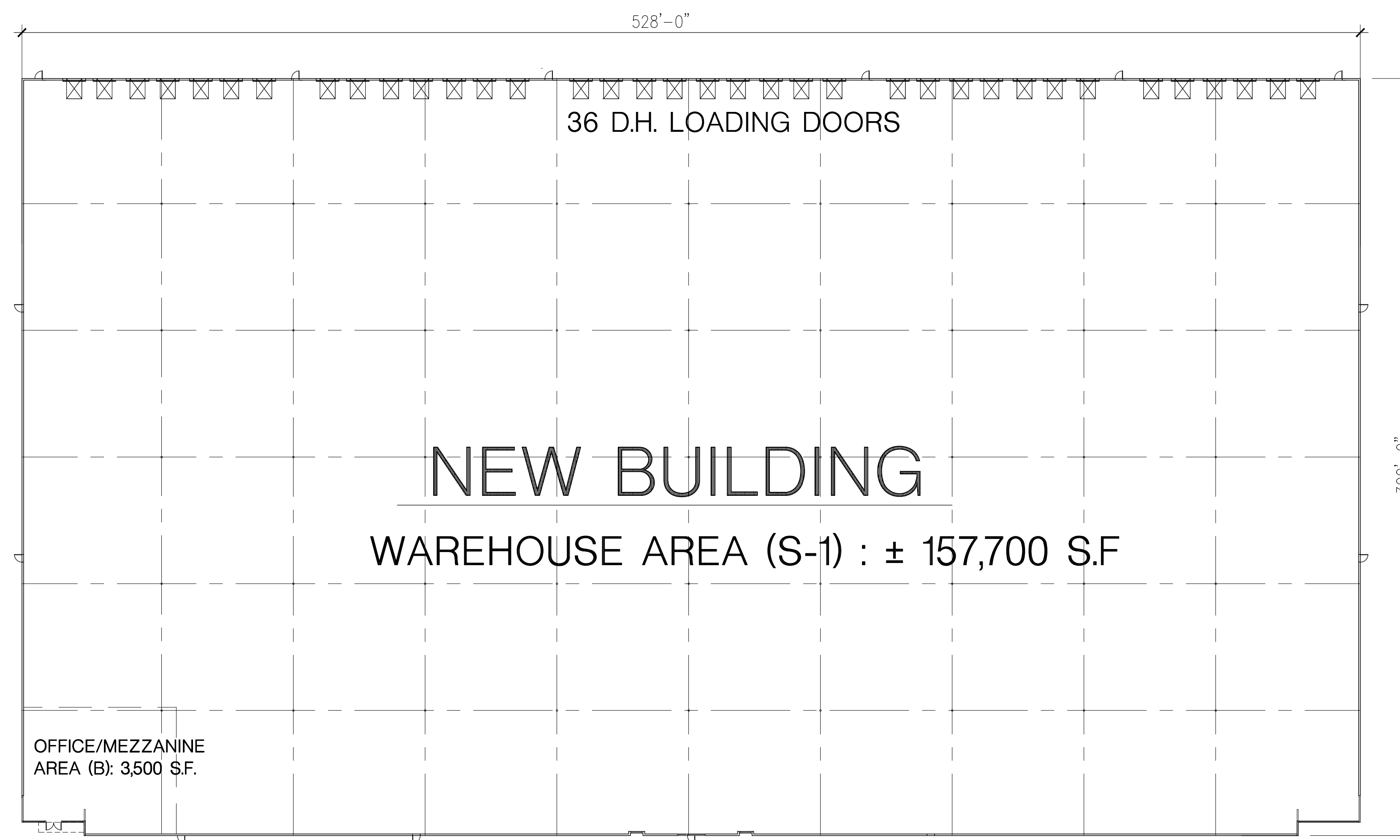
DEVELOPER :
 D/C 1717 DOOLITTLE SUB, LLC



COMSTOCK REALTY
 PARTNERS, LLC

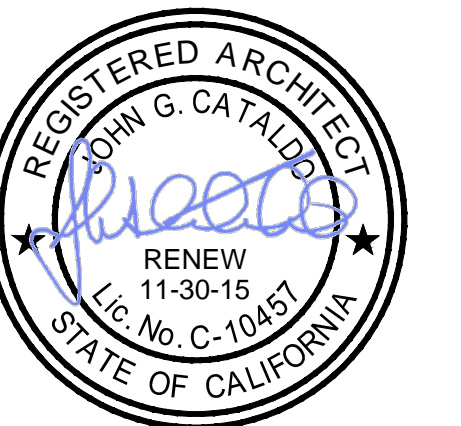
JOHN G. CATALDO
 A.I.A. C.S.

NEW DEVELOPMENT AREA ANALYSIS	
WAREHOUSE AREA (S-1):	157,700 S.F.
OFFICE AREA (B):	3,500 S.F.
MEZZANINE AREA (B):	2,800 S.F.
TOTAL PROPOSED NEW BUILDING AREA:	± 161,200 S.F.



Drawing Content :

PROPOSED
 FLOOR PLAN



Revisions : Date :

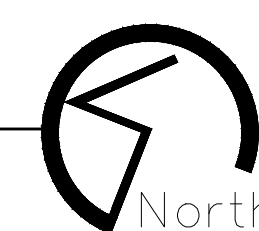
Revisions	Date

Designer :
 Manager :
 Date : AUG 22, 2014
 Job No : 2014-019
 Scale : AS NOTED

Drawing No :

PROPOSED FLOOR PLAN

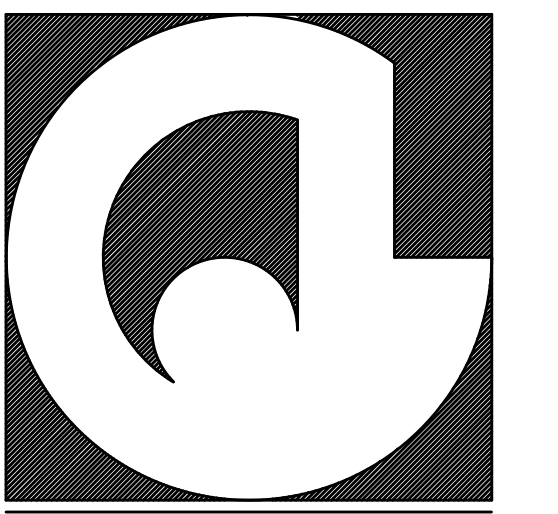
SCALE: 1/32" = 1'-0"



A-3

SHEET : OF :

PLN2014-00028
 EXHIBIT G
 November 6, 2014



ARCHITECTURE . ENGINEERING

835 MISSION STREET, SOUTH PASADENA, CA 91030
 OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

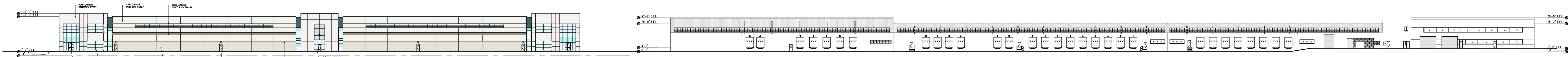
1717 DOOLITTLE DRIVE
 SAN LEANDRO, CA 94577

DEVELOPER :
 D/C 1717 DOOLITTLE SUB, LLC



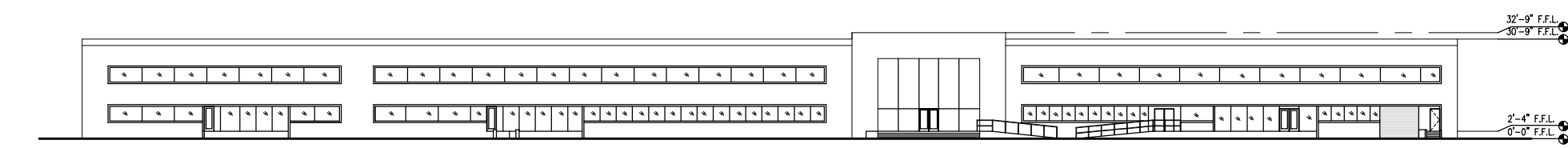
COMSTOCK REALTY
 PARTNERS, LLC

JOHN G. CATALDO



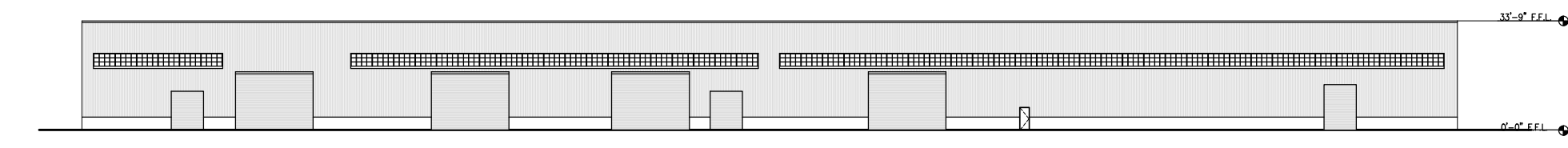
EXISTING/PROPOSED SOUTH ELEVATION

SCALE: N.T.S



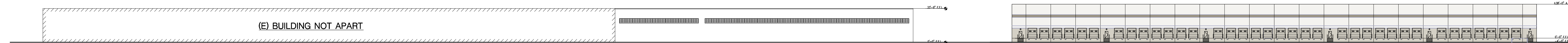
EXISTING EAST ELEVATION

SCALE: N.T.S



EXISTING WEST ELEVATION

SCALE: N.T.S

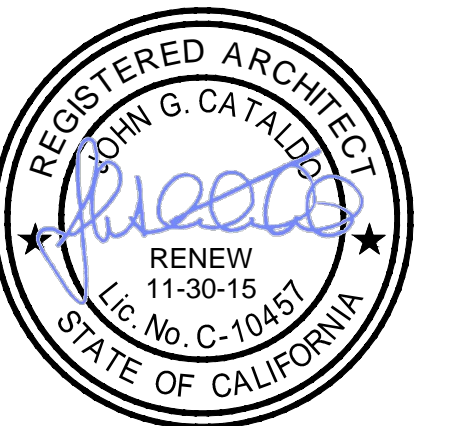


EXISTING/PROPOSED NORTH ELEVATION

SCALE: N.T.S

Drawing Content :

EXISTING/PROPOSED
 ELEVATIONS



Revisions : Date :

Revisions	Date

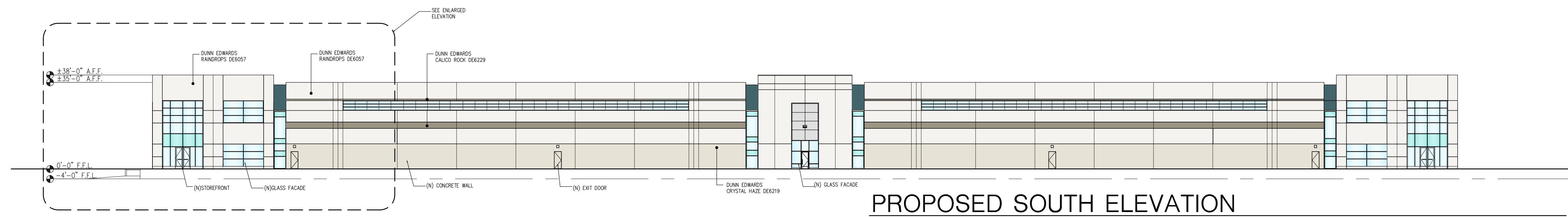
Designer :
 Manager :
 Date : AUG 22, 2014
 Job No : 2014-019
 Scale : AS NOTED

Drawing No :

A-4

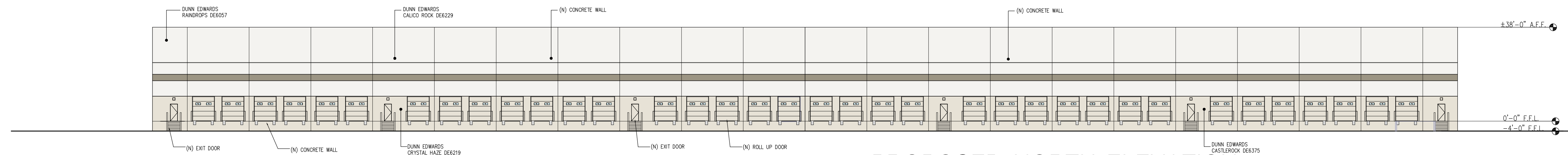
SHEET : OF :

PLN2014-00028
 EXHIBIT H
 November 6, 2014



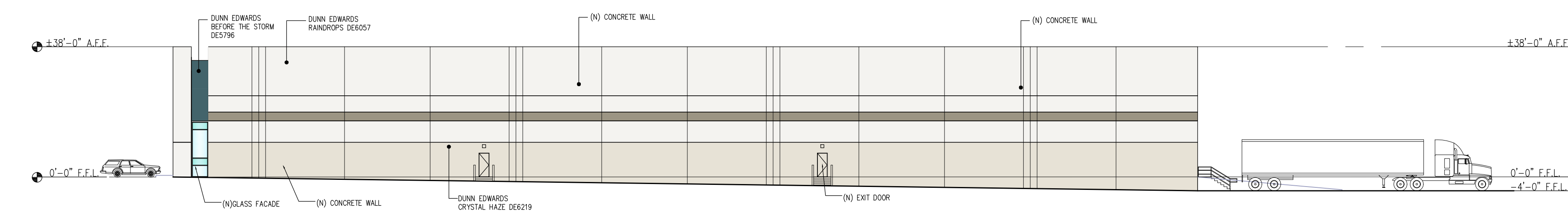
PROPOSED SOUTH ELEVATION

N.T.S.



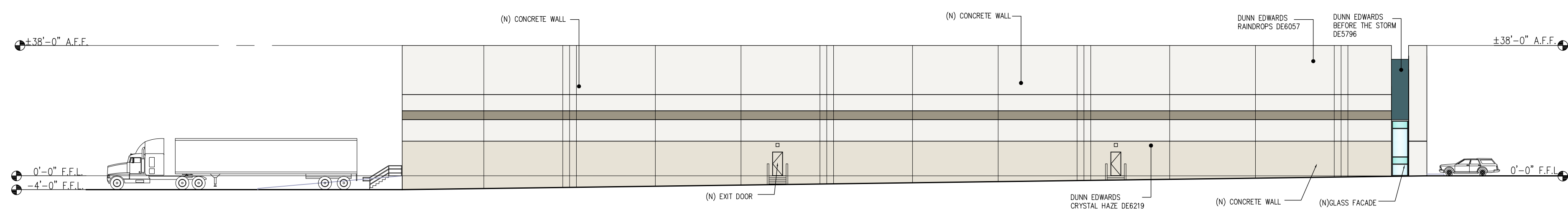
PROPOSED NORTH ELEVATION

N.T.S.



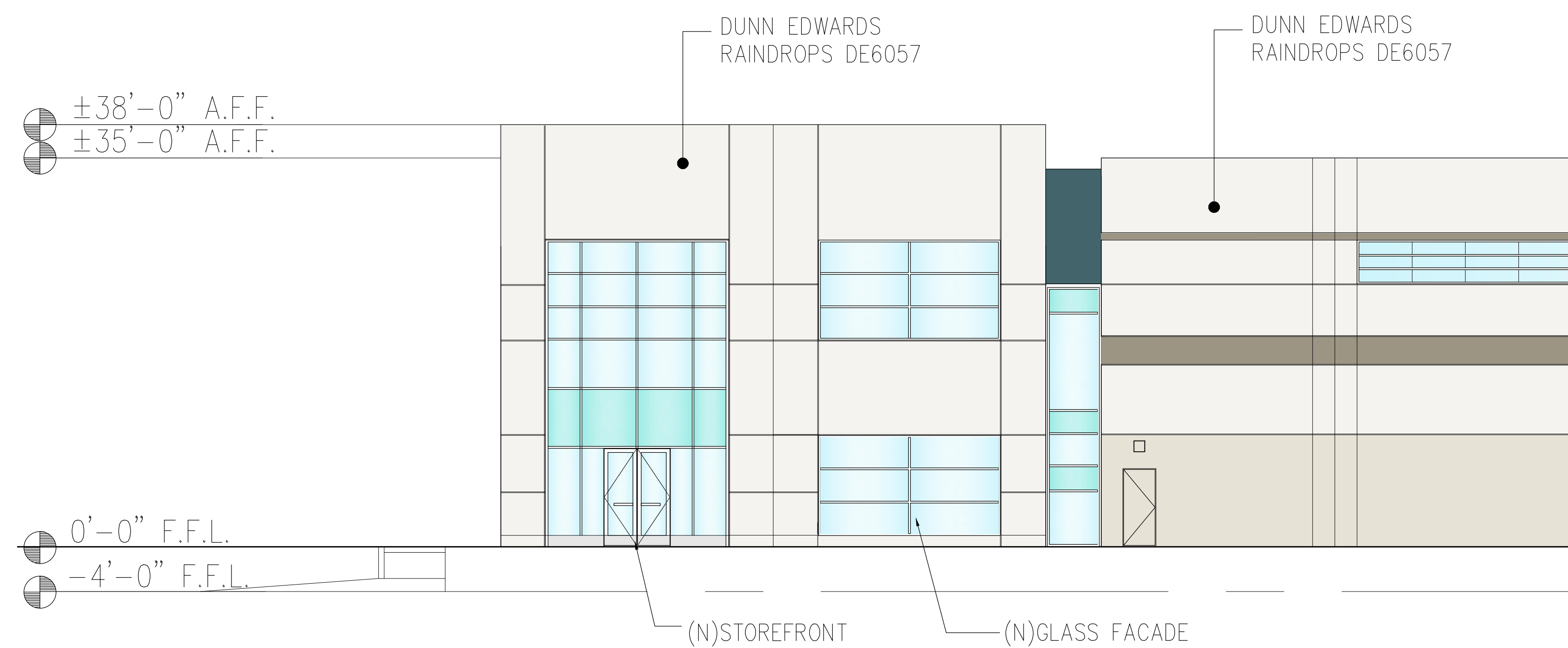
PROPOSED EAST ELEVATION

N.T.S.



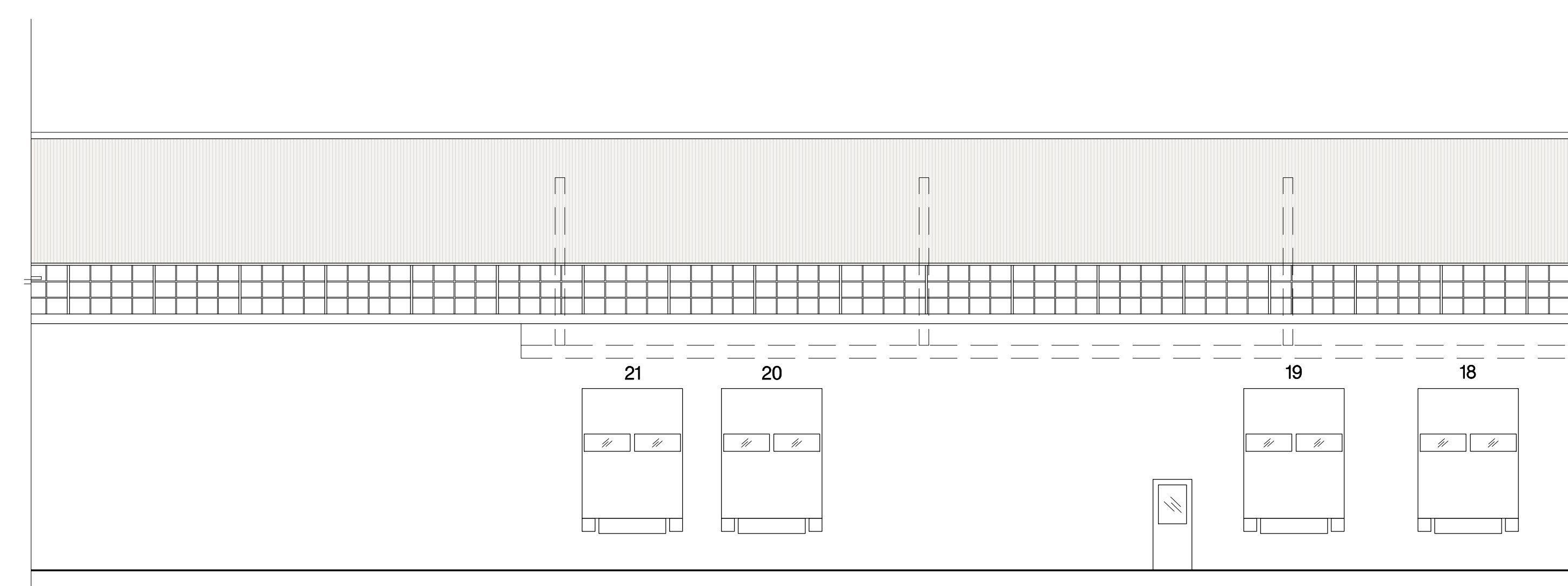
PROPOSED WEST ELEVATION

N.T.S.



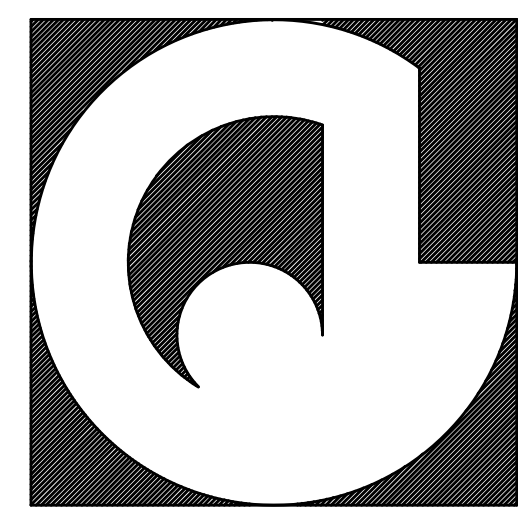
ENLARGED ELEVATION

N.T.S.



ENLARGED ELEVATION

N.T.S.



ARCHITECTURE . ENGINEERING

835 MISSION STREET, SOUTH PASADENA, CA 91030
 OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

1717 DOOLITTLE DRIVE
 SAN LEANDRO, CA 94577

DEVELOPER :
 D/C 1717 DOOLITTLE SUB, LLC



COMSTOCK REALTY
 PARTNERS, LLC

JOHN G. CATALDO

Drawing Content :

PROPOSED
 ELEVATIONS-4



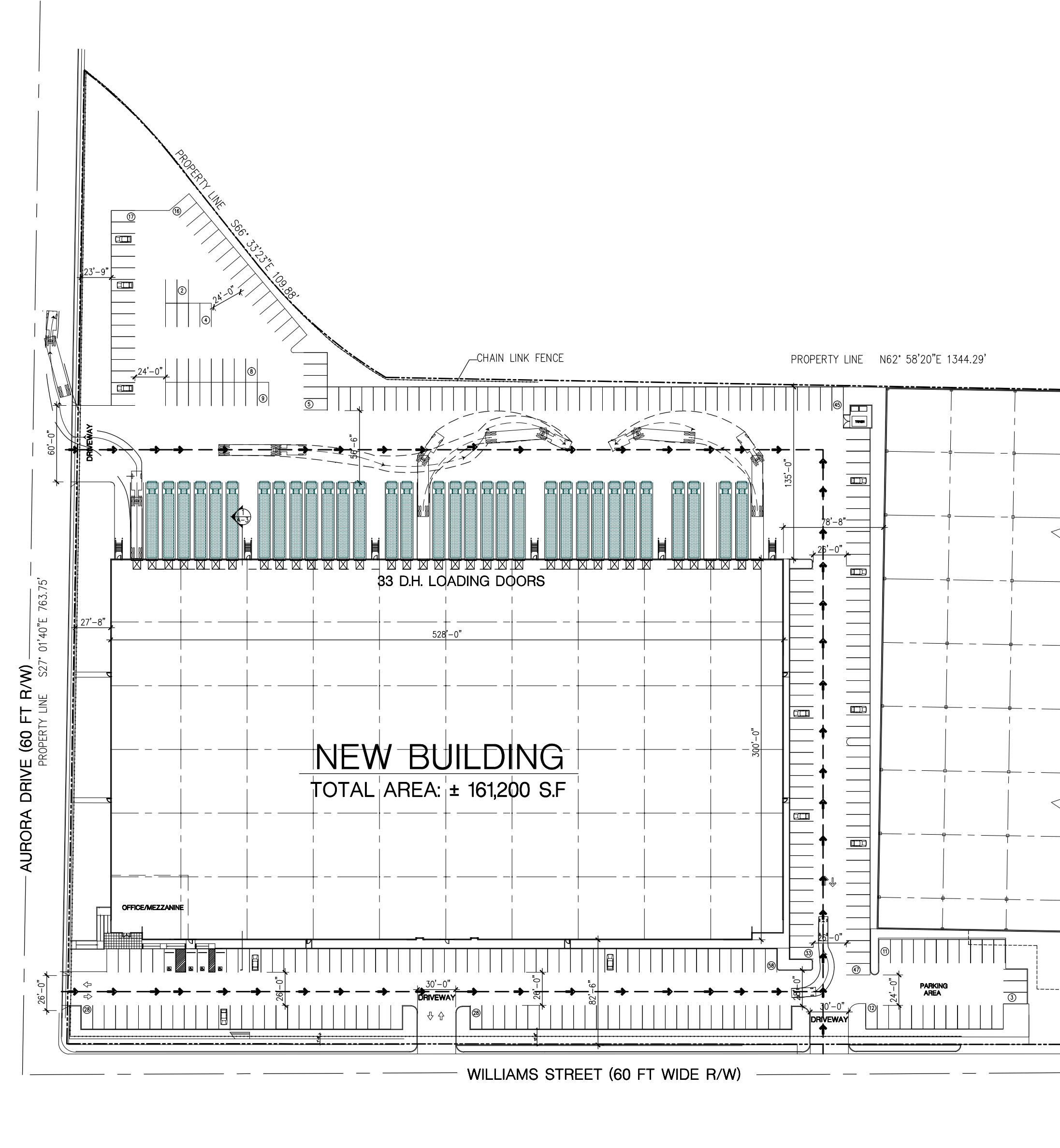
Revisions : Date :

Designer :
 Manager :
 Date : AUG 22, 2014
 Job No : 2014-019
 Scale : AS NOTED

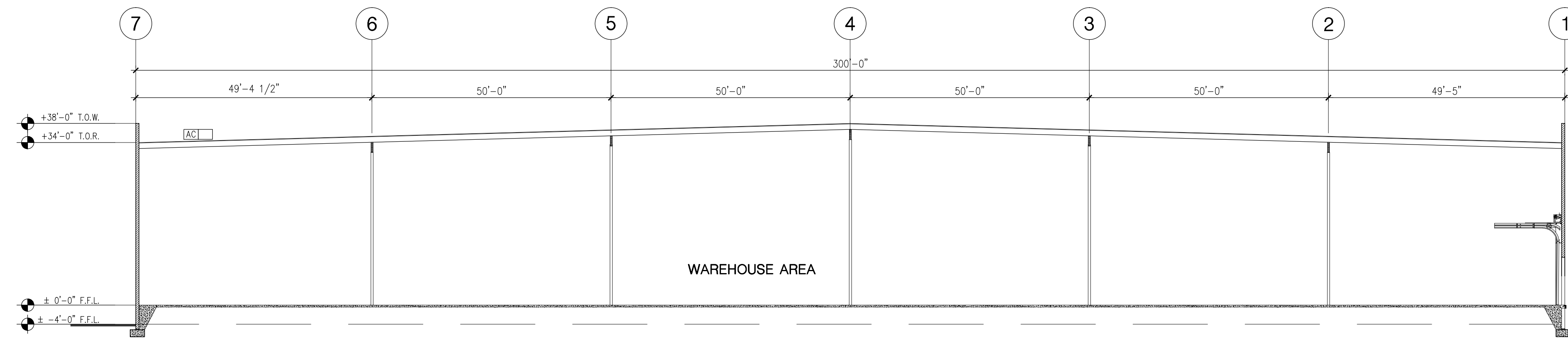
Drawing No :

A-4.1

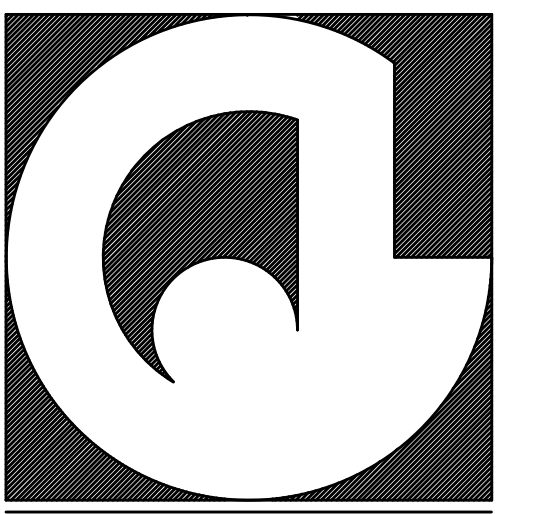
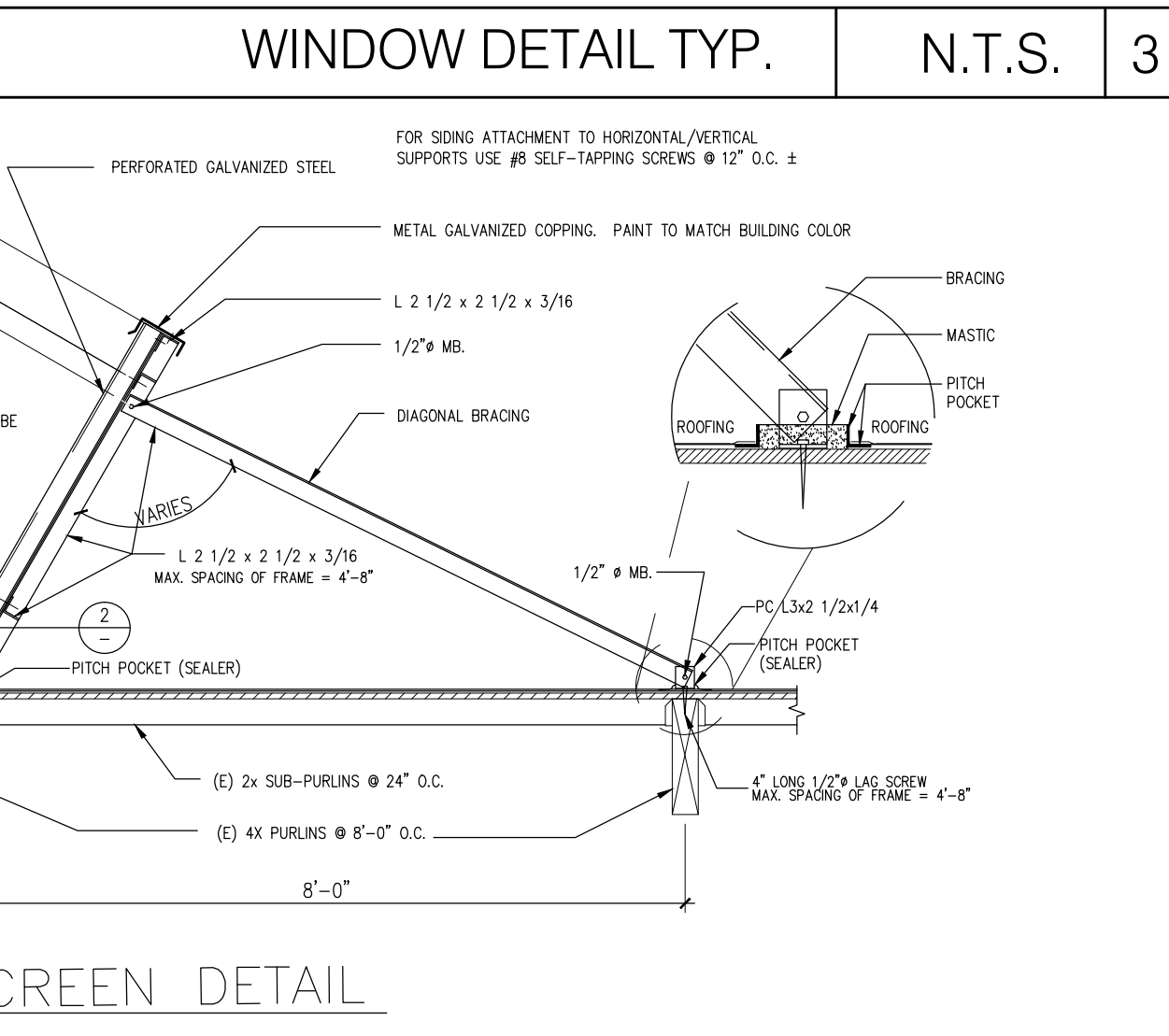
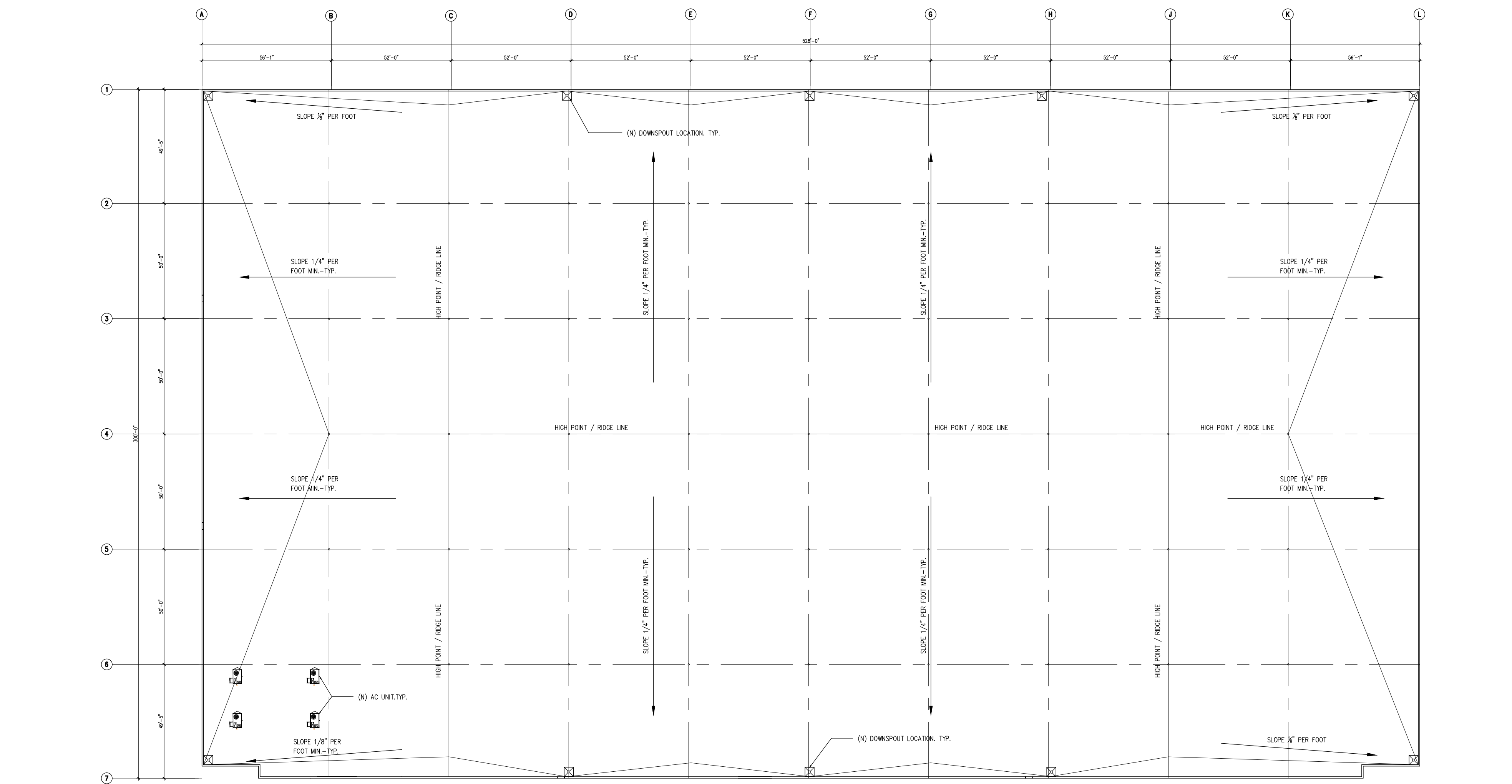
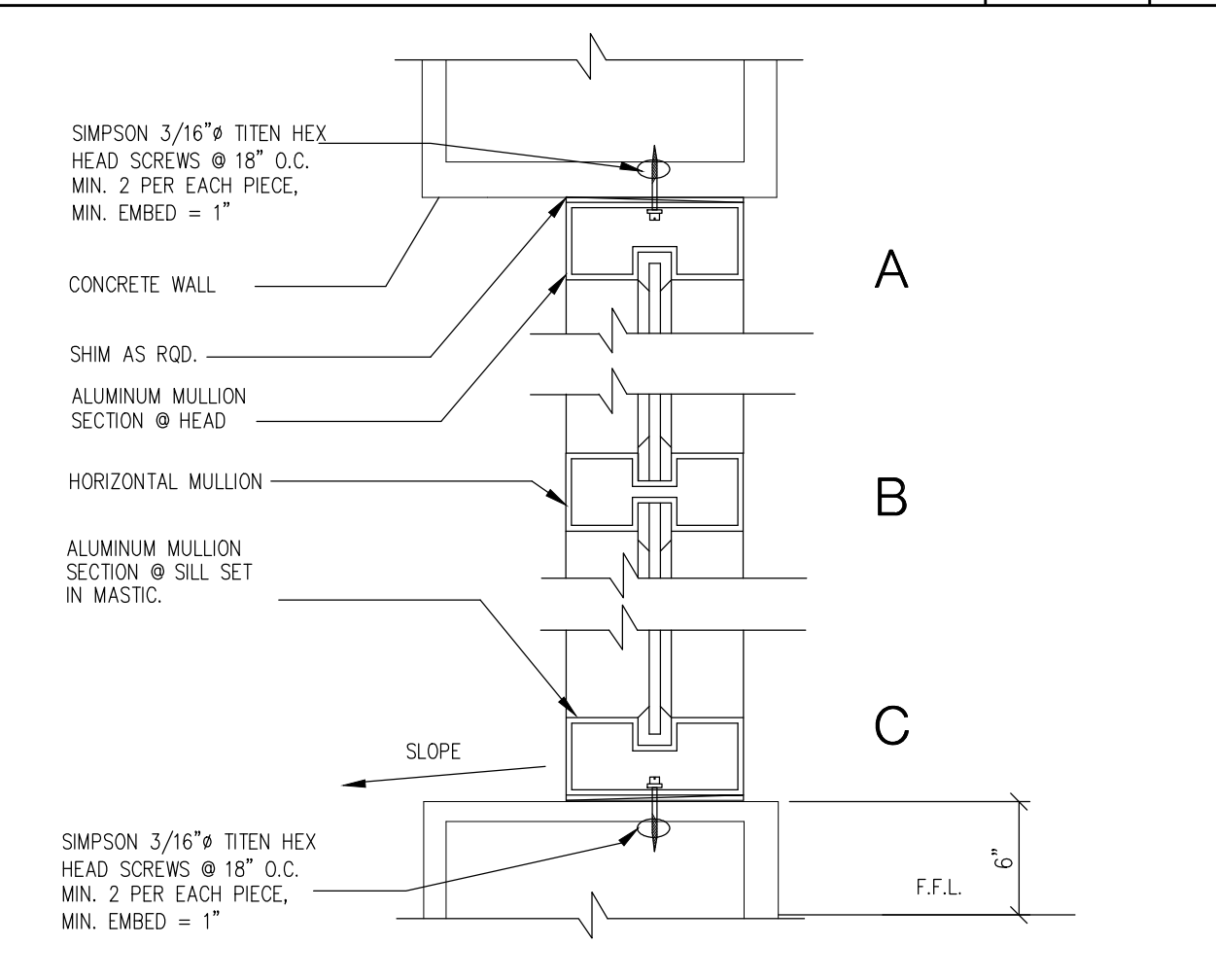
SHEET : OF :



NOTE:
1. TRUCK TRAFFIC FOR THE PROPOSED DEVELOPMENT ONLY WILL ENTER/EXIT THE PROPERTY FROM DOOLITTLE DRIVE VIA POLVOROSA DRIVE AND AURORA DRIVE.



TRAFFIC/CIRCULATION STUDY N.T.S. 2



ARCHITECTURE . ENGINEERING

835 MISSION STREET, SOUTH PASADENA, CA 91030
OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

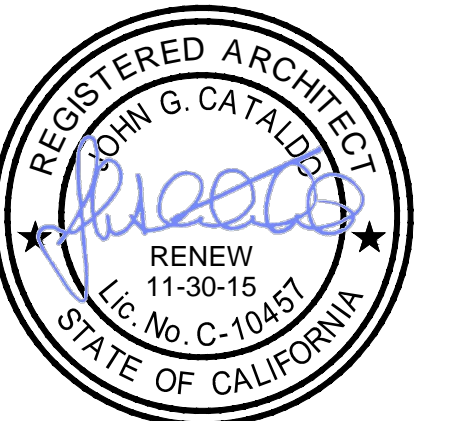
1717 DOOLITTLE DRIVE
SAN LEANDRO, CA 94577

DEVELOPER :
D/C 1717 DOOLITTLE SUB, LLC



JOHN G. CATALDO
A.I.A. C.S.

Drawing Content :
PROPOSED
ROOF PLAN & SECTION



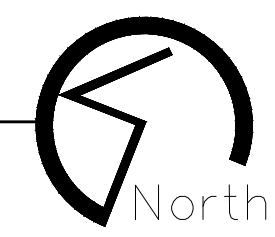
Revisions : Date :

Designer :
Manager :
Date : AUG 22, 2014
Job No : 2014-019
Scale : AS NOTED

Drawing No :

A-5

SHEET : OF :



PLN2014-00028
EXHIBIT J
November 6, 2014



0 15 30 60 90
Scale 1" = 30 ft



VICINITY MAP
NOT TO SCALE

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
Fax (925) 245-8796

PROJECT NAME & SITE ADDRESS:

1717 DOOLITTLE DRIVE
SAN LEANDRO, CA 94577

DEVELOPER:
D/C 1717 DOOLITTLE SUB, LLC

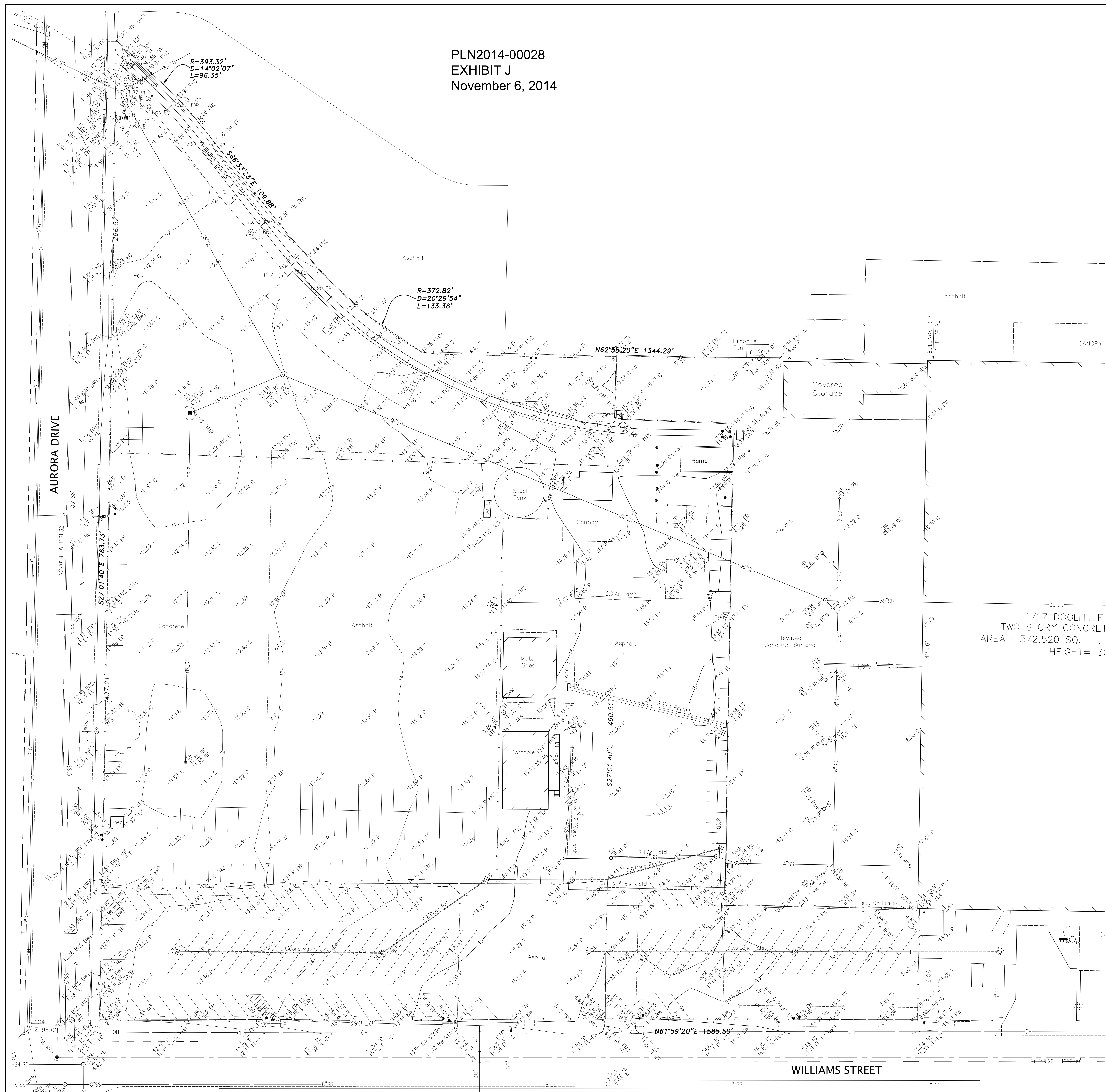
COMSTOCK REALTY
PARTNERS, LLC

Drawing Content:
TOPOGRAPHIC SURVEY

Revisions:	Date:

Designer: DJA
Manager: JAM
Date: June, 2014
Job No: A08609-7
Scale: AS NOTED

Drawing No:
C1
OF 5 SHEETS



1717 DOOLITTLE
TWO STORY CONCRETE
AREA= 372,520 SQ. FT.
HEIGHT= 30'

LEGEND

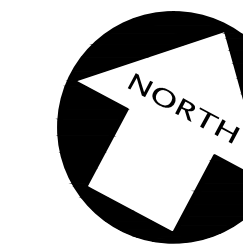
[Symbol]	BUILDING LINE
[Symbol]	CONCRETE/BLOCK/RETAINING WALL
[Symbol]	CONCRETE CURB
[Symbol]	CONCRETE CURB & GUTTER
[Symbol]	CONTOUR LINE
[Symbol]	DRIVEWAY
[Symbol]	EDGE OF PAVEMENT
[Symbol]	ELECTRIC LINE
[Symbol]	FENCE LINE
[Symbol]	GAS LINE-VALVE & METER
[Symbol]	LOT LINE
[Symbol]	MONUMENT/MONUMENT LINE
[Symbol]	OVERHEAD POWER LINE
[Symbol]	PROPERTY LINE
[Symbol]	SANITARY SEWER-MANHOLE & CLEANOUT
[Symbol]	SIDEWALK
[Symbol]	SPOT ELEVATION
[Symbol]	STORM DRAIN-MANHOLE & CATCH BASIN
[Symbol]	WATER LINE & VALVE
[Symbol]	ELECTROILER
[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	FIRE HYDRANT
[Symbol]	POWER POLE/JOINT POLE
[Symbol]	TREE
[Symbol]	UTILITY BOX
[Symbol]	AT GRADE
[Symbol]	BEGIN
[Symbol]	BUILDING LINE
[Symbol]	BACK OF ROLLED CURB
[Symbol]	BACK OF WALK
[Symbol]	CATCH BASIN
[Symbol]	CONCRETE
[Symbol]	CLEAN OUT
[Symbol]	DROP INLET
[Symbol]	DRIVEWAY
[Symbol]	ELECTRIC BOX
[Symbol]	EDGE OF CONCRETE
[Symbol]	EDGE OF CONCRETE DOCK
[Symbol]	EDGE OF PAVEMENT
[Symbol]	ELECTRIC VAULT
[Symbol]	FACE OF CURB
[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	FLOOR DRAIN
[Symbol]	FOUND MONUMENT
[Symbol]	FINISH FLOOR
[Symbol]	FIRE HYDRANT
[Symbol]	FLOW LINE
[Symbol]	FENCE
[Symbol]	FACE OF WALL
[Symbol]	GRADE BREAK
[Symbol]	GAS MARKER/METER
[Symbol]	HANDICAP RAMP
[Symbol]	INVERT ELEVATION
[Symbol]	JOINT POWER POLE
[Symbol]	LIP OF GUTTER
[Symbol]	PAVEMENT
[Symbol]	POWER POLE
[Symbol]	RIM ELEVATION
[Symbol]	RAILROAD TRACK
[Symbol]	SDMH
[Symbol]	STREET LIGHT
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	TOP OF CURB
[Symbol]	UNKNOWN UTILITY BOX
[Symbol]	WATER BOX
[Symbol]	WATER METER
[Symbol]	WATER VALVE

- NOTES**
- THIS PLOT WAS PREPARED FROM INFORMATION CONTAINED IN AN ALTA/ACSM LAND TITLE SURVEY PREPARED BY DURVEY AND ASSOCIATES DATED MARCH, 2007 COMBINED WITH INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED JULY 14, 2009, NUMBER NCS-404381-CC, AMENDED, AND SUPPLEMENTED BY ADDITIONAL FIELD WORK PERFORMED BY KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS THEREOF.
 - ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
 - THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE SURVEYOR CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
 - BENCHMARK: CITY OF SAN LEANDRO DISC IN MONUMENT WELL AT THE INTERSECTION OF DOOLITTLE DRIVE AND WILLIAMS STREET. ELEVATION= 17.778 (NGVD 29)
 - SEE SHEET C2 FOR PROPOSED IMPROVEMENTS, BUILDING OCCUPANCY, FLOOR AREA RATIOS AND FIRE RATING INFORMATION PROVIDED BY CRJ ARCHITECTS, INC.

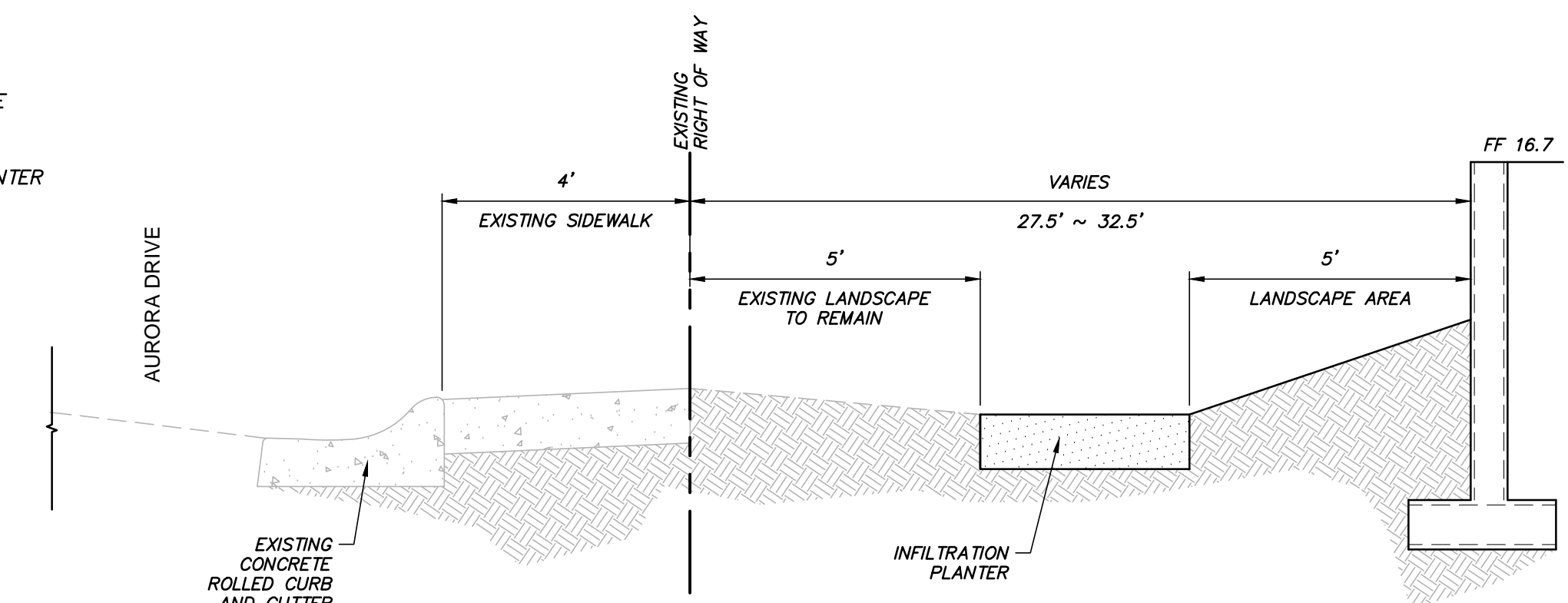
PLN2014-00028
EXHIBIT K
November 6, 2014

LEGEND

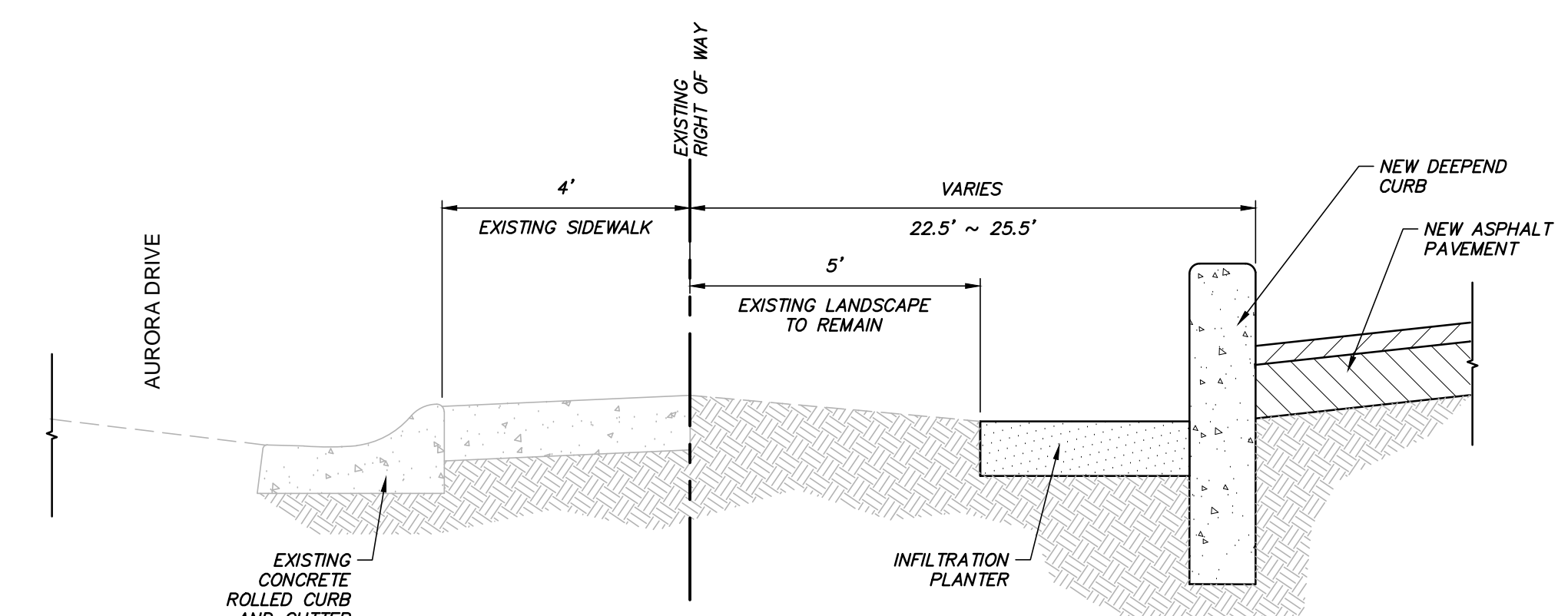
- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- FL FLOW LINE
- FF FINISH FLOOR
- PV PAVEMENT
- RE RIM ELEVATION
- 23.8 SPOT ELEVATION
- X'SD STORM DRAIN LINE
- TC TOP OF CURB
- [Pattern] INFILTRATION PLANTER



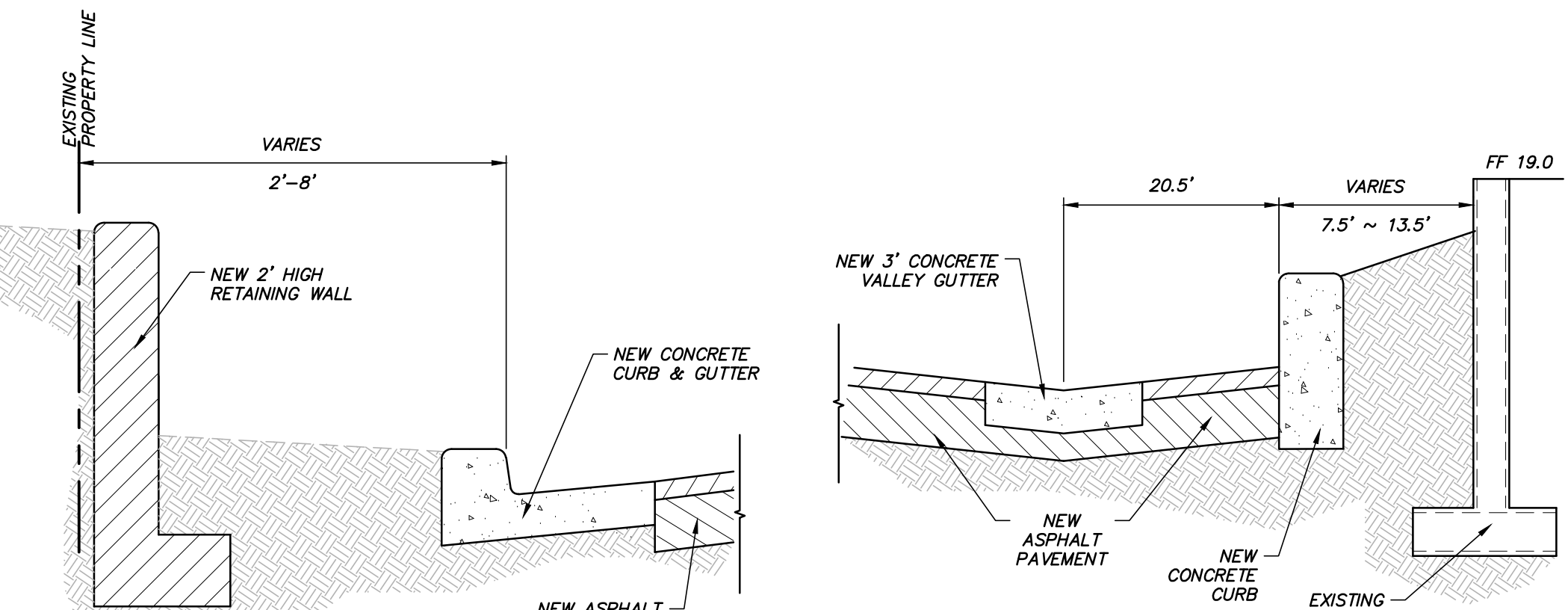
0 15 30 60 90
Scale 1" = 30 ft



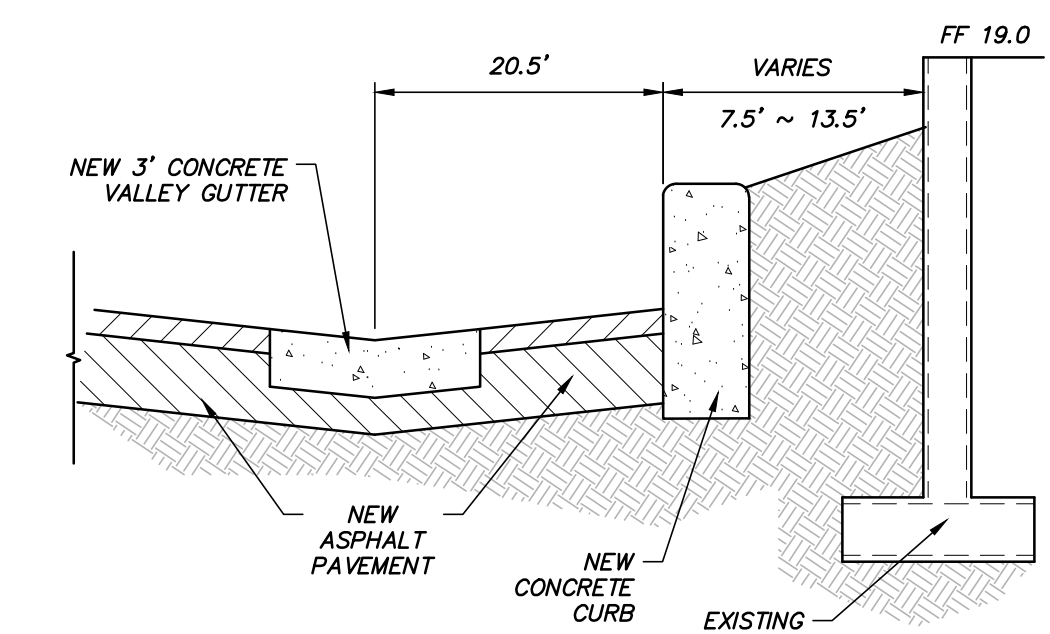
SECTION A
NOT TO SCALE



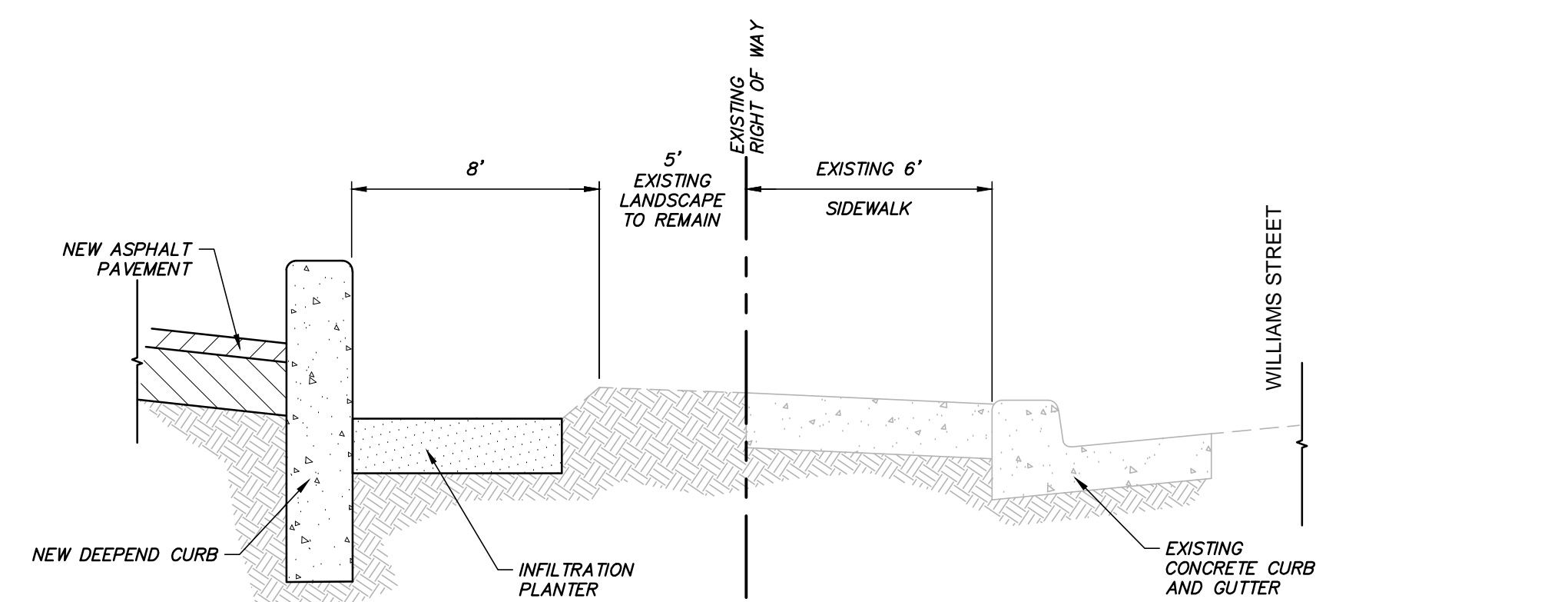
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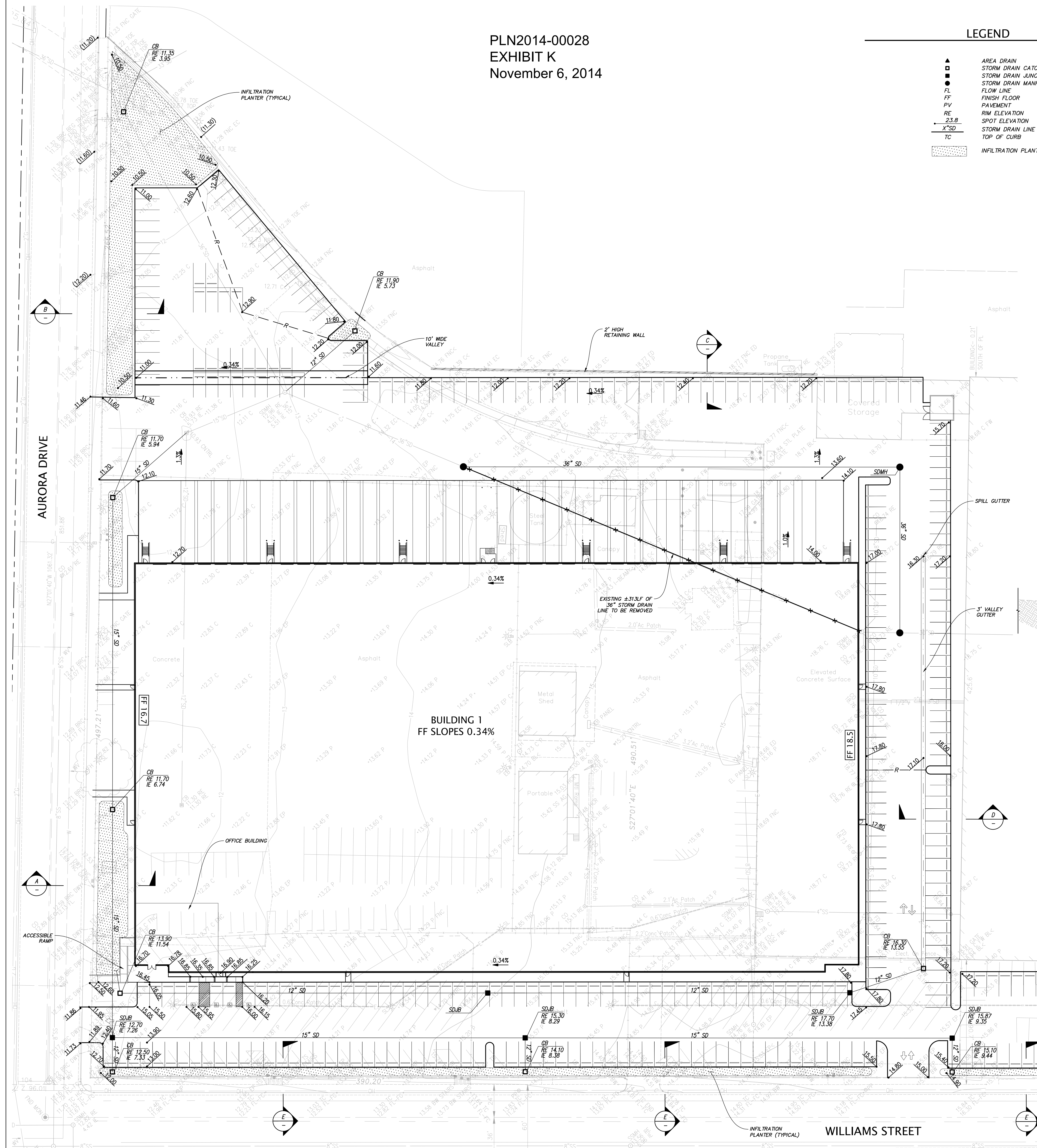
SECTION C
NOT TO SCALE



SECTION D
NOT TO SCALE



SECTION E
NOT TO SCALE



KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
Fax (925) 245-8796

PROJECT NAME & SITE ADDRESS:

1717 DOOLITTLE DRIVE
SAN LEANDRO, CA 94577

DEVELOPER:
D/C 1717 DOOLITTLE SUB, LLC

COMSTOCK REALTY
PARTNERS, LLC

Drawing Content:
**PRELIMINARY
GRADING
PLAN**

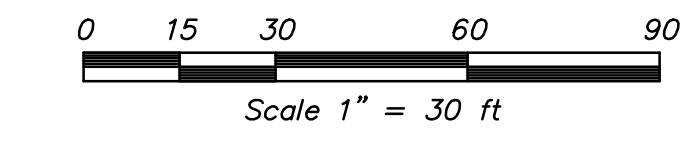
Revisions:	Date:

Designer: DJA
Manager: JAM
Date: June, 2014
Job No: A08609-7
Scale: AS NOTED

Drawing No:

C2
OF 5 SHEETS

PLN2014-00028
EXHIBIT L
November 6, 2014



LEGEND

- ASR AUTOMATIC SPRINKLER RISER
- BACK FLOW PREVENTION DEVICE
- X— EXISTING UTILITY TO BE ABANDONED BY REMOVAL
- +— FIRE DEPARTMENT CONNECTION
- FH— FIRE HYDRANT & VALVE
- FS— FIRE SERVICE
- SS— SANITARY SEWER
- COTG SANITARY SEWER CLEANOUT TO GRADE
- SSMH SANITARY SEWER MANHOLE
- SCV SINGLE CHECK VALVE
- SDCB STORM DRAIN CATCH BASIN
- SDJB STORM DRAIN JUNCTION BOX
- SDMH STORM DRAIN MANHOLE
- X-SD STORM DRAIN LINE
- SDMH STORM DRAIN MANHOLE
- WM WATER METER
- WS WATER SERVICE

PROJECT NAME & SITE ADDRESS:

1717 DOOLITTLE DRIVE
SAN LEANDRO, CA 94577

DEVELOPER:
D/C 1717 DOOLITTLE SUB, LLC

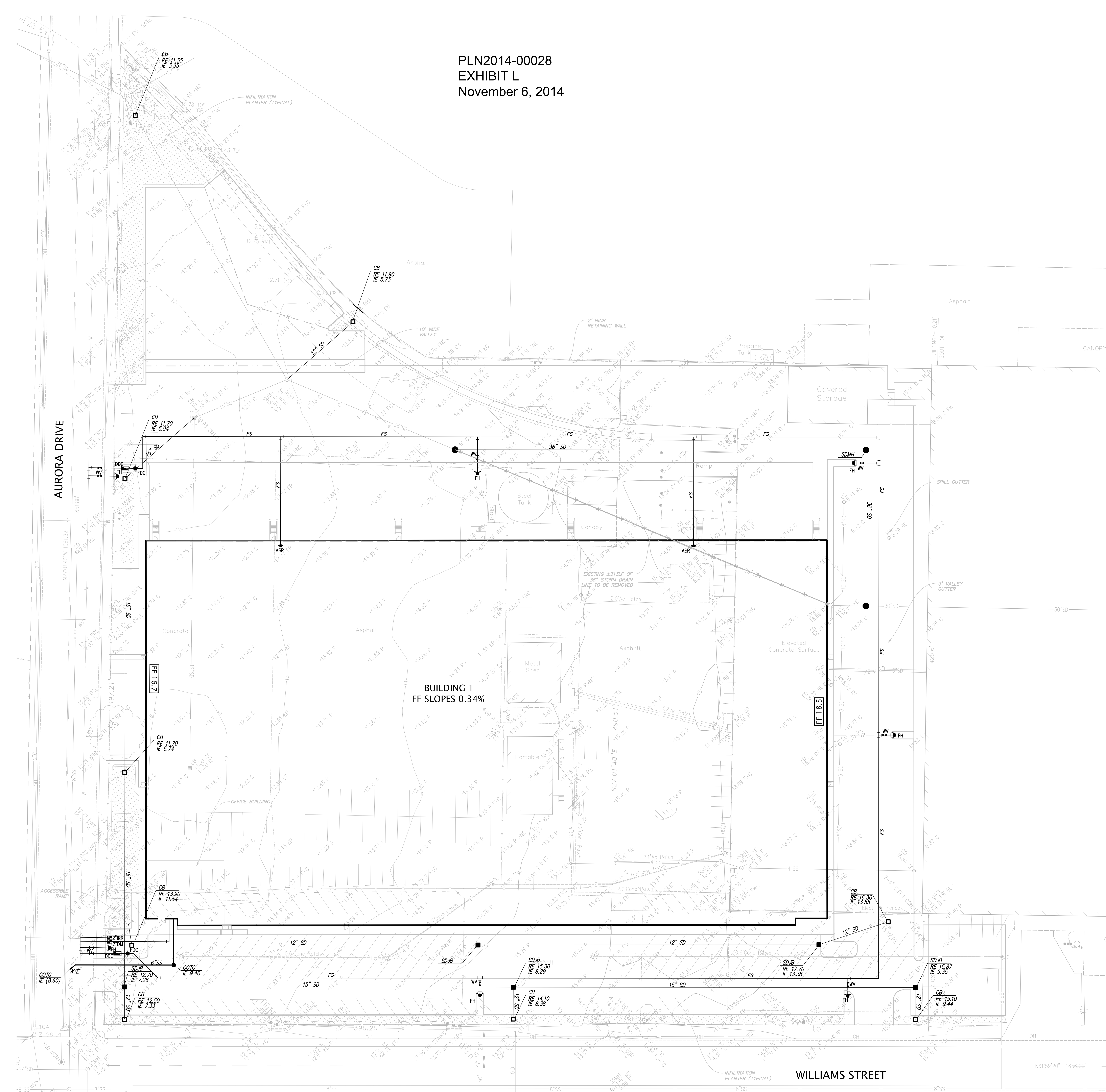
COMSTOCK REALTY
PARTNERS, LLC

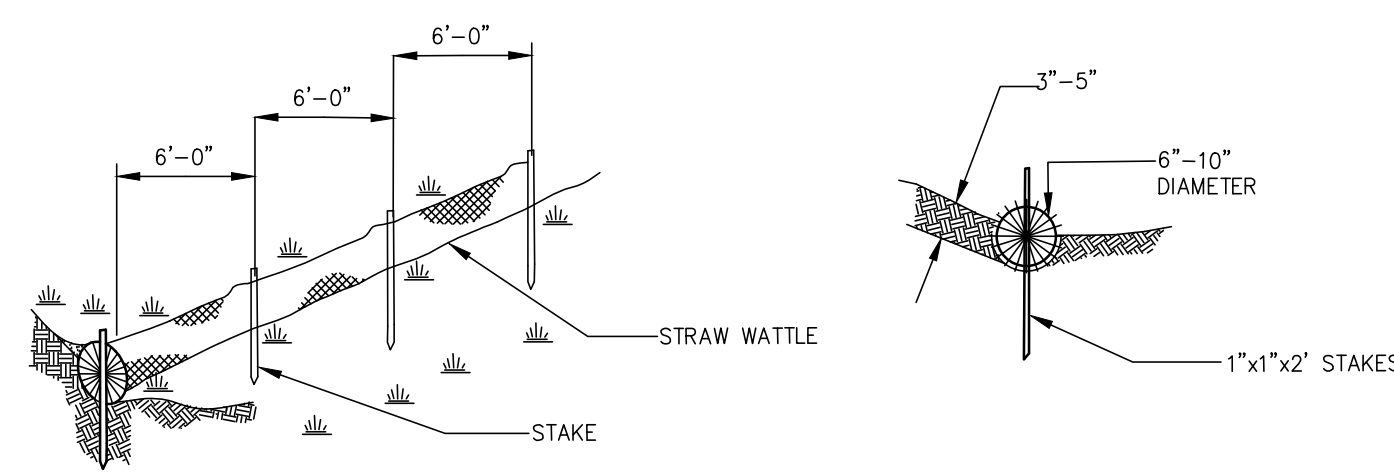
Drawing Content:
**PRELIMINARY
UTILITY PLAN**

Revisions:	Date:

Designer: DJA
Manager: JAM
Date: June, 2014
Job No: A08609-7
Scale: AS NOTED

Drawing No:
C3
OF 5 SHEETS

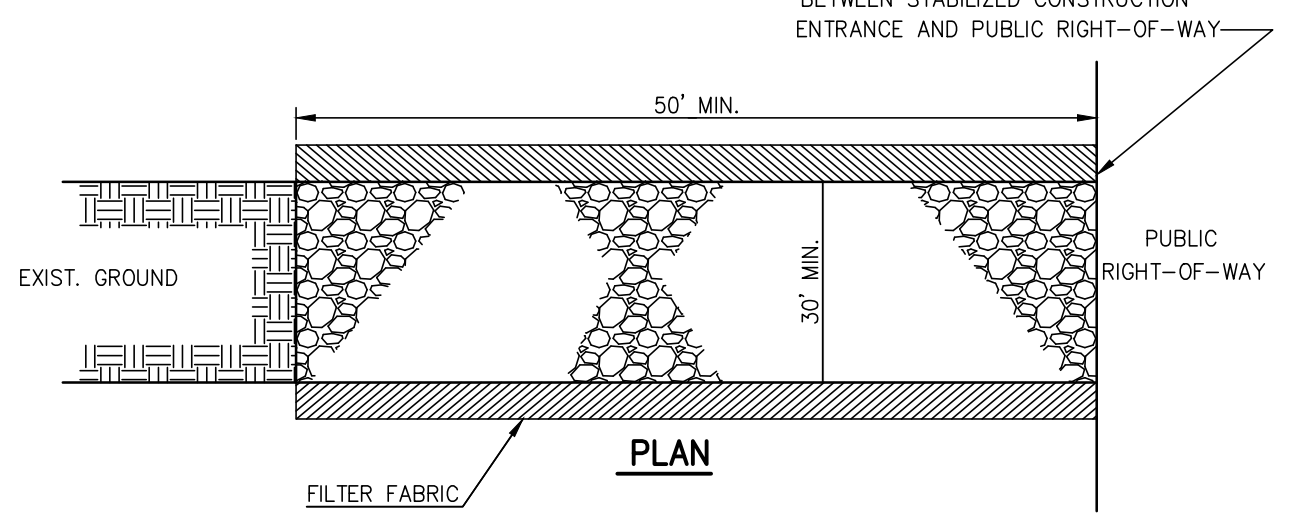
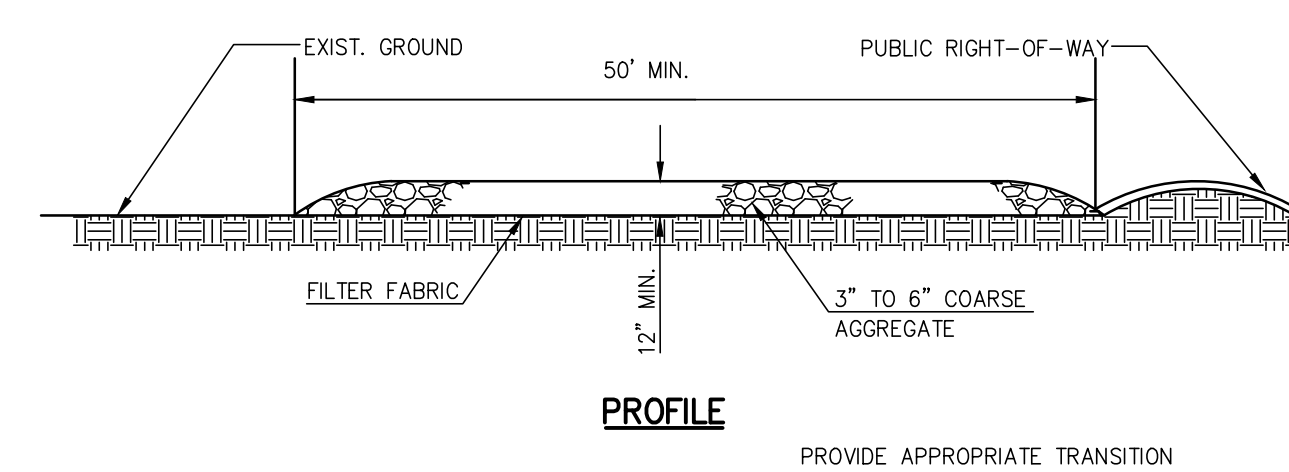




NOTE:
 1. STRAW WATTLES ARE TUBES MADE FROM STRAW BOUND W/PLASTIC NETTING. THEY ARE APPROX. 6'-0" DIA AND 50-50 FT LONG.
 2. STRAW WATTLES TRAP SEDIMENT AND REDUCE SHEET AND HILL EROSION BY REDUCING SLOPE GRADIENT, INCREASING INFILTRATION RATES AND BY PROVIDING A FAVORABLE ENVIRONMENT FOR PLANT ESTABLISHMENT.
 3. STRAW WATTLE INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE WATTLE IN A TRENCH 3'-5" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND WATTLE.

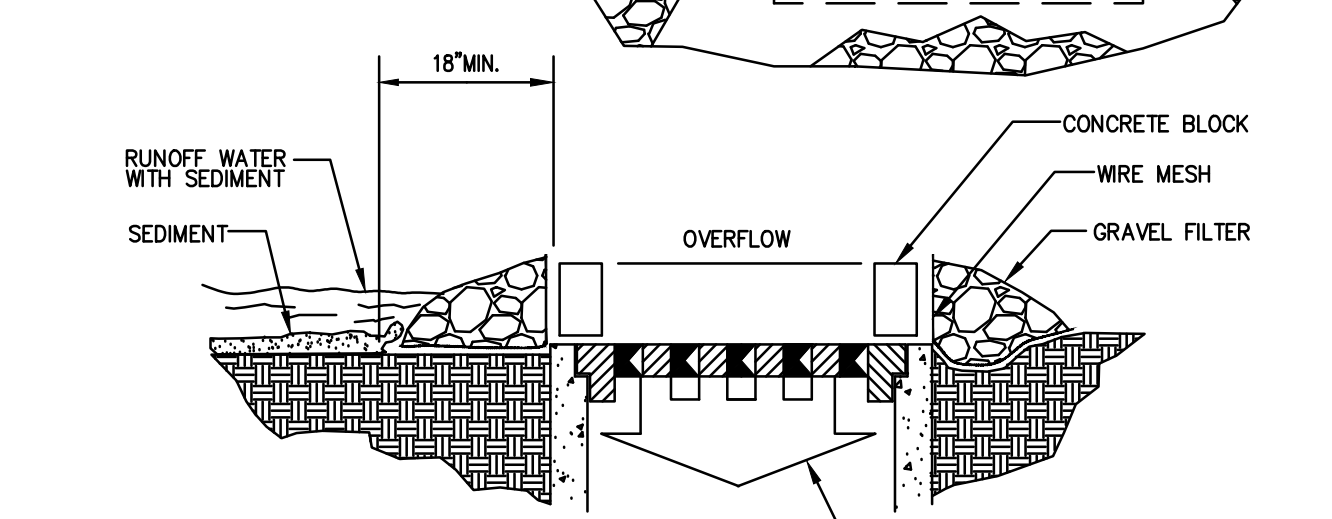
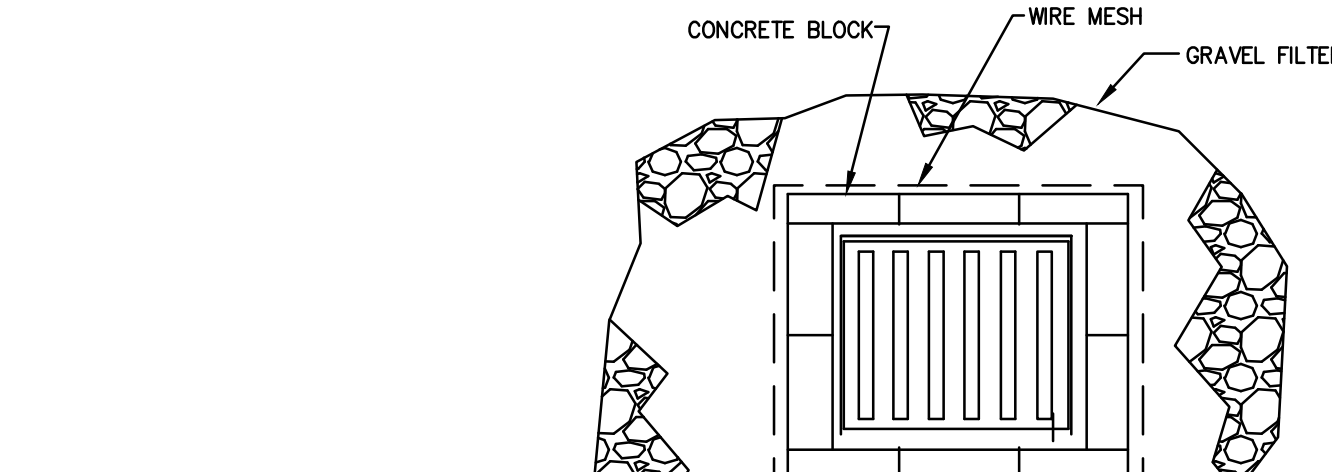
STRAW WATTLE SEDIMENT TRAP/FILTER

1



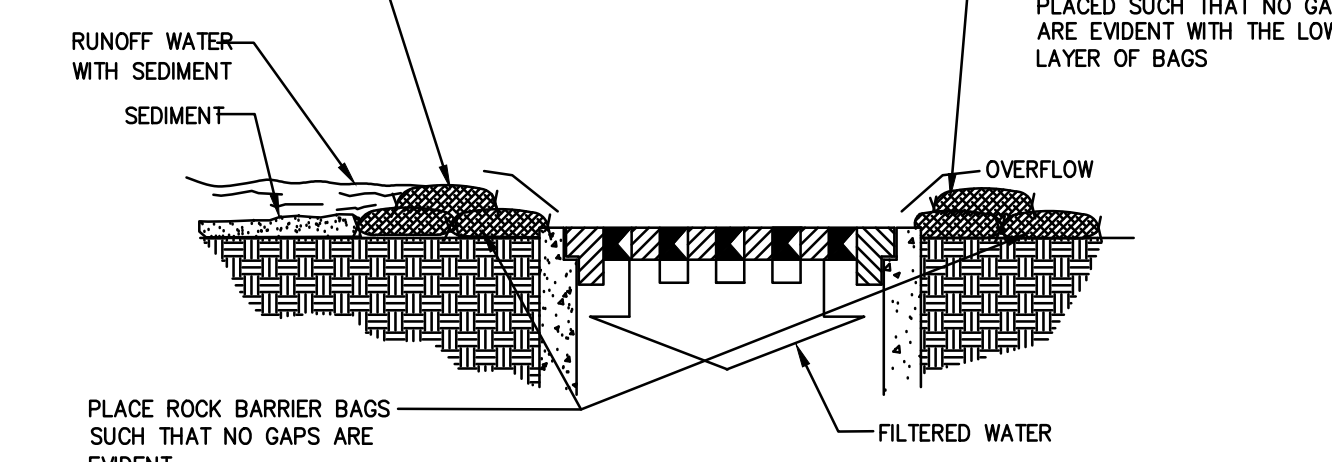
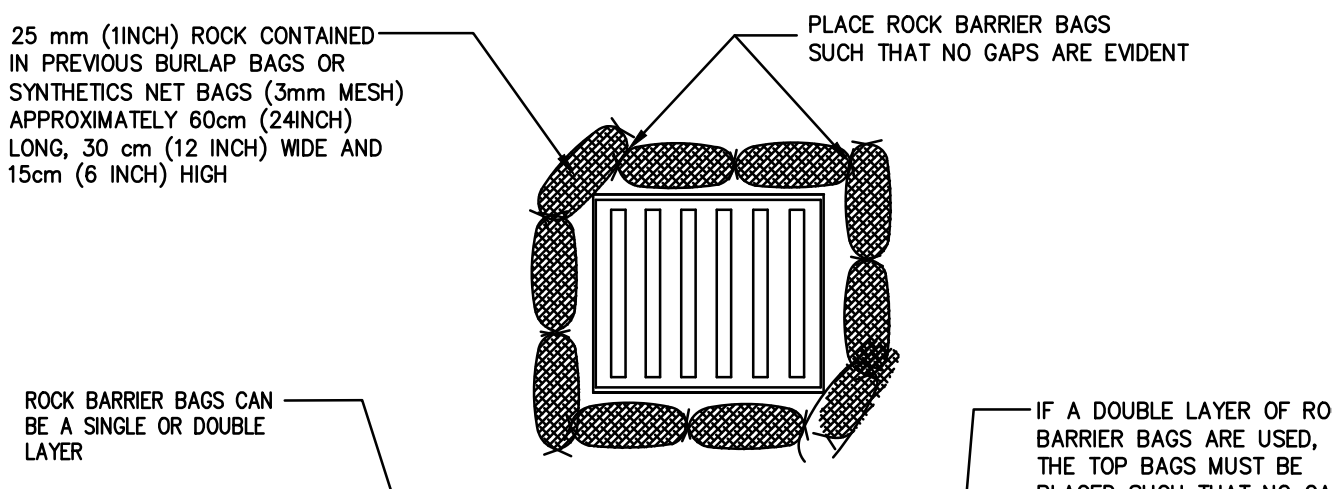
STABILIZED CONSTRUCTION ENTRANCE

2



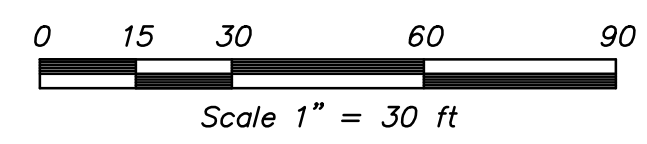
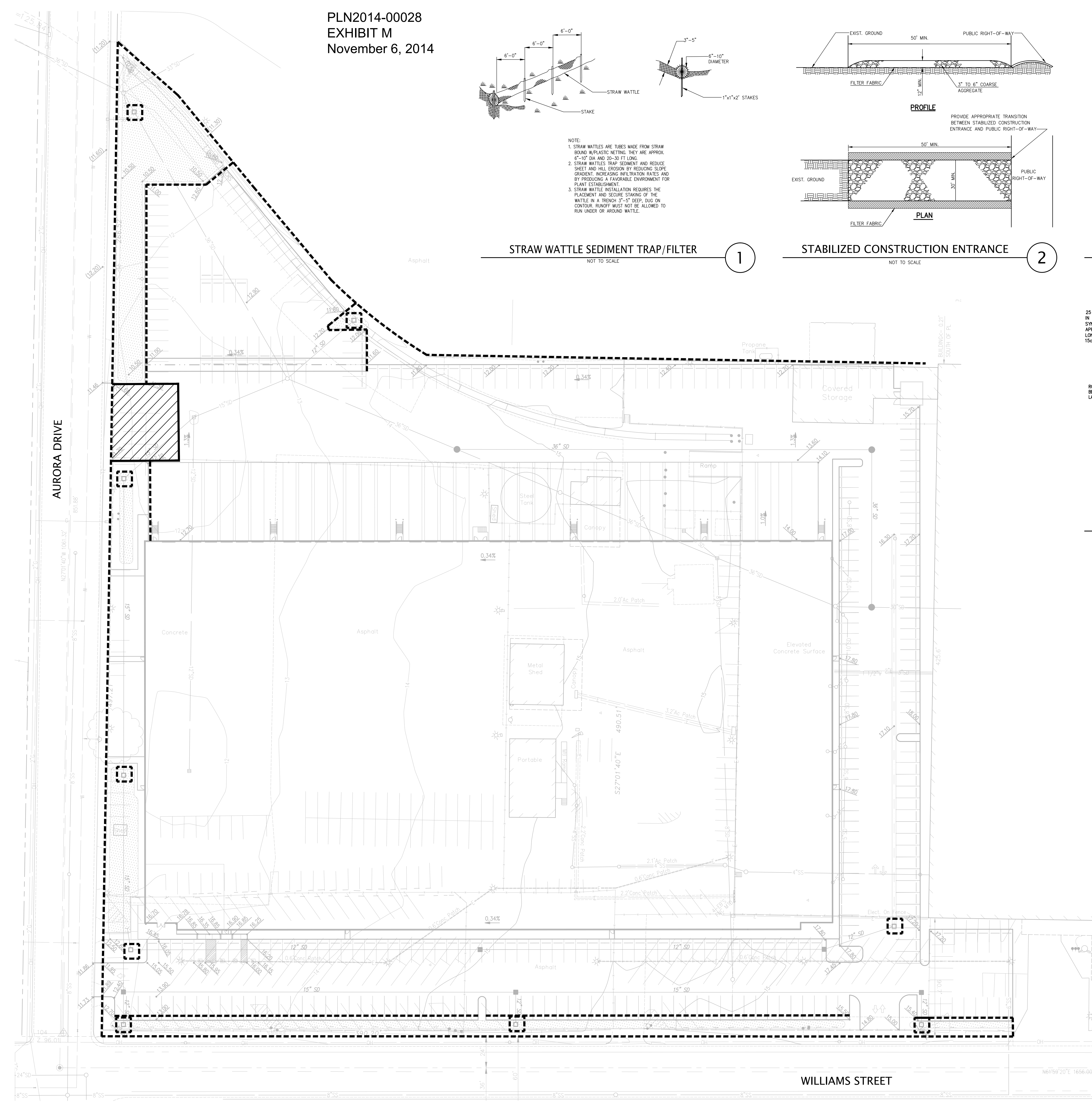
DROP INLET SEDIMENT FILTER

3



DROP INLET SEDIMENT FILTER UTILIZING ROCK BARRIER BAGS

4



LEGEND

- 1 STABILIZED CONSTRUCTION ENTRANCE
- 2 STRAW WATTLE SEDIMENT TRAP/FILTER
- 3 DROP INLET SEDIMENT FILTER
- 4 EXISTING CURB INLET FILTER

PROJECT NAME & SITE ADDRESS:

1717 DOOLITTLE DRIVE
 SAN LEANDRO, CA 94577

DEVELOPER:
 D/C 1717 DOOLITTLE SUB, LLC

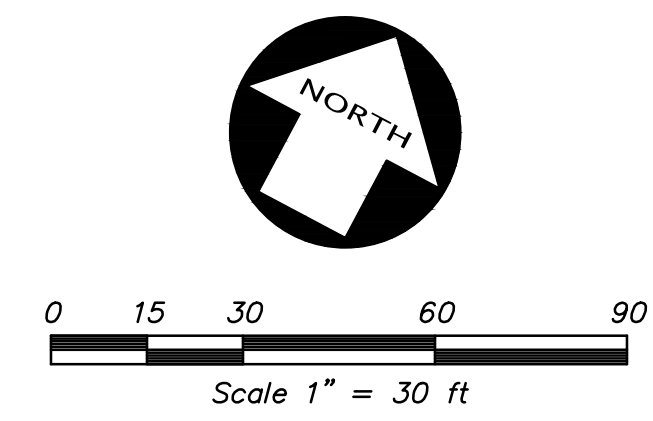
COMSTOCK PARTNERS, LLC

Drawing Content:
PRELIMINARY EROSION CONTROL PLAN


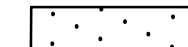
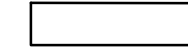
Revisions: _____ Date: _____

Designer: DJA
 Manager: JAM
 Date: June, 2014
 Job No: A08609-7
 Scale: AS NOTED

PLN2014-00028
EXHIBIT N
November 6, 2014

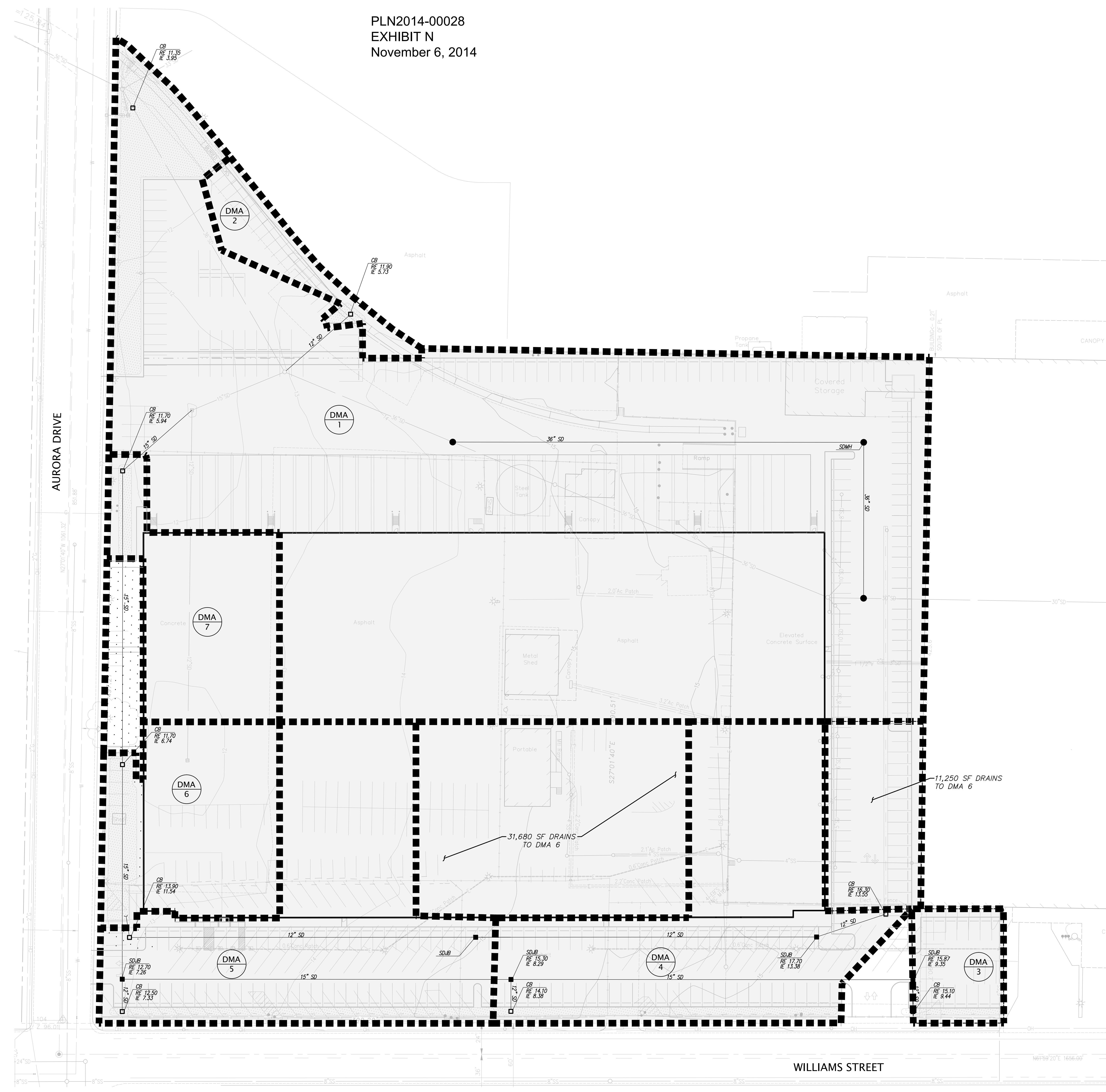


LEGEND

-  INFILTRATION PLANTER
-  SELF TREATED AREA
-  UNTREATED AREA

STORM WATER QUALITY CONTROL TABLE			
DMA	AREA SQFT	TREATMENT PLANTER AREA SQFT	PERCENTAGE
1	181,301	7,282	4.01%
2	7,078	2,017	4.20%
3	6,255	385	6.15%
4	37,886	1,590	4.20%
5	40990	1,780	4.34%
6	62,515	2,524	4.02%
7	20,483	850	4.15%

* EXISTING SITE IS 100% IMPERVIOUS
CALCULATIONS ARE FOR TREATMENT ONLY.
NO HYDROMODIFICATION IS REQUIRED.



KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
Fax (925) 245-8796

PROJECT NAME & SITE ADDRESS:

1717 DOOLITTLE DRIVE
SAN LEANDRO, CA 94577

DEVELOPER:
D/C 1717 DOOLITTLE SUB, LLC

COMSTOCK REALTY
PARTNERS, LLC

Drawing Content:
**STORM WATER
QUALITY CONTROL
PLAN**

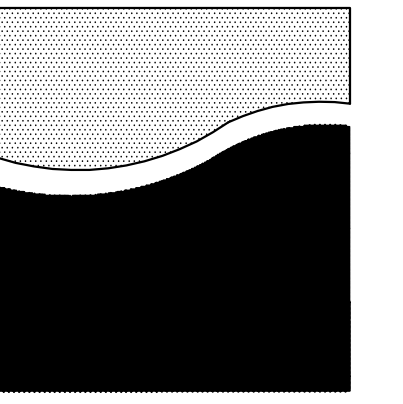
Revisions: _____ Date: _____

Designer: DJA
Manager: JAM
Date: June, 2014
Job No: A08609-7
Scale: AS NOTED

Drawing No:

C5

OF 5 SHEETS



REED ASSOCIATES
 LANDSCAPE ARCHITECTURE
 477 SOUTH TAFFEE STREET
 SUNNYVALE, CALIFORNIA 94086
 408.481.9222 / 408.481.9222 FAX
 www.reedassoc.com / email: info@reed.com
 "Bay Friendly Certified"

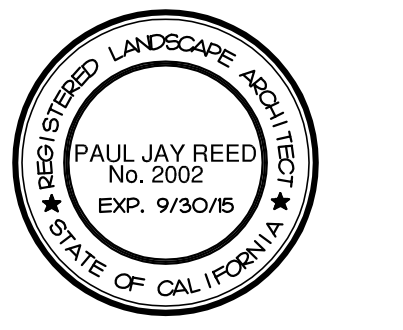
Project Name and Site Address:

1717 DOOLITTLE DR.
 SAN LEANDRO, CA 94577

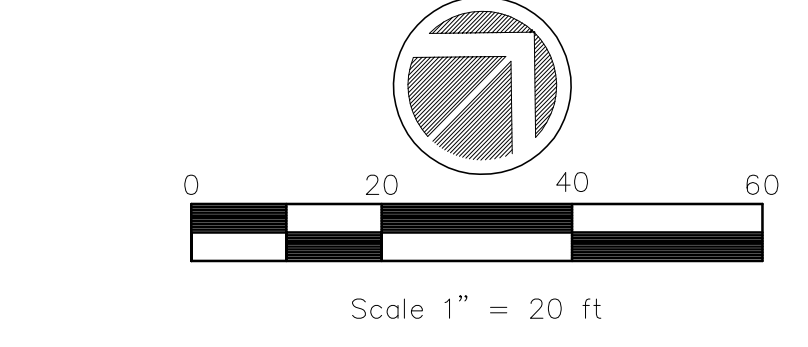
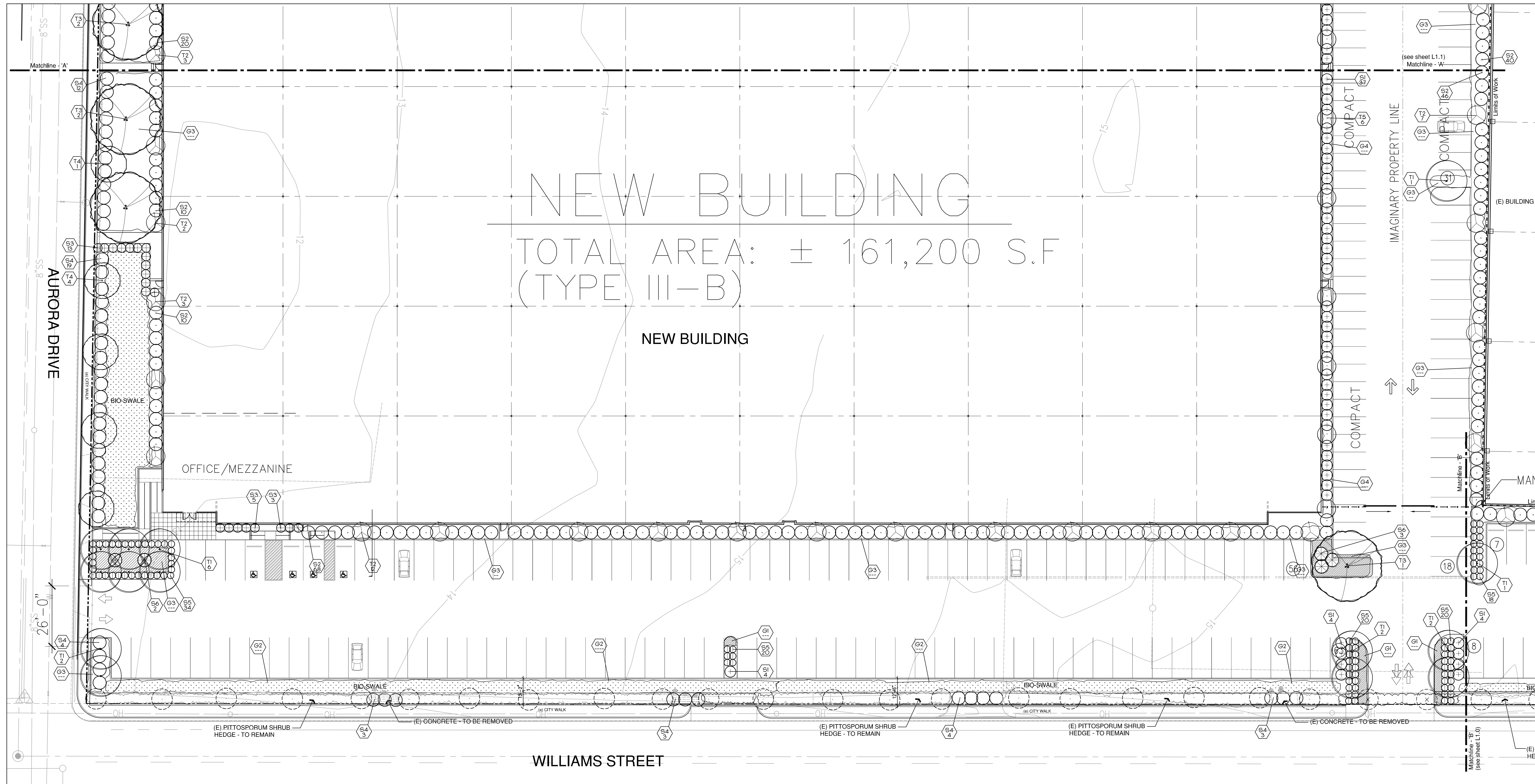
Developer:
 D/C 1717 DOOLITTLE SUB, LLC

COMSTOCK REALTY
 PARTNERS, LLC

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PLN2014-00028
 EXHIBIT O
 November 6, 2014



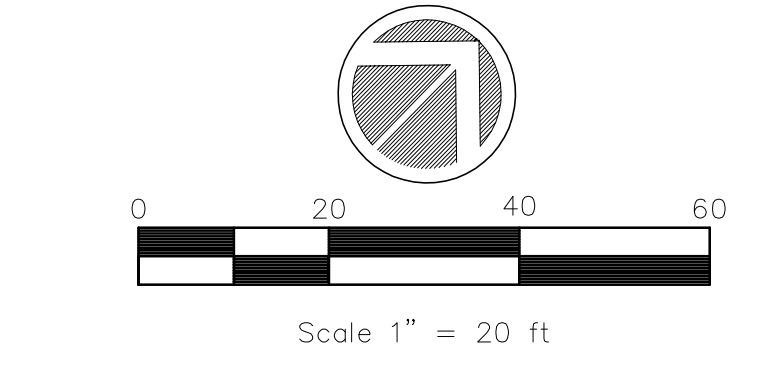
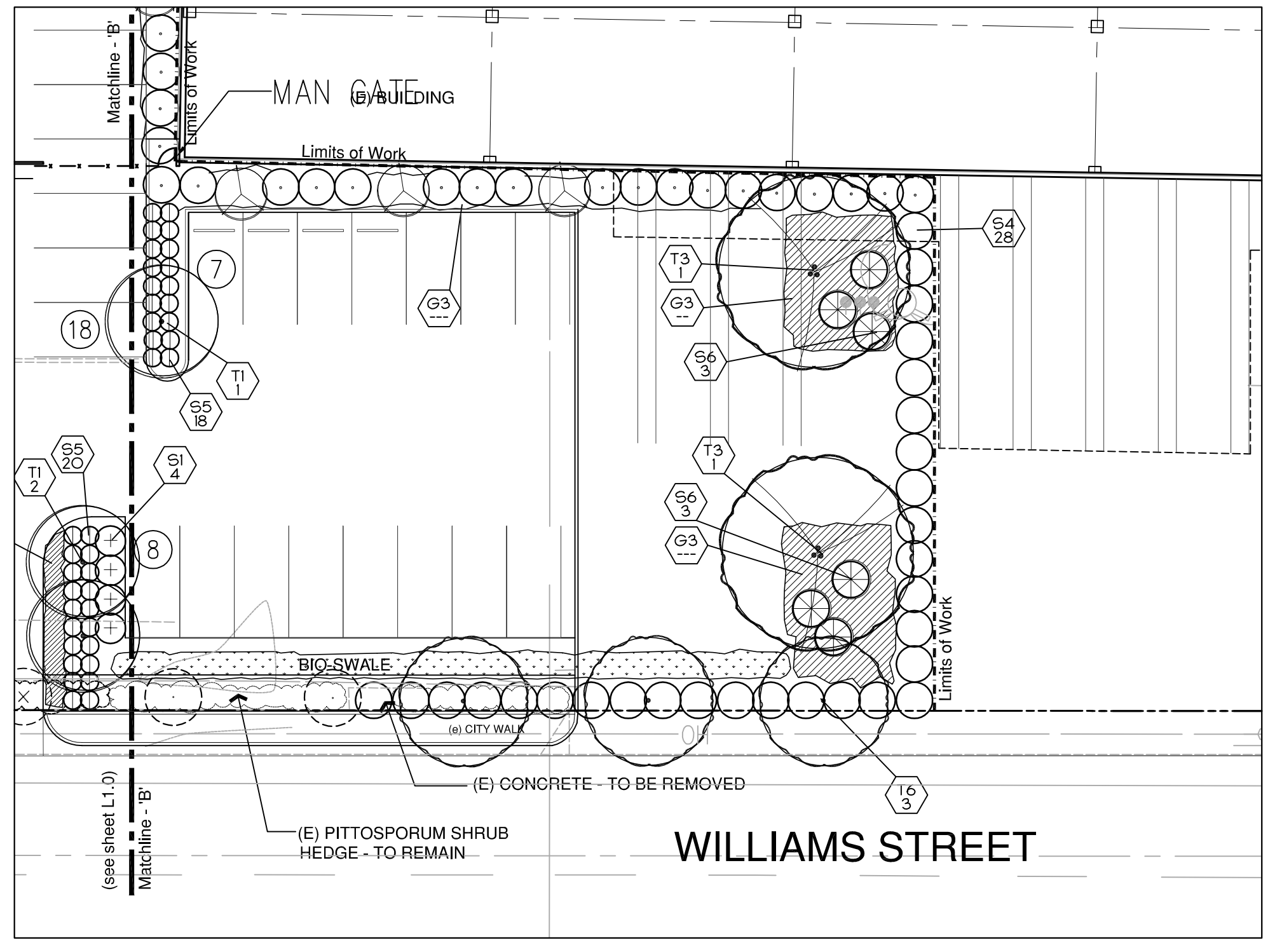
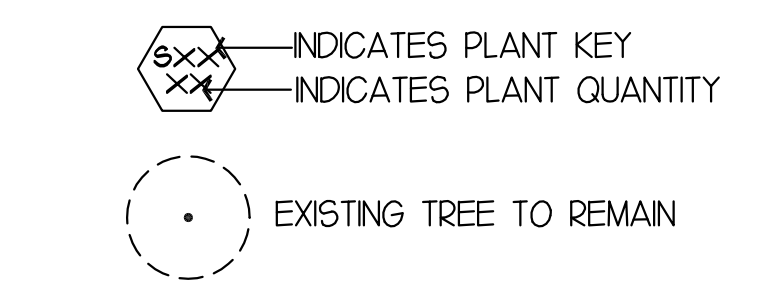
PLANT NOTES:

1. THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
2. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
3. PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
4. SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
5. THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
6. ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 3:1 SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2" MIN).
8. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
9. ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
10. ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
11. THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
12. PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT -1-800-227-2600

PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	SUCCESS
TREES						
T1	ERICOBOTRYA DEPLEXA	BRONZE LOGJAT	15	5 GAL	STANDARD	MEDIUM
T2	JUNIPERUS S. 'SARGENTA BLUE'	BRIGHT BLUE JUNIPER	15	5 GAL	COLUMNAR	LOW
T3	QUERCUS AGROPIOLA	COAST LIVE OAK	24	BOX	STANDARD	LOW
T4	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24	BOX	STANDARD	MEDIUM
T5	PODOCARPUS MACROPHYLLUS	YEW PINE	24	BOX	NATURAL	MEDIUM
T6	LAGERSTROEMIA I. 'TUSCARORA'	GRAPE MYRTLE	24	BOX	STANDARD	LOW
T7	RUBUS LANCEA	AFRICAN SUPAC	15	5 GAL	STANDARD	LOW
SHRUBS						
S1	PITTIOSPORUM TOBIRA 'VARIEGATA'	VAREGATED TOBIRA	5	5 GAL		LOW
S2	ESCALLONIA S. 'BURGUNDY QUEEN'	ESCALLONIA	5	5 GAL		MEDIUM
S3	SHARPLEAFED II. 'YIN-YANG'	DWARF TEDEO HAIHORN	5	5 GAL		LOW
S4	PITTIOSPORUM BUGHENOIDES	TARATA	5	5 GAL		MEDIUM
S5	LAVANDULA STOECHAS 'OTTO QUAST'	SPANISH LAVENDER	5	5 GAL		LOW
S6	CHONDRILLOPSIS TECTORUM	CAPE REED	5	5 GAL		LOW
GROUND COVERS						
G1	POSA X. 'NOAGNIE'	WHITE GROUND COVER ROSE	1	1 GAL	24" OC.	MEDIUM
G2	NATIVE BICRILTRATION SOD	BY DELTA BLUEGRASS CO.	SOD	---	---	LOW
G3	HAESSELLA PULCHRA	PURPLE NEEDLEGRASS				
G4	RESTIOCA RUBRA	MOATE FESQUE				
G5	HORDLEUM BRACHYANTHERUM CALIFORNICUM	CALIFORNIA BARLEY				
G6	HORDLEUM BRACHYANTHERUM BRACHYANTHERUM	CALIFORNIA BARLEY				
G7	ROSMARINUS O. 'PROSTRATUS'	DWARF ROSEMARY	1	1 GAL	24" OC.	LOW
VINES						
V1	BOLANUM JASMINOIDES	POTATO VINE	1	1 GAL	18" OC.	MEDIUM

PLANT SYMBOLS



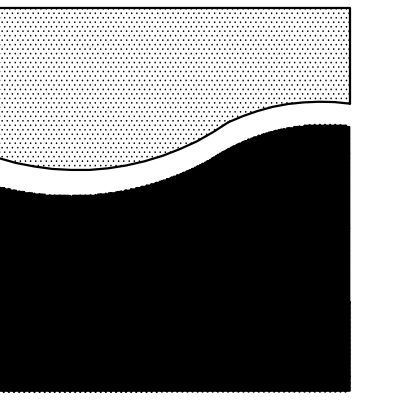
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Approved: **PJR**
 Drawn: **JH/DS** Reviewed: **PJR**
 Project No. 14.42
 Scale 1"=20' Issue Date 10/16/14

LANDSCAPE PLANTING PLAN



L1.0



REED ASSOCIATES
LANDSCAPE ARCHITECTURE
477 SOUTH TAFFER STREET
SUNNYVALE, CALIFORNIA 94086
408.481.9020 / 408.481.9022 FAX
www.reedass.com / email: paul@reed.com
"Bay Friendly Certified"

Project Name and Site Address:

1717 DOOLITTLE DR.
SAN LEANDRO, CA 94577

Developer:
D/C 1717 DOOLITTLE SUB, LLC

COMSTOCK REALTY
PARTNERS, LLC

ISSUE	DATE
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PLN2014-00028
EXHIBIT P
November 6, 2014

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Approved: **PJR**
Drawn: **JH/DS** Reviewed: **PJR**
Project No. 14.42
Scale 1"=20' Issue Date 6/25/14

LANDSCAPE
PLANTING PLAN

L1.1

Sheet of

PLANT LIST:

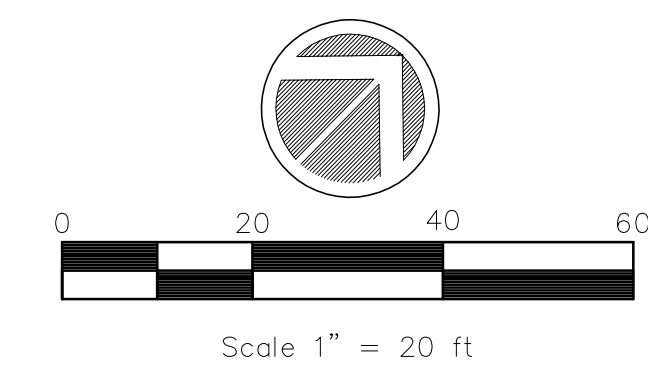
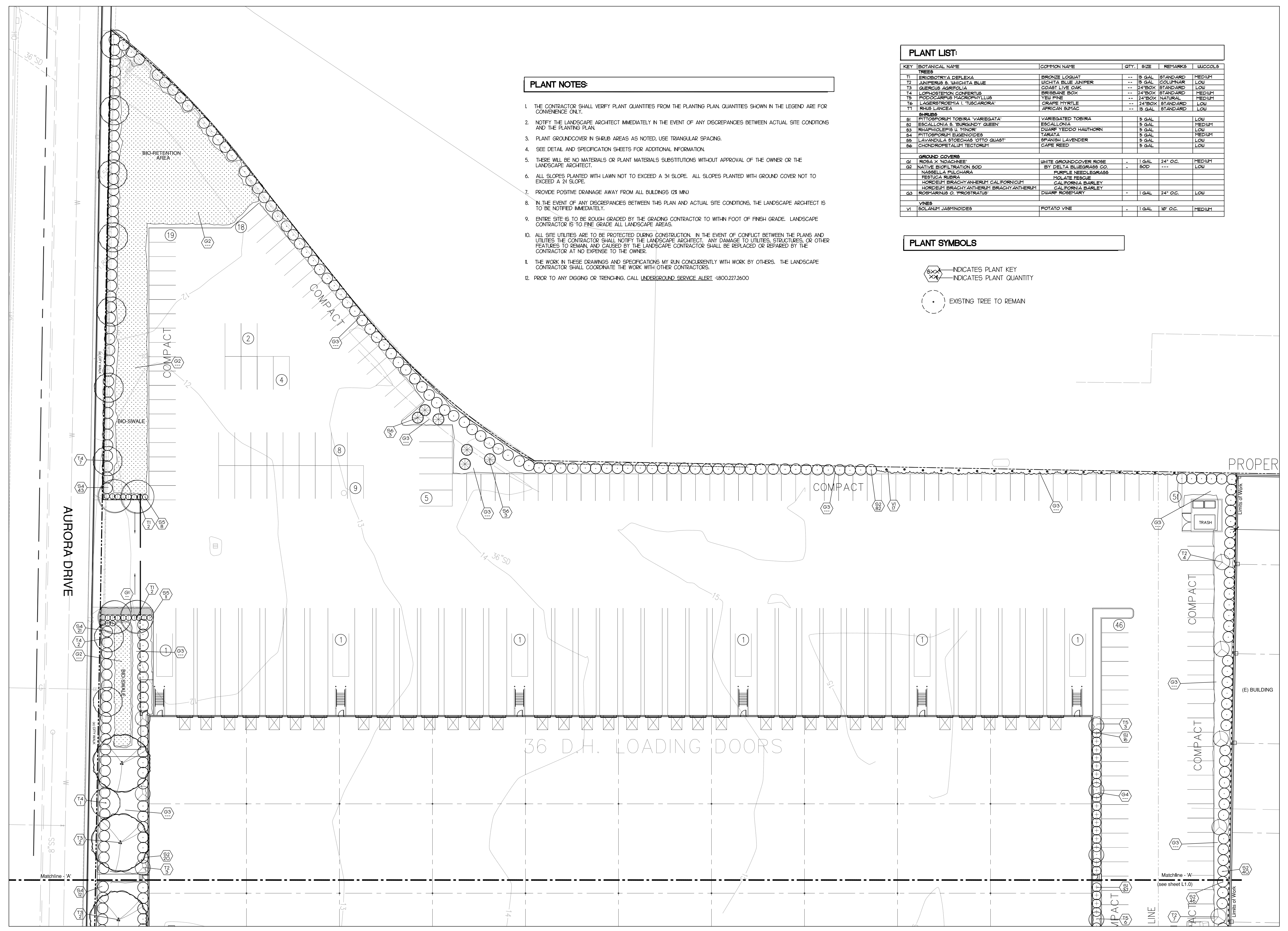
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCCOLS
TREES						
T1	ERICACEAE DEFLIXA	BRONZE LIGUAT	--	18 GAL	STANDARD	MEDIUM
T2	JUNIFERUS & WIGHTIA BLUE	WIGHTIA BLUE JUNIFER	--	18 GAL	GOLDFINCH	LOW
T3	QUERCUS AEGROLIA	COAST LIVE OAK	--	24"BOX	STANDARD	LOW
T4	LOPHOSTEMON CONFERTUS	BREBANE BOX	--	24"BOX	STANDARD	MEDIUM
T5	PODOCARPUS HICKORYLLEUS	YEU FINE	--	24"BOX	NATURAL	MEDIUM
T6	LAGERSTRONGIA I. TUSZARONA	CHAPEL NYRTLE	--	24"BOX	STANDARD	LOW
T7	RHUS LANCEA	AFRICAN SUPAC	--	18 GAL	STANDARD	LOW
SHRUBS						
S1	FITTOPORUM TOBIRA 'VARIEGATA'	VAREGATED TOBIRA	5	5 GAL		LOW
S2	ESCALONIA S. 'BURSANDY QUEEN'	ESCALONIA	5	5 GAL		MEDIUM
S3	RHAMNOLIPS U. THORNI	DWARF YEDDO Hawthorn	5	5 GAL		LOW
S4	FITTOPORUM EUGENIODES	TARATA	5	5 GAL		MEDIUM
S5	LAVANDULA STOECHAS 'OTTO QUAST'	SPANISH LAVENDER	5	5 GAL		LOW
S6	CHONDROPETALUM TECTORUM	CAPE REED	5	5 GAL		LOW
GROUND COVERS						
G1	ROSA X MOGONNEE	WHITE GROUNDCOVER ROSE	1	1 GAL	24" O.C.	MEDIUM
G2	NATIVE BIOPLETATION SOD	BY DELTA BLUEGRASS CO.	-	80D	---	LOW
	NASSELLA PULCHRA	PURPLE NEEDLEGRASS	-			
	FESTUCA RUBRA	RED FESCUE	-			
	HORDEUM BRACHYANTHERUM CALIFORNICUM	CALIFORNIA BARLEY	-			
	HORDEUM BRACHYANTHERUM BRACHYANTHERUM	CALIFORNIA BARLEY	-			
G3	ROSTARIUM O. PROSTRATUM	DWARF ROSEMARY	1	1 GAL	24" O.C.	LOW
VINES						
V1	SOLANUM JASMINOIDES	POTATO VINE	1	1 GAL	18" O.C.	MEDIUM

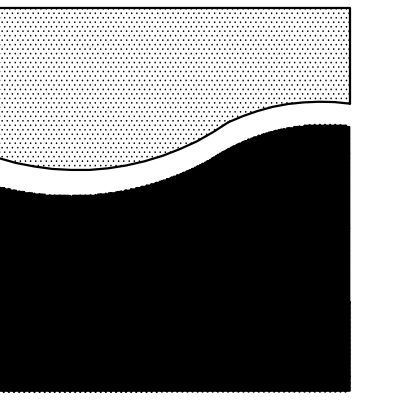
PLANT SYMBOLS

- INDICATES PLANT KEY
- INDICATES PLANT QUANTITY
- EXISTING TREE TO REMAIN

PLANT NOTES:

1. THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
2. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
3. PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
4. SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
5. THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
6. ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 3:1 SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2' MIN).
8. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
9. ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
10. ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
11. THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
12. PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT -1800.227.2600





REED ASSOCIATES
 LANDSCAPE ARCHITECTURE
 477 SOUTH TAIFFE STREET
 SUNNYVALE, CALIFORNIA 94086
 408.451.9020 / 408.451.9022 FAX
 www.reed.net / email: info@reed.net
 "Bay Friendly Certified"

Project Name and Site Address:

1717 DOOLITTLE DR.
 SAN LEANDRO, CA 94577

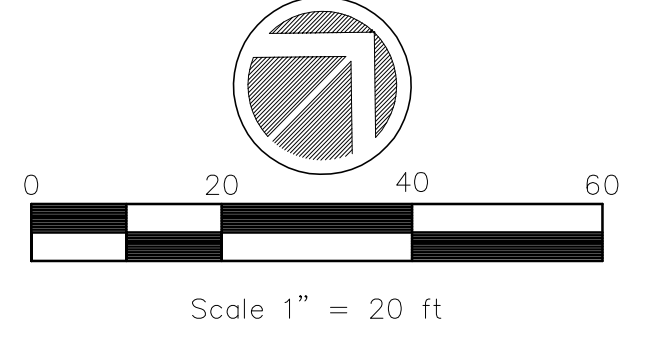
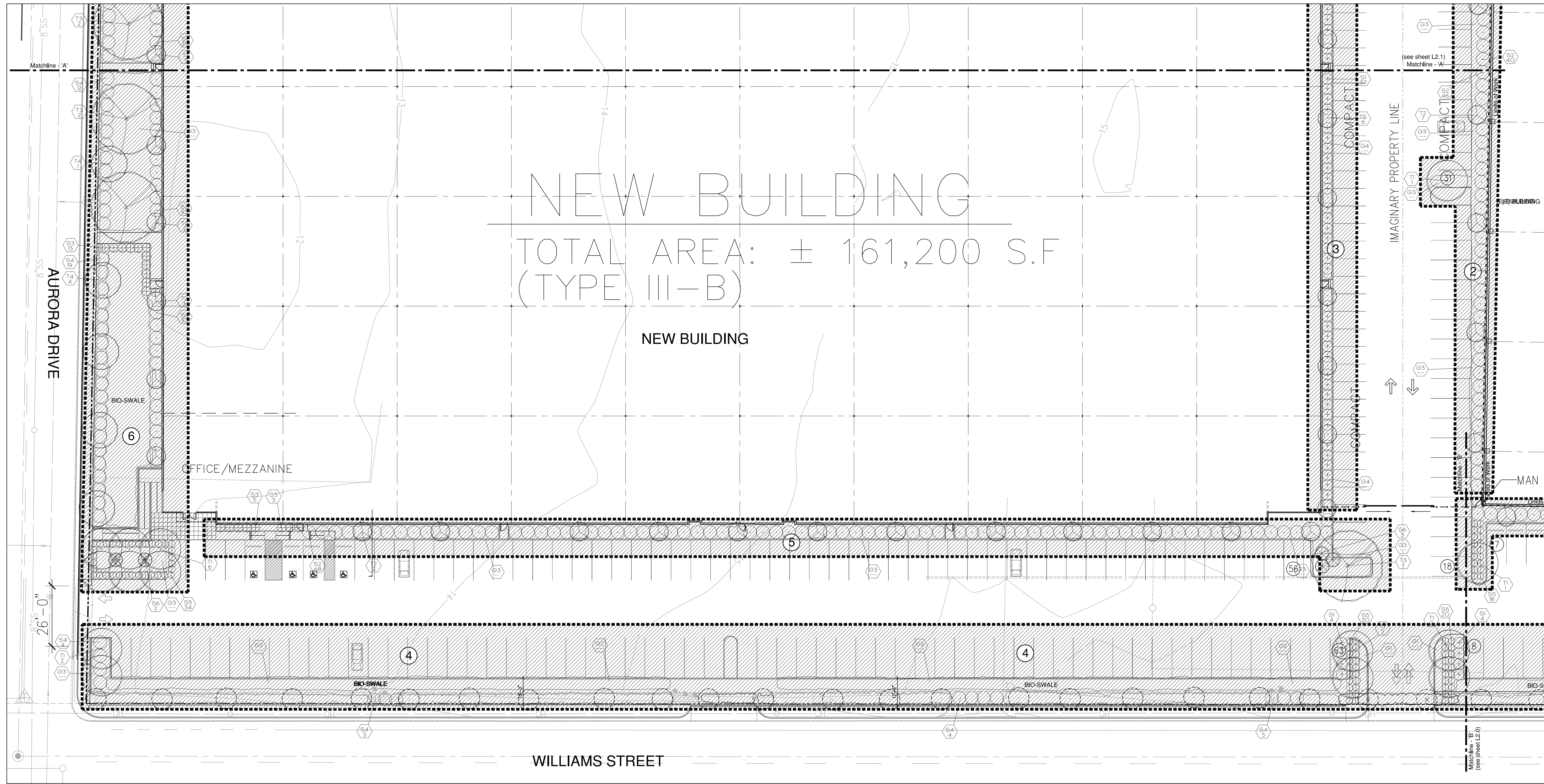
Developer:
 D/C 1717 DOOLITTLE SUB, LLC

COMSTOCK REALTY
 PARTNERS, LLC

ISSUE	DATE



PLN2014-00028
 EXHIBIT Q
 November 6, 2014



IRRIGATION HYDRO-ZONE LEGEND

PLANTS ARE GROUP TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS.

- HIGH WATER REQUIREMENT
- MEDIUM WATER REQUIREMENT
- LOW WATER REQUIREMENT (DROUGHT TOLERANT PLANTING)

MAWA

$$MAWA = (ET_o) \times (\phi_{62}) \times ((\phi_{71} \times LA) + (\phi_{3} \times SLA))$$

MAWA = 851,385 gallons/year
 eto = 45.3

hydro-zone	plant water use	hydro-zone area	ETWU
1	medium	13,529	265,983
2	medium	4,933	96,984
3	medium	1,416	27,839
4	medium	7,363	144,758
5	medium	5,003	98,360
6	medium	11,061	217,461

total (existing and new landscape) 43,305 851,385

ETWU

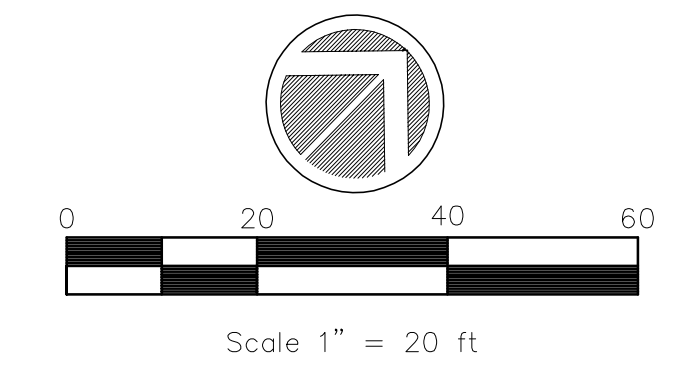
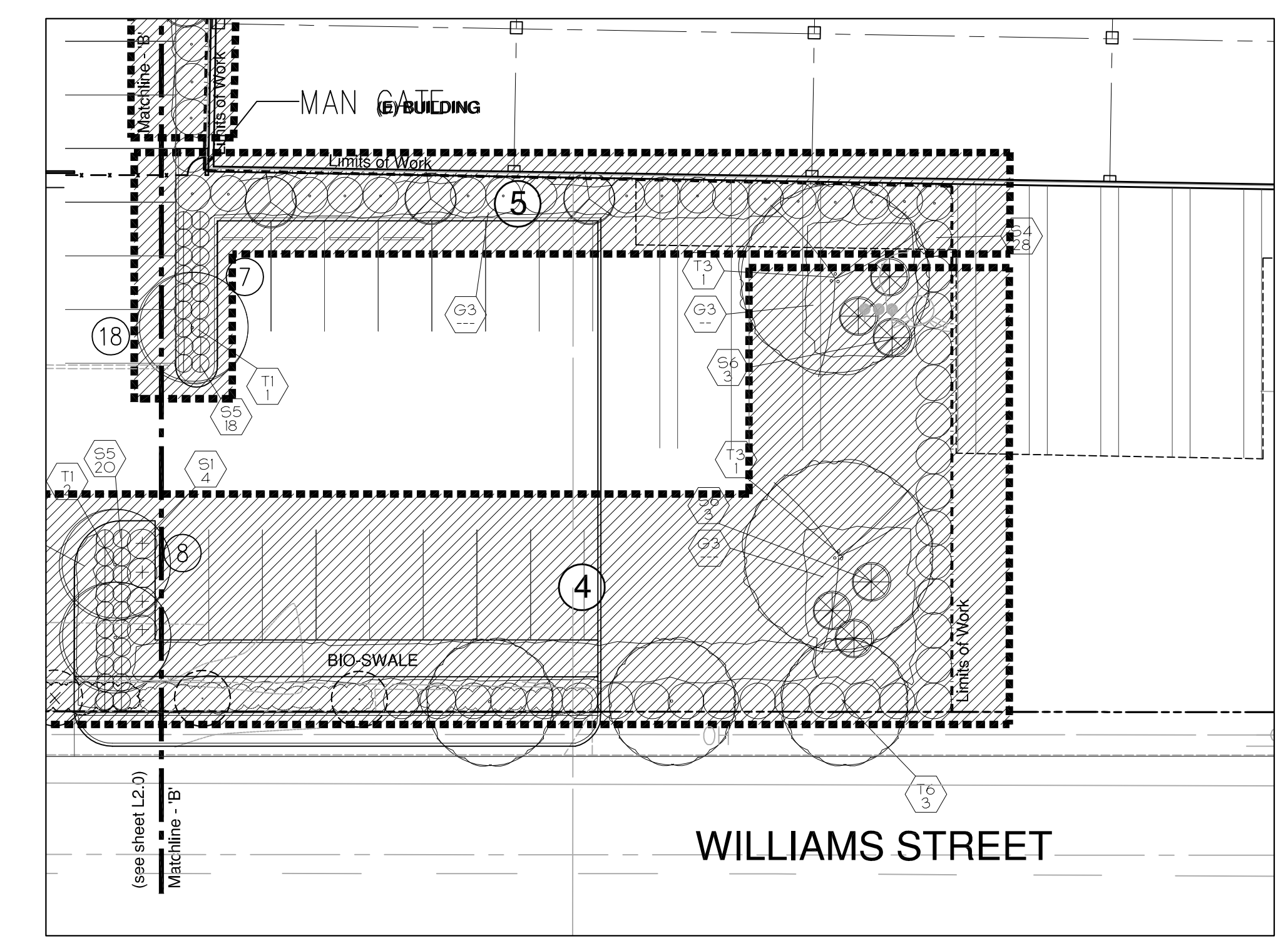
ESTIMATED WATER USE (ETWU)

$$ETWU = (ET_o) \times (\phi_{62}) \times \left(\frac{PE \times HA}{IE} + SLA \right)$$

ETWU = 715,450 gallons/year
 eto = 45.3

hydro-zone	plant water use	plant factor	hydro-zone area	PFxHA	irrigation efficiency	ETWU
1	medium	0.5	13,529	6,765	0.85	223,515
2	medium	0.5	4,933	2,467	0.85	81,499
3	medium	0.5	1,416	708	0.85	23,394
4	medium	0.5	7,363	3,682	0.85	121,645
5	medium	0.5	5,003	2,502	0.85	82,655
6	medium	0.5	11,061	5,531	0.85	182,741

average IE 0.85
 total (new and existing landscape) 43,305 21,653 715,450

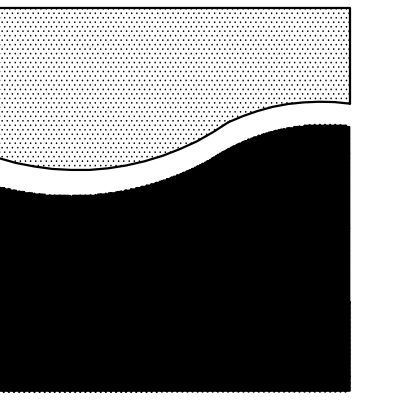


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Approved: *PJR*
 Drawn: *JH/DS* Reviewed: *PJR*
 Project No. 14.42
 Scale 1"=20' Issue Date 10/16/14

LANDSCAPE HYDRO-ZONE PLAN

L2.0



REED ASSOCIATES
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www.reedassoc.com email: paul@reed.com
"Bay Friendly Certified"

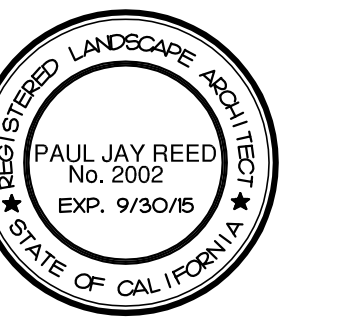
Project Name and Site Address:

1717 DOOLITTLE DR.
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Developer:
D/C 1717 DOOLITTLE SUB, LLC

COMSTOCK REALTY
PARTNERS, LLC

ISSUE	DATE
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PLN2014-00028
EXHIBIT R
November 6, 2014

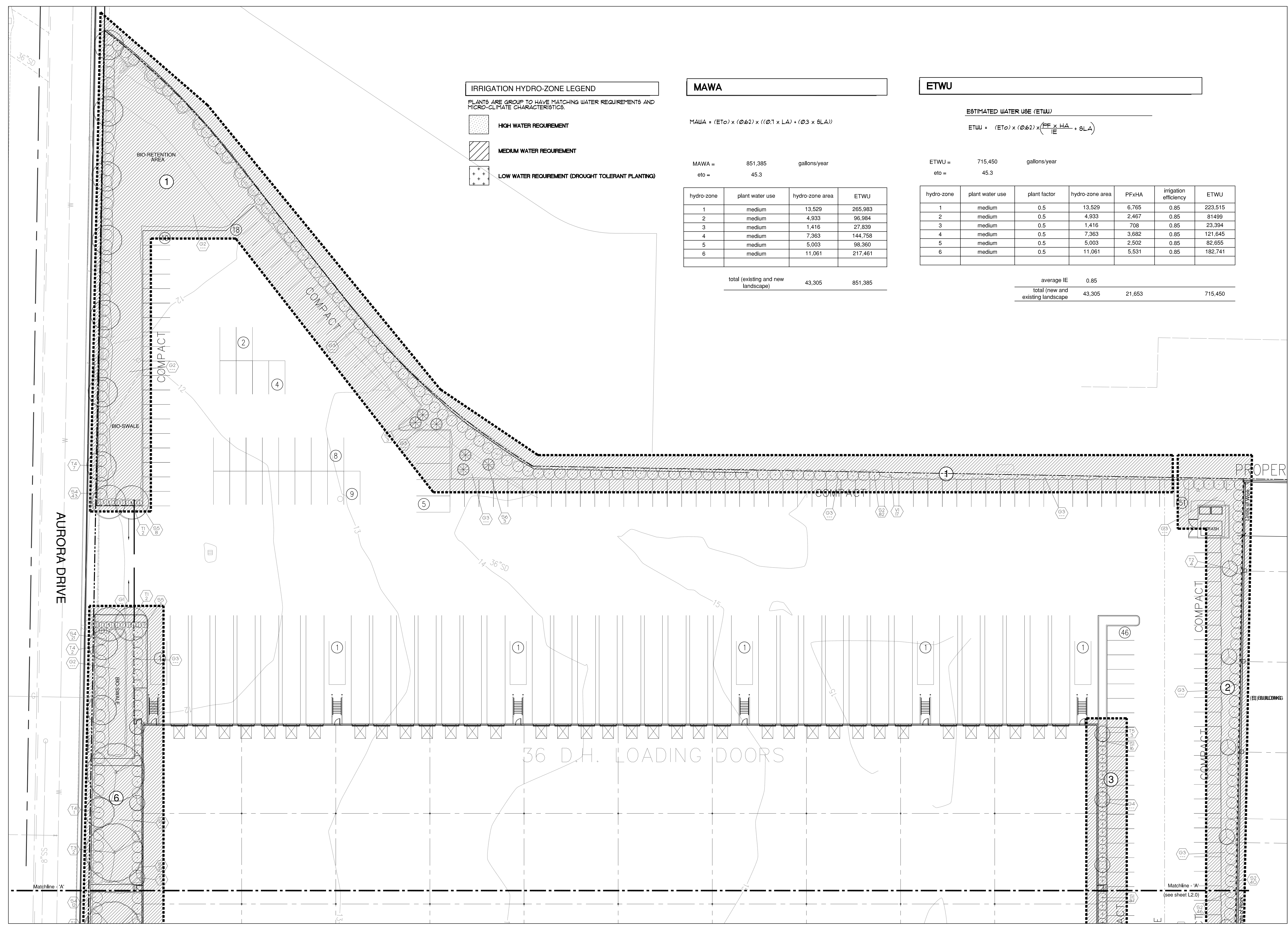
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Approved: PJR
Drawn: JH/DS Reviewed: PJR
Project No. 14.42
Scale 1"=20' Issue Date 10/16/14

LANDSCAPE
HYDRO-ZONE PLAN

L2.1

Sheet of



IRRIGATION HYDRO-ZONE LEGEND
PLANTS ARE GROUP TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS.

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