



200 SPECTRUM CENTER DRIVE
SUITE 1600
IRVINE, CA 92618
TEL: (914) 525-6970

1919 WILLIAMS ST

SAN LEANDRO, CA

CIVIL	K&W
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	GREEN DESIGN
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: OVERALL SITE PLAN

Project Number: 19571

Drawn by: M.D

Date: 03/12/2021

Revision:

Sheet:

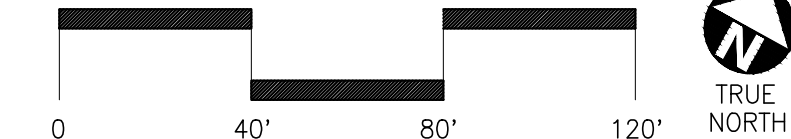
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TRAILER AREA	
In s.f.	426.74 ± t
In acres	9.80 ac
BUILDING AREA	
Mezzanine	2,400 ± s.f.
Office	6,000 ± s.f.
Warehouse	212,095 ± s.f.
TOTAL	218,095 ± s.f.
Total area with mezzanine	220,495 ± s.f.
COVERAGE	51.1%
AUTO PARKING REQUIRED	
Office: 1/300 ± s.f.	28 stalls
Whse: 1/1500 ± s.f.	141 stalls
TOTAL	169 stalls
AUTO PARKING PROVIDED	
Uniform (9' x 15')	80 stalls
Compact (8' x 15')	59 stalls
EVCS (9' x 18.5') (10% - Reach code)	8 stalls
Accessible Standard Auto (9' x 19')	4 stalls
Accessible Van (12' x 19')	2 stalls
Standard Accessible EV Charging (9' x 18.5')	1 stalls
Standard Access EV Charging (12' x 17')	1 stalls
Clean Air / Vanpool (9' x 18.5') (8% of total)	16 stalls
TOTAL	171 stalls
TRAILER PARKING PROVIDED	
Standard (12' x 55')	29 stalls
ZONING ORDINANCE FOR CITY	
Front / Designation - (Industrial General)	
MAXIMUM BUILDING HEIGHT ALLOWED	
Height - 35' (Basic)	
A maximum building height of 8ft. feet may be approved by the Zoning Enforcement Official	
MAXIMUM FLOOR AREA RATIO	
FAR - 1	
LANDSCAPE REQUIREMENT	
Percentage - 5%	
SETBACK REQUIREMENT	
BUILDINGS	
Front / Corner - 20' min for building over 40' in height	
Side - 0'	
Rear - 0'	
LANDSCAPE	
Side - 5'	
Rear - 5'	
Front / Corner - 10'	

BUILDING OCCUPANCY: B & S-1
CONSTRUCTION TYPE: III - B

scale: 1" = 40'-0"

SCALE: 1" = 40'-0"



MICHAEL WEBER
DUKE REALTY
200 SPECTRUM CENTER DRIVE, SUITE 1600 IRVINE, CA 92618
MICHAEL.WEBER@DUKEREALTY.COM
804-691-7793

1919 WILLIAMS STREET

77A-700-9-6 and 79A-332-2-9

ZONING

IG (INDUSTRIAL)

HPA, INC
TYNEISE BEYER, PROJECT MANAGER
600 GRAND AVE, SUITE 302, OAKLAND CA
TYNEISE.BEYER@HPARCHS.COM
949.862.2175 direct

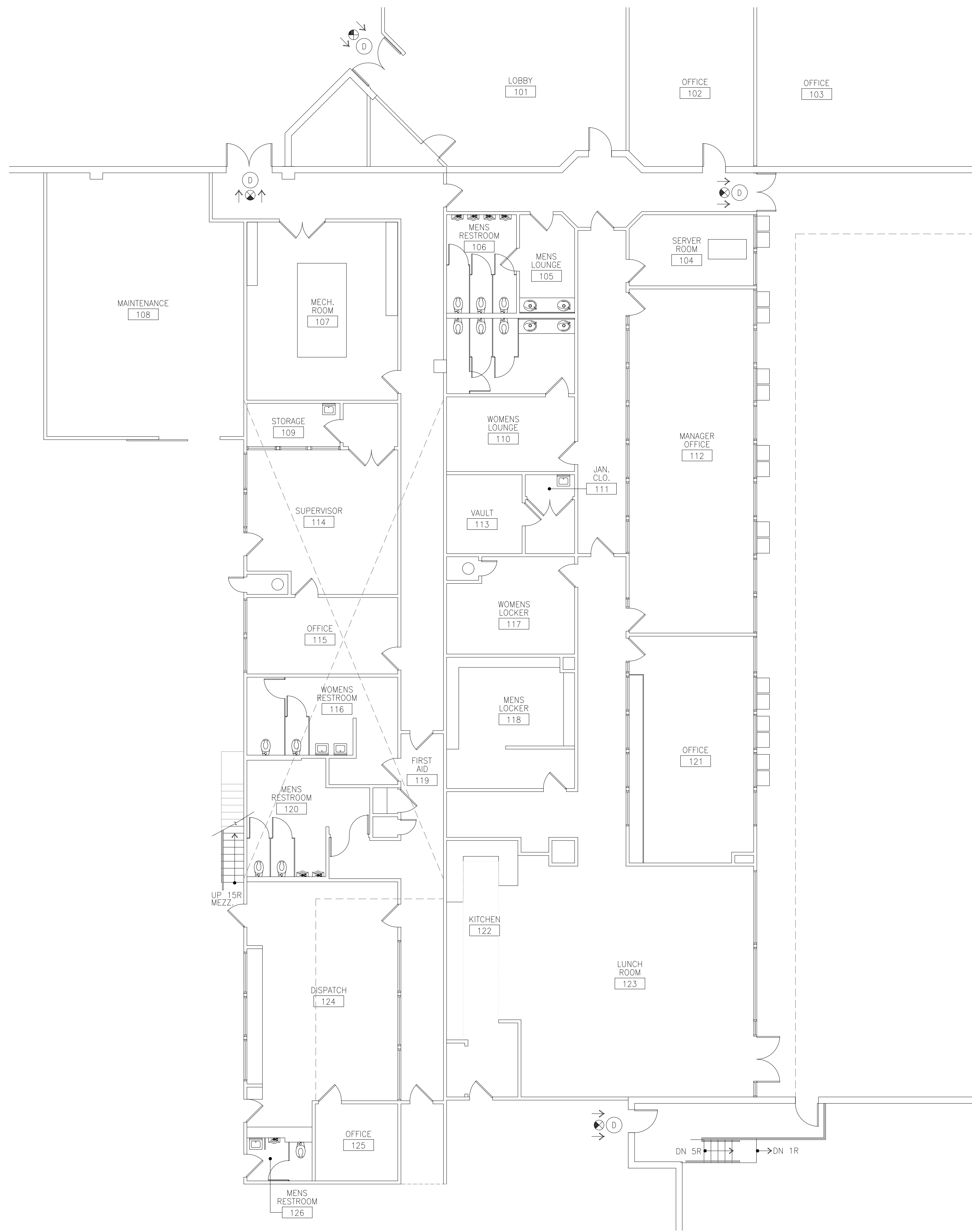
- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE (AC) PAVING
- 3 ACCESSIBLE PATH OF TRAVEL
- 4 DRIVEWAY APRONS
- 5 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYP.
AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH
TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY
- 7 8' TALL MOUNTAGE COMMERCIAL, INVINCIBLE STYLE, THREE RAIL
BLIND TUBES, 6' TALL FENCE AND GATE. SEE SHEET DAB-AM-1.
DETAIL B AND 11.
- 8 CONCRETE WALKWAY, MEDIUM BROOM FINISH.
- 9 CONCRETE RAMP WITH CONCRETE GUARD WALL.
- 10 BIKE RACK.
- 11 FUTURE ELECTRIC VEHICLE CHARGER.
- 12 EXTERIOR STEEL STAIR.
- 13 12' x 14' DRIVE-IN DOOR
- 14 LANDSCAPE.
- 15 CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- 16 PRE-CAST CONC. WHEEL STOP.

- | | |
|----|--|
| 17 | TRUNCATED DOME. |
| 18 | ACCESSIBLE PARKING STALL SIGN. |
| 19 | HARDSCAPE AT ENTRANCE. |
| 20 | ACCESSIBLE ENTRY SIGN. |
| 21 | PUMP ROOM. |
| 22 | TRASH ENCLOSURE. |
| 23 | ELECTRICAL ROOM. |
| 24 | CONCRETE DOLLY PAD. |
| 25 | SMOKING AREA. |
| 26 | EXTERIOR AMENITY AREA |
| 27 | EXTERIOR PARKING LIGHT POLE. |
| 28 | STORM TREATMENT |
| 29 | LINKS SHUTTLE BUS STOP MERCED @ MARINA |
| 30 | APPROXIMATELY 2' CONCRETE WALL FOR
OVERLAND RELEASE REQUIREMENTS, SEE CIVIL |

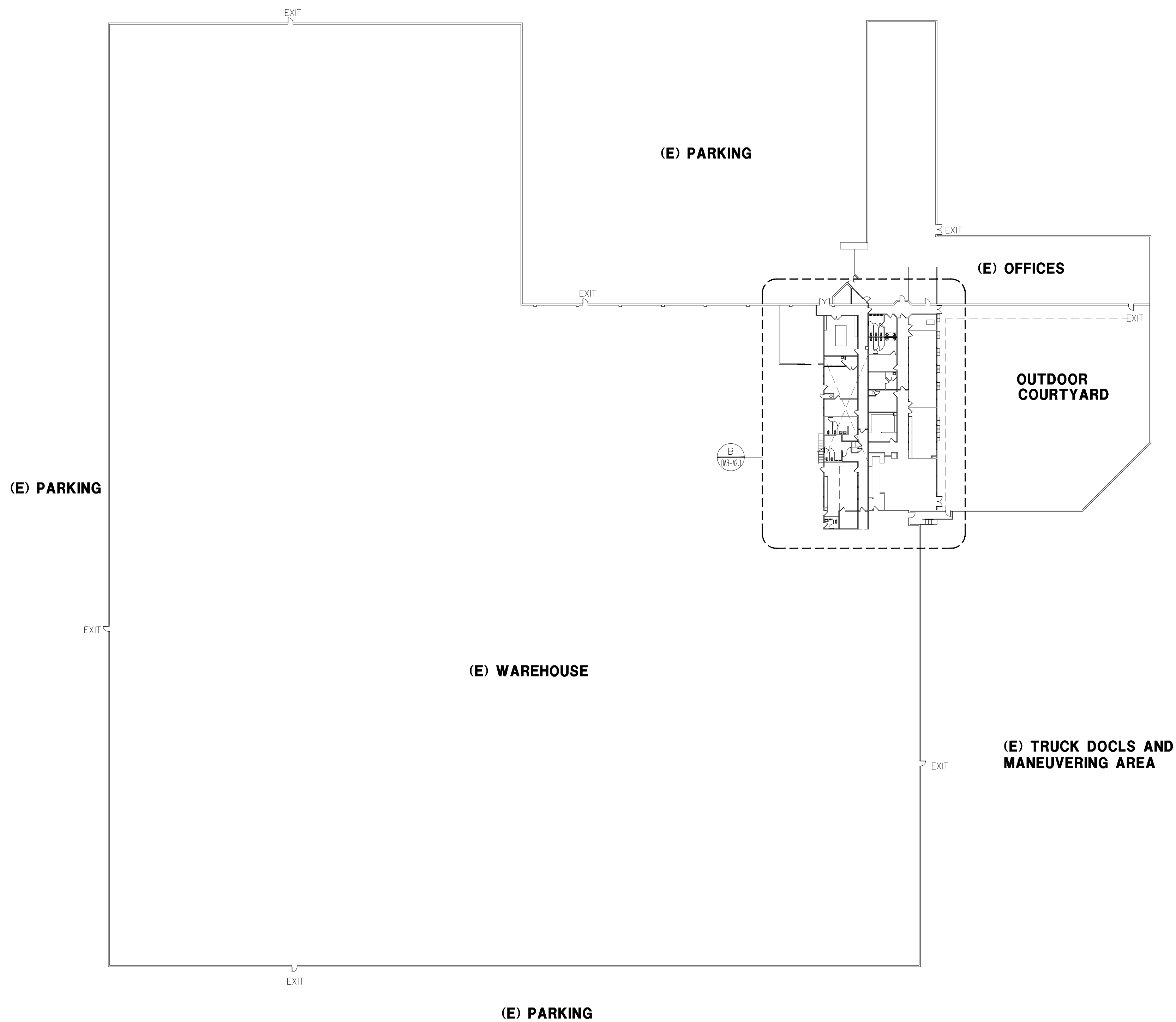
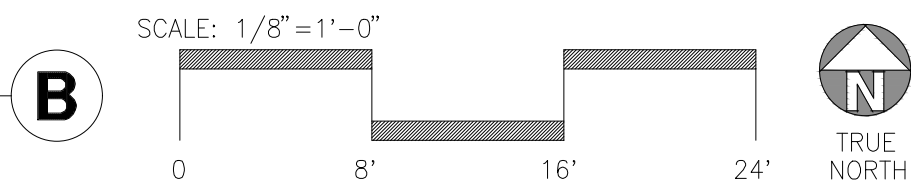
1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER, DATE, PROJECT NUMBER #
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FINISH OF CONCRETE CURBS
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONCRETE DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ COOLED STEEL REIN. PROVIDE EXPANSION JOINTS. SHOULDS BE A MAXIMUM 12' EA. WAY W/ 1/20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH
11. U/LK. TO BE PROVIDED TO ALL BUILDING ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE CITY FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE

CONCRETE PAVING. SEE "C" DRWGCS. FOR THICKNESS
 STANDARD PARKING STALL (9' X 19' OR 17' + 2' OVERHANG)
 CLEAN AIR/VANPOOL/EV CONDUIT STUB FOR FUTURE EV
 CLEAN AIR/ VANPOOL/EV WITHOUT CONDUIT STUB FOR FUTURE EV
 LANDSCAPED AREA
 NON-ACCESSIBLE PATH
 COMPACT PARKING STALL 8' X 16' (14' WITH 2' OVERHANG)
 ACCESSIBLE PARKING STALL (8' X 19' (17' WITH 2' OVERHANG) + 5' W/ ACCESSIBLE AISLE SEE DETAIL 11/AD.1
 ACCESSIBLE PARKING (VAN) STALL (12' X 19' + 5' W/ ACCESSIBLE AISLE
 PATH OF TRAVEL MINIMUM WIDTH TO BE 4' SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%, SEE CIVIL FOR GRADING PLAN

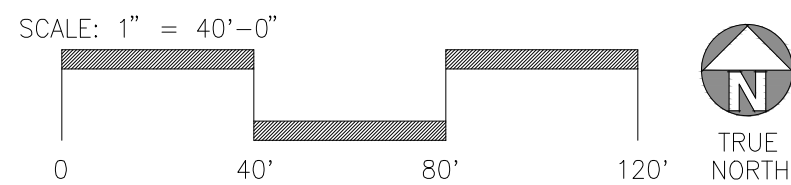
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EXISTING ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"



EXISTING OVERALL FLOOR PLAN
scale: 1" = 40'-0"



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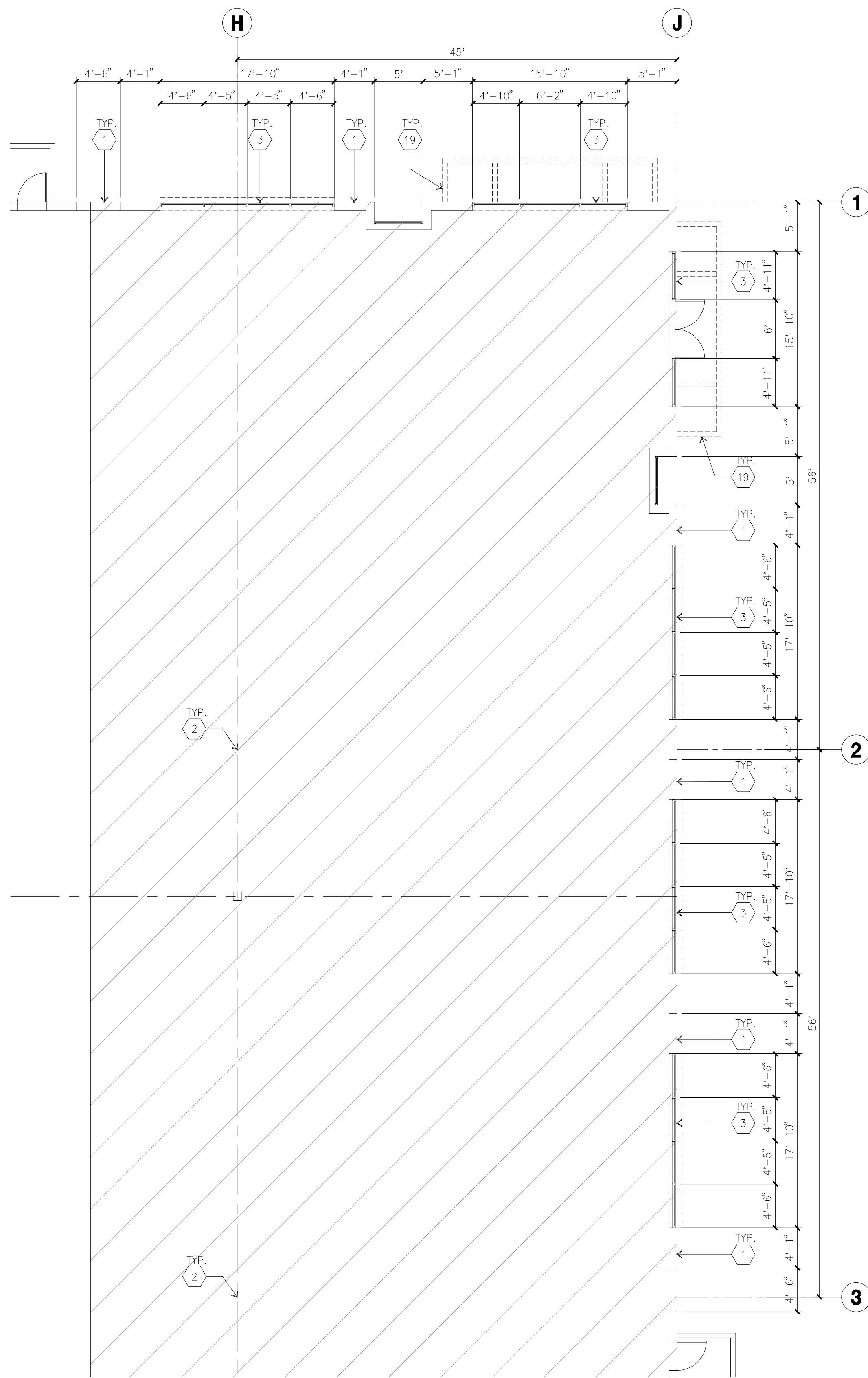
Title:
EXISTING OVERALL FLOOR PLAN

Project Number: 19571
Drawn by: M.D.
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ENLARGED FLOOR PLAN B

scale: 1/8"=1'-0"

KEYNOTES - FLOOR PLAN

- CONCRETE TILT-UP PANEL.
- STRUCTURAL STEEL COLUMN.
- TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- 9' X 10' DOCK DOOR. SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- EXTERIOR METAL STEEL STAIR.
- 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX.
- 4' X 8' METAL LOUVER.
- DOCK DOOR BUMPER.
- 12" X 14" DRIVE THRU SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 48"H.
- EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- Z GUARD.

WALL LEGEND - ALL FLOOR PLANS

- | | |
|----|---|
| 1 | CONCRETE TILT-UP WALL. SEE "S" DWGS FOR PANEL THICKNESS. |
| 3 | STOREFRONT SYSTEM. SEE DETAIL 16/AD.4 |
| 4A | 3 5/8" 20GA. METAL STUDS, U.N.O. @ 16" O.C. @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. TO EXTEND TO 14" A.F.F.. SEE DETAILS 16/AD.5 AND STUD SCHEDULE FOR SIZES PER HEIGHT. |
| | PROVIDE BATT INSULATION AT PUMP ROOM FOR NOISE |

FLOOR SLAB AND POUR STRIPS REQ.

THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS

- FLOOR COMPACTION - 95%
- TRENCH COMPACTION - 90%
- BUILDING FLOOR SLAB: SEE STRUCTURAL DRAWINGS FOR DETAILS
- CONTRACTOR TO BUILD FOR CLASS IV FLOOR PER A.C.I. 302-IR-96
- CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
- CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
- ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAPPERED.
- NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
- SLAB TO BE FF50 FL35 MEASURED WITHIN 24 HOURS.
- NO FLY ASH IN THE CONCRETE
- WHERE INDICATED, PROVIDE VAPOR BARRIER (15 MIL STEGO OR EQUAL) CONFORMING TO ASTM E 1745 UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION. CONCRETE SLAB IN OFFICE AREAS, WHERE SAND OVER VISQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
- SEAL CONCRETE SLAB W/ "LAPIDOLITE" SEALER
- SHURSEAL/LAPIDOLITE OR APPROVED EQUAL FLOOR SEALER APPLIED ONE COAT AT END OF JOB IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
- NO PERMANENT GREASE PEN PANEL MARKS ON FLOOR SLAB
- NO RED CHALK MARKS. ALL CONSTRUCTION MARKS TO BE REMOVED BEFORE SEALING.
- 10' POUR STRIP AT TRUCK DOOR 4FT. MAX. ELSEWHERE.
- ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. FSCA BOND LV 2000/BURKE EPOXY INJECTION RESIN OR EQUAL.
- PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
- MM-80 AT SPEED BAY ONLY. PRICE AS ADDITIONAL ALTERNATE

GENERAL NOTES - FLOOR PLAN

- THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 125' +/- . A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC
- FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- THE BUILDING FLOOR SLAB IS TILT/SLOPED. SEE CIVIL.
- SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
- PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET A5.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAPPERED INCLUDING CARS AND TRUCKS
- ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
- HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.

- EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 11B-216.6
- ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE

PAINT NOTES

- INTERIOR GYP. BD. WALLS : SINGLE COAT OF ACRYLIC PAINT FRAZEE "WHITE" ON INTERIOR WALLS.
- ALL STRUCTURAL STEEL MEMBER INC. COLUMNS, LEDGERS, JOISTS, & GIRDERS SHALL HAVE LIGHT GRAY SHOP PRIMER.
- INTERIOR STEEL COLUMNS : PAINT OSHA YELLOW 10' A.F.F. ABOVE 12' APPLY ONE COAT OF WHITE PAINT
- PIPE BOLLARDS SHALL HAVE TWO COATS OF ENAMEL "OSHA YELLOW".
- EXTERIOR CONCRETE WALLS WILL HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.
- ALL EXTERIOR HOLLOW METAL DOORS AND DOCK DOORS TO HAVE ONE COAT OF EXTERIOR PRIMER AND TWO COATS OF ACRYLIC PAINT TO MATCH ADJACENT SURFACE COLORS. PIPE STEEL HANDRAILS SHALL HAVE TWO COATS OF LATEX PAINT.

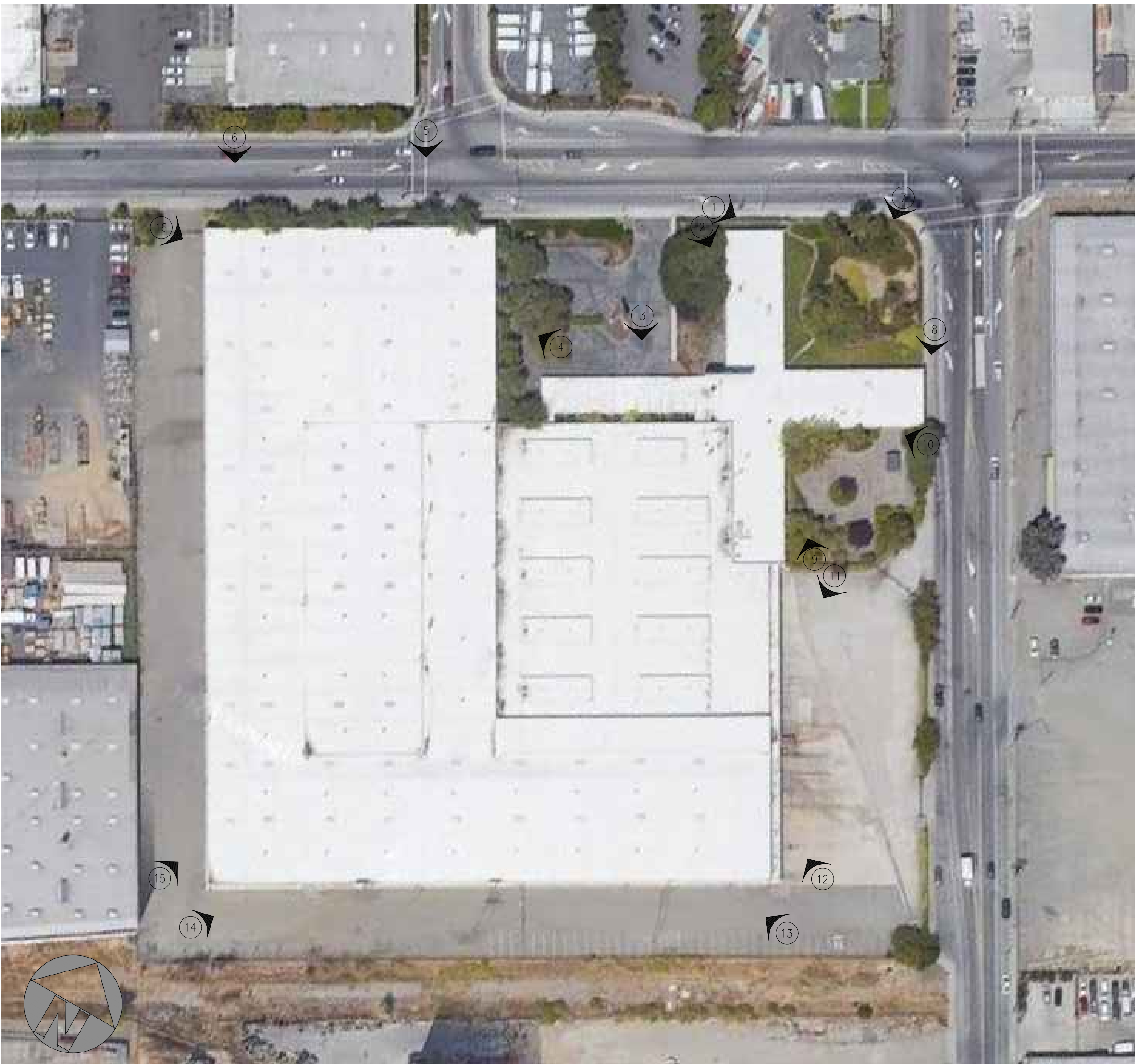


NORTH ELEVATION
scale: **A**



EAST ELEVATION
scale: **B**

AERIAL MAP



SOUTH ELEVATION
scale: **C**



WEST ELEVATION
scale: **D**



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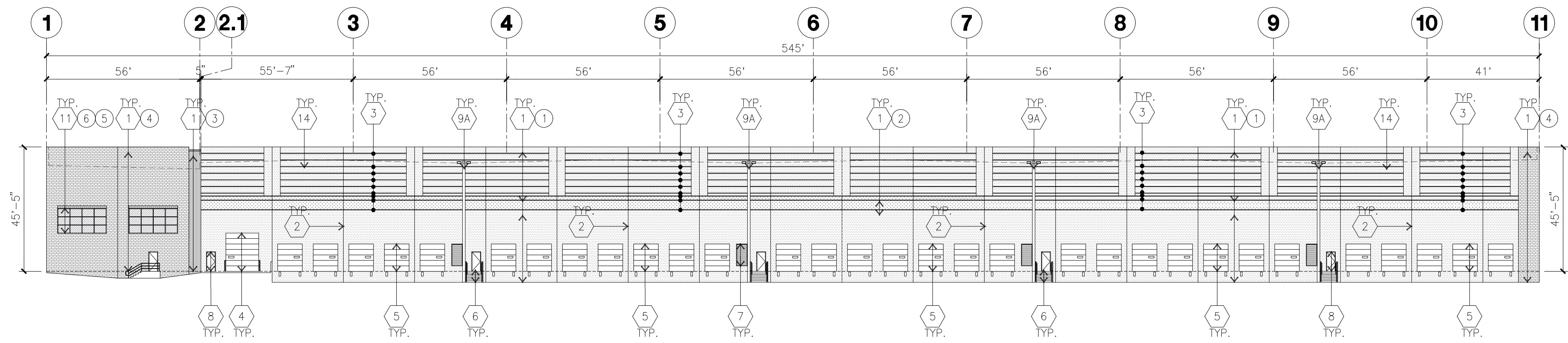
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STRUCTURAL	-
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EXISTING ELEVATIONS

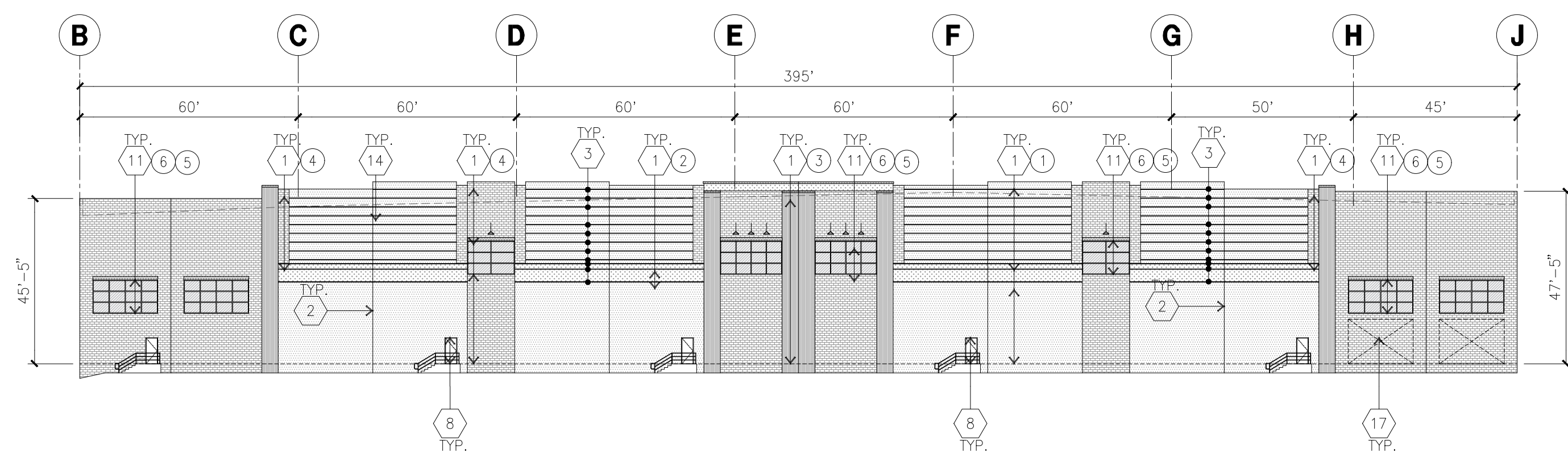
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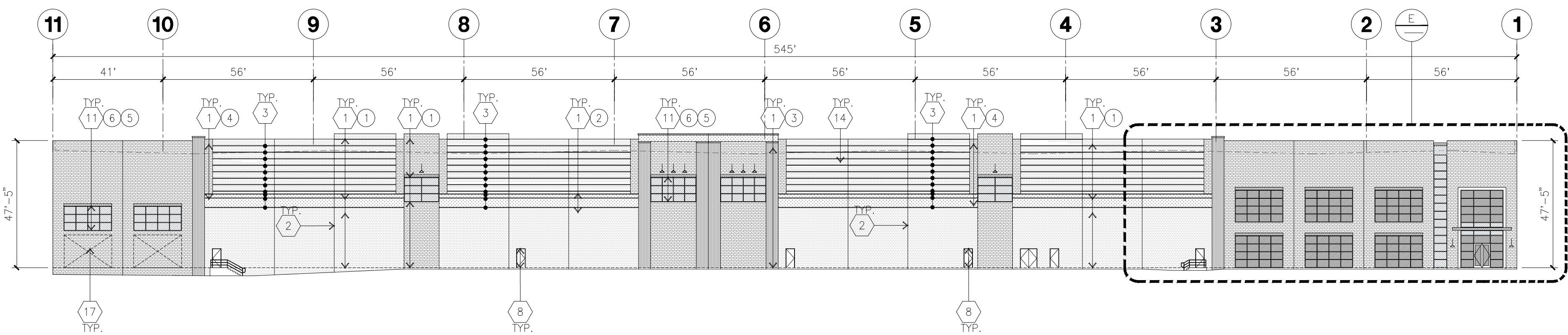
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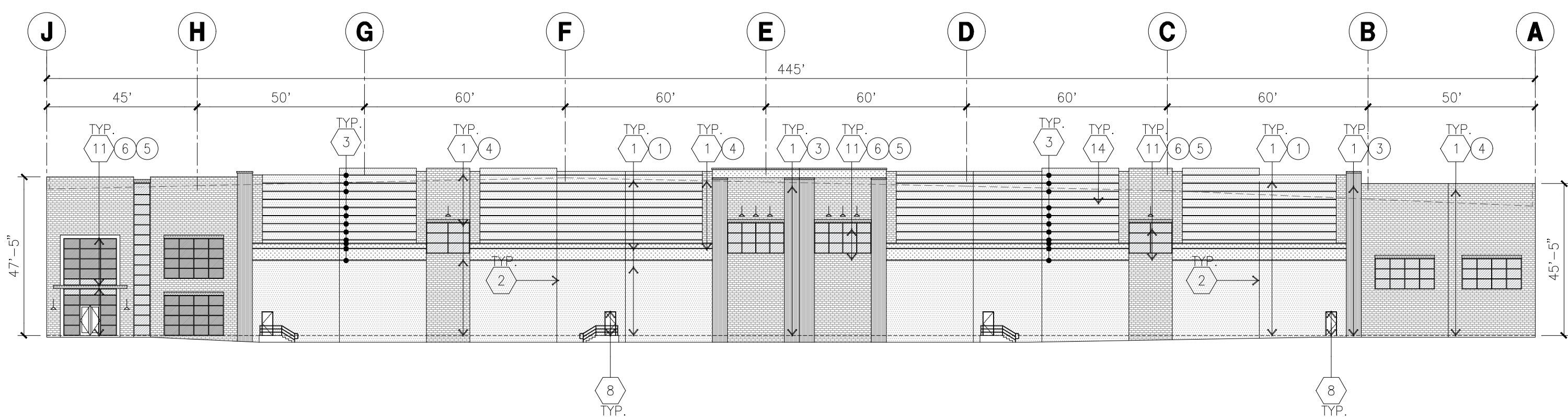
WEST ELEVATION
scale: 1"=30'-0"



SOUTH ELEVATION
scale: 1"=30'-0"



EAST ELEVATION
scale: 1"=30'-0"



NORTH ELEVATION
scale: 1"=30'-0"

KEYNOTES - ELEVATIONS

- CONCRETE TILT-UP PANEL(PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- PANEL JOINT.
- PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.D.
- OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- EXTERIOR METAL STEEL STAIR.
- METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- INTERIOR ROOF DRAIN AND OVERFLOW SCUPPER.
- DOCK BUMPER.
- ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- METAL TUBE STEEL CANOPY
- WALL MOUNTED LIGHTING FIXTURES.
- ROOF LINE BEYOND
- APPROXIMATE LOCATION OF KNOX-BOX.
- APPROXIMATE LOCATION OF ADDRESS ON WALL PER CODE SECTION 9-1.3-260 SIGNS TO BE 1" IN HEIGHT W/ BLACK REFLECTIVE MATERIAL USED. SAMPLES OF THE MATERIALS SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING OFFICIAL.

ELEVATION COLOR LEGEND/SCHED.

- CONCRETE TILT-UP PANEL. COLOR : SW 7072 ONLINE
- CONCRETE TILT-UP PANEL. COLOR : SW 7074 SOFTWARE
- METAL-PLATE-SIDING GALVANIZED STEEL SEAMLESS SURFACE
- GLEN-GERY ST. THOMAS THIN BRICK 3/4" TAN, EXTRUDED, MARSEILLES
- CANOPY MATERIAL - SHERWIN-WILLIAMS PRO-INDUSTRIAL, WATERBASED B53-1150 SEMI-GLOSS - SW 7069 IRON ORE @ 1-BEAM METAL CANOPY
- MULLIONS COLOR : BLACK ANODIZED ALUMINUM
- GLAZING COLOR : BLUE GLAZING
- DOOR COLORS : FACTORY FINISHED WHITE

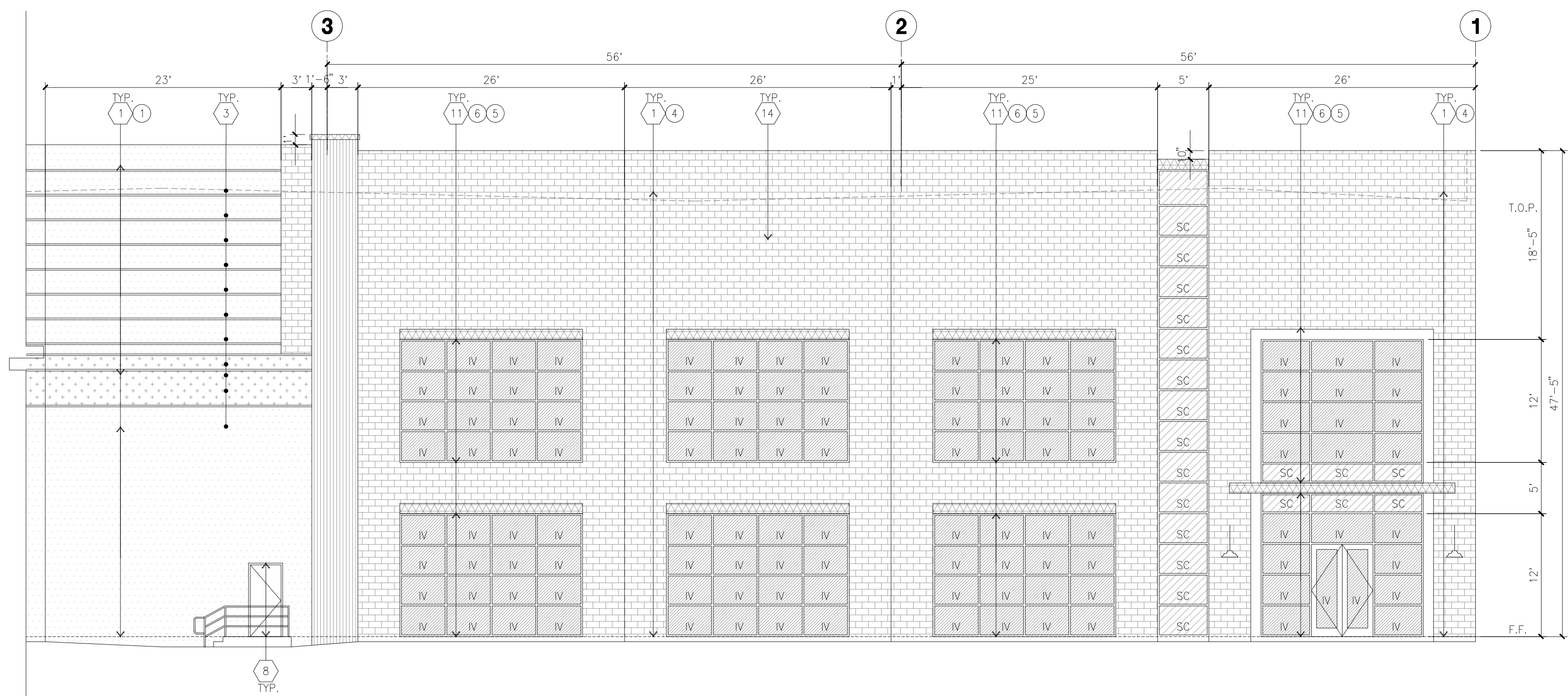
GENERAL NOTES - ELEVATIONS

- ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- T.O.P. EL= TOP OF PARAPET ELEVATION.
- F.F. = FINISH FLOOR ELEVATION.
- STOREFRONT CONSTRUCTION GLASS. METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED. EXPOSURE WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR.
- RAILINGS TO MATCH BUILDING COLOR.
- ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

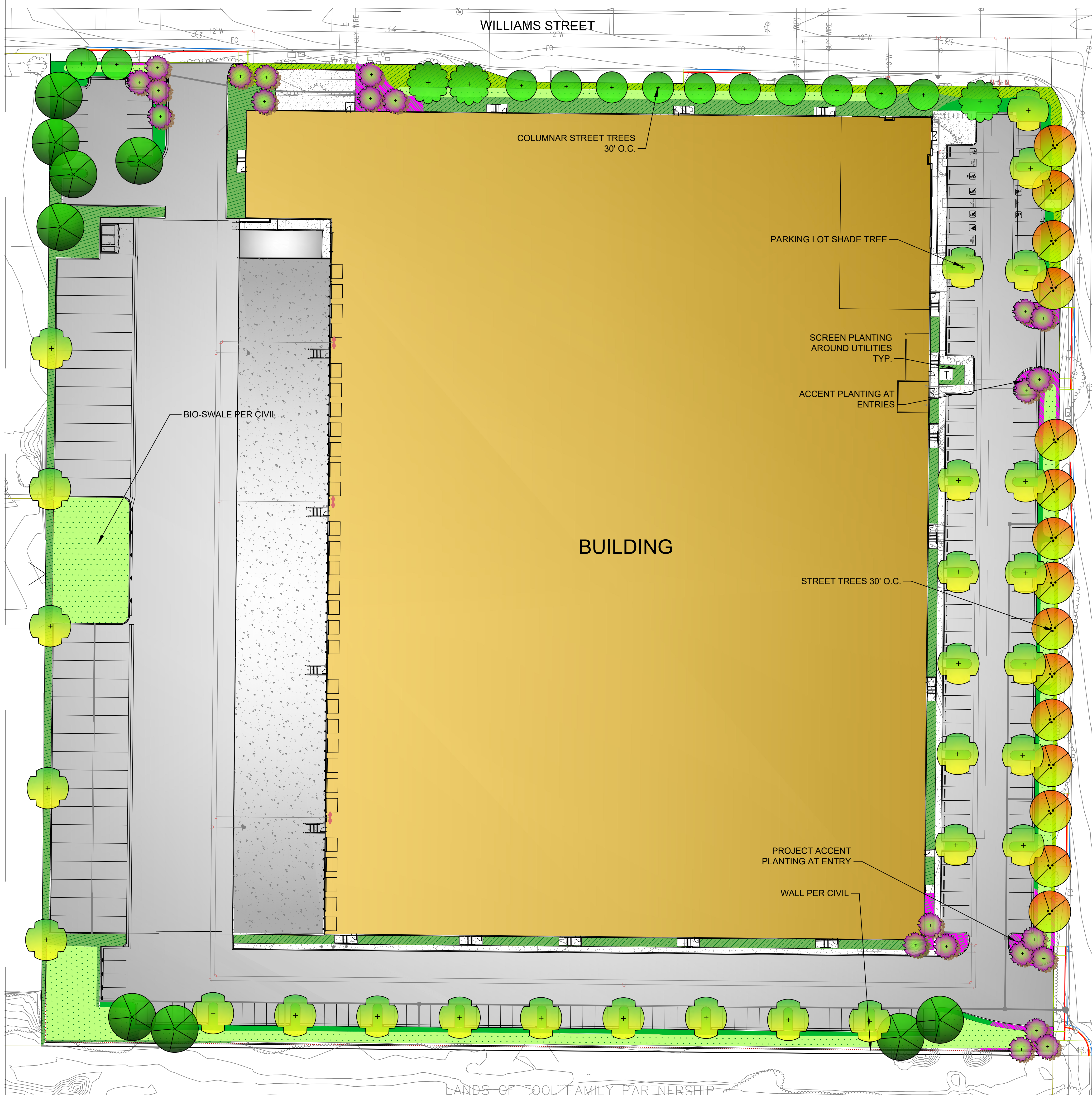
GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

- | | |
|--|-------------------------------------|
| INSULATED VISION GLASS | SPANDREL GLASS WITH CONCRETE BEHIND |
| SINGLE LITE VISION GLASS | |
| IV : INSULATED VISION GLASS
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.21 SHGC: 0.21 VLT: 20%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B | |
| SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE.
INSTALLED ON CONCRETE. | |
| V : VISION GLASS
1/4" VISTACOL PACIFICA | |
| MULLIONS : ANODIZED CLEAR. | |



ENLARGED EAST ELEVATION
scale: 1/8" = 1'-0"



LANDSCAPE LEGEND

- SMALL FLW. ACCENT TREE STANDARD TRUNK
- EXISTING STREET TREE
- MEDIUM DECIDUOUS SHADE TREE
- MEDIUM EVERGREEN TREE
- DECIDUOUS STREET TREE
- COLUMNAR DECIDUOUS STREET TREE
- PARKING LOT PLANTING: LOW TO MEDIUM SHRUBS, PERENNIAL ACCENTS
- STREETSCAPE PLANTING: 30" MIN. HEIGHT FLOWERING SCREEN SHRUBS SOME PERENNIALS WITH SUCCULENT ACCENTS. MEDIUM DENSITY PLANTING
- PROJECT ACCENT PLANTING: ORNAMENTAL GRASSES AND PERENNIALS AND OR SUCCULENTS. HIGH DENSITY PLANTING
- FOUNDATION /SCREEN PLANTING: MEDIUM TO TALL SHRUBS, LOW DENSITY SPACING. SOLID SPACING WHERE PLANTED AS A SCREEN
- BIO-SWALE - NATIVE SEEDED GRASSES NON-IRRIGATED

PLANT LIST

"N" CA NATIVE	BOTANICAL NAME	COMMON NAME	SIZE	WATER REGIME /ZONE	MATURE HABIT H X W
TREES					
	LAURUS N. 'SARATOGA'	BAY LAUREL	15 GAL.	L	20' X 20'
	ACER BUERGERIANUM	TRIDENT MAPLE	15 GA.	L	20' X 20'
	LAGERSTROEMIA I. 'BILOXI'	CRAPE MYRTLE	15 GA.	L	20' X 12' STANDARD
	PRUNUS C. 'KRAUTER VESUVIUS'	FLW. PLUM	15 GA.	L	20' X 15'
N	CERCIS OCCIDENTALIS	REDBUD	15 GAL.	L	15' X 12'
	MALUS SPP.	CRABAPPLE	15 GAL.	L	15' X 10'
LARGE SHRUBS					
	ACACIA CULTRIFORMIS	KNIFE ACACIA	5 GAL.	L	10' X 10' (PLANT 12' O.C.)
	XYLOSMA SENTICOSA	SHINY XLOSMA	5 GAL.	L	8' X 8' (PLANT 9' O.C.)
N	CEANOTHUS 'RAY HARTMAN'	CEANOTHUS	5 GAL.	L	15' X 15' (PLANT 16' O.C.)
	CHILOPSIS LINEARIS	DESERT WILLOW	5 GAL.	L	10' X 10' (PLANT 11' O.C.)
DROUGHT TOLERANT SHRUBS					
N	CALOCEPHALUS BROWNII	CUSHION BUSH	5 GAL.	L	3' X 3' (PLANT 4' O.C.)
N	LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	5 GAL.	L	6' X 6' (PLANT 6' O.C.)
N	RHAMNUS C. 'MOUND SAN BRUNO'	COFFEEBERRY	5 GAL.	L	5' X 6' (PLANT 7' O.C.)
N	AGAVE SPECIES	AGAVE	5 GAL.	L	VARIES(PLANT 4' O.C.)
N	PEROVSKIA A. 'BLUE SPIRE'	RUSSIAN SAGE	5 GAL.	L	3' X 3' (PLANT 5' O.C.)
N	BACCHARIS 'CENTENNIAL'	COYOTE BRUSH	5 GAL.	L	2' X 6' (PLANT 7' O.C.)
	SANTOLINA CHAMAECYPARRISUS	LAVENDER COTTON	5 GAL.	L	2' X 3' (PLANT 4' O.C.)
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.	L	3' X 3' (PLANT 4' O.C.)
N	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL.	L	3' X 4' (PLANT 5' O.C.)
N	ACACIA REDOLENS	PROSTRATE ACACIA	5 GAL.	L	6' X 5' (PLANT 6' O.C.)
	OLEA 'LITTLE OLLIE'	DW FRUITLESS OLIVE	5 GAL.	L	6' X 6' (PLANT 7' O.C.)
GRASS OR GRASS LIKE ACCENTS					
N	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL.	L	2' X 2' (PLANT 3' O.C.)
	PENNISETUM S. 'KARLEY ROSE'	FOUNTAIN GRASS	1 GAL.	L	3' X 3' (PLANT 4' O.C.)
N	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL.	L	4' X 4' (PLANT 5' O.C.)
N	CALAMAGROSTIS A. 'KARL FOESTER'	FEATHERREED	1 GAL.	L	2' X 3' (PLANT 4' O.C.)
PERENNIALS					
N	ACHILLEA 'MOONSHINE'	YARROW	1 GAL.	L	1' X 3'
N	NEPATA 'WALKERS LOW'	CATMINT	1 GAL.	L	1' X 2'
N	EPILOBIUM CALIFORNICUM	CALIFORNIA FUSCHIA	1 GAL.	L	1' X 3'
N	SEDUM SPECIES	SEDUM	1 GAL.	L	VARIES
N	ERIGONUM G. RUBESCENS	BUCKWHEAT	1 GAL.	L	2' X 2'
	AGAVE D.'VARIEGATA'	AGAVE	1 GAL.	L	2' X 3'
BIO SWALE GRASSES					
BIO-SWALE NATIVE GRASS TO BE "NATIVE PRESERVATION SEED MIX" AS AVAILABLE FROM DELTA BLUEGRASS CO. OR EQUAL. TEMPORARY IRRIGATION TO BE PROVIDED FOR ESTABLISHMENT IF REQUIRED BY TIME OF YEAR TO BE PLANTED.					

LANDSCAPE CALCULATIONS
TOTAL SITE AREA : 426,747 S.F. (9.8 ACRES)
LANDSCAPE AREA REQUIRED (5% OF SITE): 21,337 S.F.
LANDSCAPE AREA PROVIDED (8%): 34,283 S.F. (including bio-swales)
TOTAL AUTO PARKING SPACES PROVIDED: 169
TOTAL TRUCK TRAILER PARKING SPACES PROVIDED: 31
PARKING AREA TREES REQUIRED 1/6 SPACES: 33
PARKING AREA TREES PROVIDED: 34
EXISTING TREES TO BE REMOVED: 21
TREES TO BE ADDED TO MITIGATE EX. TREE REMOVAL: 25
STREET TREES 1/30 L.F. (27 PROVIDED)

IRRIGATION
ALL IRRIGATION IS TO BE POINT SOURCE DRIP OR DEEP ROOT
BUBBLER IRRIGATION PROVIDED PER PANT. IRRIGATION WILL MEET
THE MWELD AND ARTICLE 19 OF THE ZONING CODE. IRRIGATION
PLANS AND DETAILS TO BE SUBMITTED WITH PERMIT DRAWINGS.

WATER EFFICIENT LANDSCAPE REQUIREMENTS
ALL IRRIGATION EITHER PERMANENT OR TEMPORARY
SHALL BE AUTOMATIC TIMER CONTROLLED. PERMANENTLY
IRRIGATED SHRUBS AND TREES SHALL BE DRIP IRRIGATED.
AUTOMATIC CONTROLLER W/ ET DATA, REPEAT CYCLING
IRRIGATION ZONES PER PLANT WATER REQUIREMENTS
RAIN SENSOR SENSOR TO BE SPECIFIED
SOIL AMENDMENTS TO BE INCORPORATED
PLANTER SURFACE AREAS TO BE MULCHED
WATER USAGE TO MEET STATE WATER EFFICIENT LANDSCAPE STANDARD

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER
EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE
EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION
DESIGN PLANS.
B. De la

hpa, inc.
600 grand ave, suite 302
oakland, ca
94610
tel: 949-862-2113
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GreenDesign
Landscape Architects, Inc.
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Owner:

Duke REALTY
200 SPECTRUM CENTER DRIVE
SUITE 1600
IRVINE, CA 92618
TEL: (914) 525-6970

Project:

1919 WILLIAMS ST
SAN LEANDRO, CA

Consultants:

CIVIL	K&W
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	GreenDesign
FIRE PROTECTION	-
SOILS ENGINEER	-

Title:

PRELIMINARY LANDSCAPE PLAN

Project Number: 19571
Drawn by: M.D
Date: 12/11/2020

Revision:

REVISED 3-16-21
REVISED 8-24-21
REVISED 9-13-21
REVISED 11-15-21

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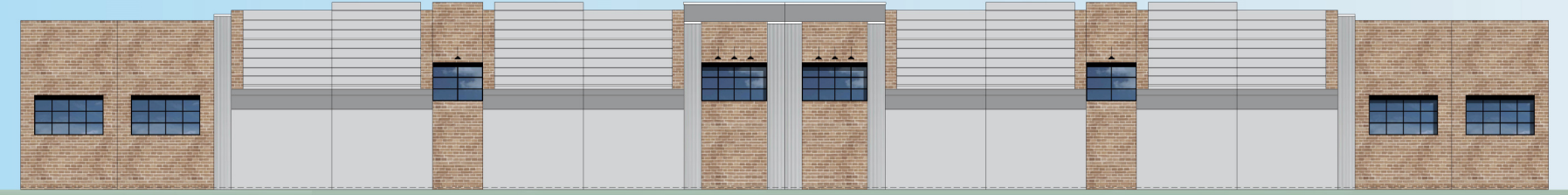
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NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION