1106 GARDNER BLVD. REMODELING & ADDITION

PROJECT INFORMATION

77A-628-5

1 STORY

V-B

24'-9"

5,716 SQ.FT.

SINGLE HOUSE

1,596 SQ.FT. (28 %)

2,284 SQ.FT.(40 %)

2,540 SQFT

2,540 / 5,716= 0.44

OWNER

PROJECT LOCATION

1106 Gardner Blvd. San Leandro, CA 94577

PROJECT DATA

LOT AREA: OCCUPANCY: CONSTRUCTION TYPE: EXISTING USED:

STORY: EXISTING LOT COVERAGE: PROPOSED LOT COVERAGE:

EXISTING BUILDING HEIGHT: PROPOSED BUILDING HEIGHT:

EXISTING PROPOSED SQUARE FOOTAGE 614 SQFT GARAGE 1ST FLOOR FINISHED AREA 982 SQFT 688 SQFT PROPOSED ADDITION 870 SQFT 2ND FLOOR FINISHED AREA TOTAL FIRST FLOOR

SCOPE OF WORK

LIVING AREA

- ADD 688 SQ.FT LIVING AREA AT REAR TO CREATE 1-BATH, DINING & FAMILY.
- PROPOSED 870 SQ.FT. LIVING AREA AT 2ND FLOOR TO CREATE 2 BEDROOM, 1 BATH

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE

2019 CALIFORNIA RESIDENTIAL CODE

2019 CALIFORNIA ADMINISTRATIVE CODE

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

2019 CALIFORNIA MECHANICAL CODE

2019 CALIFORNIA PLUMBING CODE

2019 CALIFORNIA ELECTRICAL CODE

2019 CALIFORNIA FIRE CODE

2019 INTERNATIONAL PROPERTY MAINTENANCE CODE

TITLE 24,PART 6, CALIFORNIA ENERGY CODE

TITLE 24 HANDICAPPED ACCESSIBILITY REGULATIONS

SHEET INDEX

TITLE SHEET EXISTING PLOT PLAN PROPOSED PLOT PLAN

EXISTING FLOOR & ROOF PLAN

PROPOSED FLOOR PLAN & ROOF PLAN PROPOSED ROOF PLAN

PROPOSED ELECTRICAL PLAN

EXISTING ELEVATIONS

PROPOSED ELEVATIONS

PROPOSED ELEVATIONS

CG1,2 CAL GREEN BUILDING CHECKLIST

PROPOSED SECTIONS & DETAILS

GENERAL NOTES

1. DISCREPANCIES: DO NOT SCALE FROM DRAWINGS, WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL ELSE. ANY DISCREPANCIES SHALL BE REPORTED TO THE PROJECT ENGINEER IMMEDIATELY PRIOR TO COMMENCING ANY WORK

2. ALL CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM

CALIFORNIA BUILDING CODE 2019 EDITION

CALIFORNIA MECHANICAL CODE 2019 EDITION CALIFORNIA PLUMBING CODE 2019 EDITION

CALIFORNIA ELECTRIC CODE 2019 EDITION ALONG WITH ANY OTHER APPLICABLE LOCAL & STATE LAWS AND REGULATIONS.

3. ALL ELECTRICAL, FIRE PROTECTION, MECHANICAL, PLUMBING AND STRUCTURAL WORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH EACH FIELDS APPLICABLE CODES AND STANDARDS.

4. CONSTRUCTION DRAWING NOTES AND DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS.

5. CONTRACTORS SHALL VERIFY LOCATION AND ACCEPTABILITY OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION

6. ROOMS W/ FIXED GLASS SHALL HAVE A MIN.OF 2 AIR CHANGES PER HOUR WITH 1/5 FROM OUTSIDE AIR . BATHROOMS AND LAUNDRY ROOMS SHALL HAVE A MIN. OF 5 AIR

7. INTERIOR WALL COVERINGS SHALL BE MIN. 1/2" THK. GYPSUM BOARD FLAME SPREAD CLASS III UNLESS NOTED OTHERWISE

8. WORK SHALL BE EXECUTED WITH THE LEAST POSSIBLE DISTURBANCE TO THE PUBLIC AND OCCUPANTS OF ADJACENT AREAS. THE CONTRACTOR SHALL KEEP DIRT, DUST AND NOISE TO A MINIMUM AND PROVIDE DUST SHEETS AS REQUIRED AND DIRECTED. MORK SHALL BE SCHEDULED BY THE CONTRACTOR AND AGREED TO BY THE OWNER IN

9. INSULATE ALL EXTERIOR WALLS WITH R-19 MIN. BATT INSULATION . AND CEILINGS WITH R-30 MIN. INSULATION, UNLESS NOTED OTHERWISE ON THESE PLANS AND DRAWINGS PER TITLE 24.

10. ALL HABITABLE ROOMS, SHALL HAVE COMFORT HEATING AT LEAST 68°F (20°C) AT A POINT 3'-0" ABOYE FLOOR.

11. PRIOR TO INSPECTION OF ROOF SHEATHING, THE APPLICANT'S REPRESENTATIVE SHALL REQUEST AN INSPECTION OF THE RESIDENCE BY THE PROJECT ENGINEER IN ORDER TO ENSURE COMPLIANCE WITH ALL OF THE ARCHITECTURAL DETAILING OF THE BUILDING AS SPECIFIED IN THE APPROVED DRAWINGS.

12. VERIFY EXCESS FLOW OR MOTION SENSOR AUTOMATIC SHUT-OFF VALVE IS AT (E) GAS METER IF IS NOT SHALL BE PROVIDED.

13. PROVIDE WATERPROOF GYPSUM BOARD AT TUBS AND SHOWERS WITH SELF-FURRED BLDG. PAPER BACKING BEHIND CERAMIC TILE.

14. WATER HAMMER ARRESTORS SHALL BE INSTALLED AT THE FOLLOWING QUICK-ACTING SHUT OFF VALVES. (CPC 609.10):

1. AUTOMATIC MASHING MACHINE HOT AND COLD MATER). 2. ICEMAKER. 3. DISHWASHER.

15.ATTIC ACCESS: THE ATTIC ACCESS SHALL BE MEATHERSTRIPPED, AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL IN

16. DRYER VENT SHALL NOT EXCEED A COMBINED VERTICAL AND HORIZONTAL LENGTH OF 14' FEET INCLUDING 2 TWO 90 DEGREE ELBOWS

17. ALL STAIR RISERS SHALL BE OF UNIFORM SIZE AND SHAPE EXCEPT THAT THE LARGEST TREAD RISER IN ANY FLIGHT OF STAIRS CANNOT EXCEED THE SMALLEST BY MORE THAN 3/8" (CBC. 1003.3.3)

18. PROVIDE "TYPE "X" GYP. BD. THROUGHOUT THE ENCLOSED USABLE AREA

19. PROVIDE FIREBLOCKING OF THE STUD WALL ADJACENT TO THE STAIR STRINGER. (CBC. 1003.3.3.9 & 708)

20. INSULATE ALL INTERIOR WALLS WITH R-11 MIN. BATT INSULATION UNLESS OTHERWISE NOTED ON THESE PLANS AND DRAWINGS.

21. SMOKE DETECTORS ARE REQUIRED TO BE INTER- CONNECTED AND BE EQUIPPED WITH A BATTERY BACKUP. DETECTORS MUST EMIT A SIGNAL WHEN BATTERIES ARE

22. TEST FOR RADON, IF THE LEVELS ARE STILL EQUAL OR EXCEED 4 PCI/L, THE PASSIVE SYSTEM SHOULD BE ACTIVATED BRING IT TO THE ATTENTION OF THE PROJECT ENGINEER

23. ROOF COVERAGE FIRE-RESISTANCE CLASS SHALL BE CLASS B.

LEGEND

EXISTING EXTERIOR WALL

□□□□□□ EXISTING EXTERIOR WALL TO BE REMOVED

EXISTING INTERIOR WALL

= = = = EXISTING INTERIOR WALL TO BE REMOVED

CONCRETE WALL

CONCRETE WALL TO BE REMOVED

NEW EXTERIOR WALL

NEW EXTERIOR WALL - RATED

NEW INTERIOR WALL - RATED

NEW INTERIOR WALL

_____ NEW EXTERIOR HALF WALL

SITE PLAN NOTES:

1. THE GENERAL CONTRACTOR (GC) SHALL READ, EXAMINE AND BE THOROUGHLY FAMILIAR WITH THESE DRAWINGS AND WITH THE EXISTING SITE CONDITIONS PRIOR TO START MORK. IN THE EVENT THERE ARE DISCREPANCIES OR OMISSIONS WITHIN THE DRAWINGS AND/OR SPECIFICATIONS. THE GC. SHALL NOTIFY THE DESIGNER IMMEDIATELY.

2. THE GC. AND ALL SUBCONTRACTORS SHALL COMPLY WITH ALL APPLICABLE LAWS AND CODE REGULATIONS.

3. THE GC. SHALL VERIFY ALL GRADE ELEVATIONS PRIOR TO CONSTRUCTION.

4. THE GC. AND ALL SUBS SHALL BE RESPONSIBLE FOR THE PROTECTION OF NEW AND EXISTING CONSTRUCTION FROM DAMAGE. ALL DAMAGED MATERIAL SHALL BE RESTORED! REPAIRED TO ITS ORIGINAL CONDITION

5. THE GC. SHALL BE RESPONSIBLE FOR ALL ITEMS OF EQUIPMENT, FIXTURES AND MATERIALS NOT SPECIFIED HEREIN BUT NECESSARY FOR THE COMPLETION OF THE WORK AS INDICATED ON THESE DRAWINGS. THE GC SHALL SUBMIT CUT SHEET/SHOP DRAWINGS WHICH MEET THE QUALITY AND FUNCTION DESIRED.

6. THE ARCHITECT RESERVES THE RIGHT TO REJECT ALL MATERIALS AND WORK QUALITY WHICH ARE NOT IN CONFORMANCE WITH THE SPECIFIED STANDARDS OF THE VARIOUS TRADES INVOLVED. SUCH INFERIOR MATERIALS OR MORK OR QUALITY SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE OWNER OR DESIGNER.

7. THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE AND AVAILABLE DURING INSPECTION ACTIVITY.

8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTLY LOCATING ALL PROPERTY LINES AND GRADES REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT.

9. THE BUILDING SITE SHALL BE CLEARED AND GRUBBED OF ALL STUMPS ROOTS OR OTHER FOREIGN MATTER TO A DEPTH OF 12

10. ALL FOOTINGS TRENCHES SHALL BE CLEANED AN GRUBBED

11. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION OR MAXIMUM FIELD DENSITY. FIELD DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE AND BY THE LOCAL BUILDING DEPARTMENT. ALL FILL MATERIAL USED TO SUPPORT THE FOUNDATION SHALL BE PLACED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE AND SHALL HAVE NO MORE THAN MINOR AMOUNT OF ORGANIC SUBSTANCES AND HAVE NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MIN. DIMENSION GREATER THAN 8"

ALL FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 6" WATER SHALL BE ADDED TO THE OPTIMUM LEVEL FOR THE REQUIRED COMPACTION AND DENSITY PER LAYER FILL AND COMPACTION SHALL MEET THE APPROVAL OF THE LOCAL BUILDING DEPARTMENT.

12. ALL FINISH GRADES AROUND THE BUILDING SHALL BE SLOPPED TO DRAIN WATER AWAY FROM THE BUILDING.

13. PROVIDE A MINIMUM SLOPE OF 5% AWAY FROM THE BUILDING FOR THE ENTIRE SITE.

14. NO DRAINAGE ONTO ADJACENT PROPERTIES SHALL BE PERMITTED PROVIDE A MINIMUM OF 0.5% SLOPE FOR THE ENTIRE

15. PROPERTY SHALL NOT RETAIN DRAINAGE WATER UNLESS PROVISIONS FOR SUCH ARE INDICATED ON THE DRAWINGS.

16. PROVIDE A CHEMICAL TOILET ON SITE PRIOR TO CALLING FOR THE FIRST INSPECTION.

17. INSTALL STREET ADDRESS NUMERALS, AT LEAST 4" HIGH WITH MINIMUM $\frac{1}{2}$ " STROKE, MOUNTED ON A CONTRASTING BLACK GROUND CLEARLY VISIBLE FROM THE STREET.

18. FINISH FLOOR TO BE ABOVE CROWN OF EXISTING STREET PROVIDE A 2 PER CENT SLOPE AWAY FROM PROPOSED BUILDING



EXTERIOR ELEVATION KEY



INTERIOR ELEVATION KEY



DETAIL KEY



DOOR KEY

NOTE KEY



MINDOM KEY



(0)—— REFERENCE KEY

DIMENSION NOTES:

DO NOT SCALE THESE DRAWINGS, ALL WORK SHALL BE GOVERNED BY THE DIMENSIONS SHOWN ON THE DRAWINGS

ALL DIMENSION ARE TO THE FACE OF THE STUD, UNLESS OTHERWISE NOTED.

THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS, SPECIFICATIONS AND MANUFACTURERS INSTALLATION PROCEDURES PRIOR TO START OF ANY WORK.

DIMENSIONS REGARDING FRAMING ARE FROM FACE OF STUD TO FACE OF

DIMENSIONS NOTED 'CLEAR' ARE FROM FACE OF FINISH TO FACE OF FINISH AND MUST BE PRECISELY MAINTAINED. DIMENSIONS REGARDING FURNITURE, FIXTURES AND/OR EQUIPMENT ARE 'CLEAR' DIMENSIONS.

DIMENSIONS NOTED 'V.I.F.' SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO THE START OF WORK BEING PERFORMED.

DIMENSIONS NOTED 'A.F.F.' ARE ABOVE FINISHED FLOOR. IN CARPETED AREAS, THE TOP OF THE CARPET IS CONSIDERED THE FINISH FLOOR.

DIMENSIONS IN THE PLAN PERTAINING TO DOORS AND WINDOWS ARE TO THE CENTER OF THE UNIT. ACCOMMODATIONS SHALL BE MADE FOR SHIMMING NECESSARY TO ENSURE THE UNIT IS SQUARE, LEVEL AND OPERATES

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN 'ARCHITECTURAL WORK' UNDER SECTION 102 OF THE COPYRIGHT ACT.17 U.S.C. AS AMENDED DECEMBER 1, 1990 AND KNOWN AS THE ARCHITECTURAL WORKS PROTECTION ACT OF 1990.

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF ASSOCIATE DESIGN PROFESSIONALS, ALL DESIGN AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE ON THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION OF ASSOCIATE DESIGN PROFESSIONALS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ASSOCIATE DESIGN PROFESSIONALS SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.

ELEVATION

ELEVATOR

EMERGENCY

ENCLOSURE

EQUIVALENT

EACH MAY

EXISTING

EXPOSED

EXTERIOR

FIRE ALARM

FLOOR DRAIN

FOUNDATION

FLAT HEAD

FLOOR JOIS

FLOW LINE

FLUORESCENT

FACE OF CURB

FACE OF STUD/

FLOOR SINK

FURRING

FIELD VERIFY

GALVANIZED

GRAB BAR/GRADE BEAM

GENERAL CONTRACTOR

GROUND FAULT INTERRUPT

GALVANIZED IRON

GLU-LAM BEAM

GRADE PLANE

HOLLOW CORE

HOLLOW METAL

HEATING VENTILATING!

GROUND

HOSE BIB

HEADER

HARDWOOD

HARDMARE

HORIZONTAL

FUTURE

FOOT OR FEET

FACE OF CONCRETE/

FACE OF STRUCUTR

FACE OF MASONRY

FIXTURE

FLOOR

EXISTING GRADE

FLOOR CLEAN OUT

FIRE EXTINGUISHER

FIRE EXTINGUISHER CABINET

ELECTRIC PANEL

ELECTRIC

EMER.

E.M.

F.C.O.

F.E.

F.H.

FIX/FIXT

F.O.C.

F.O.S.

G.B.

G.L.B.

HDMD.

HORIZ.

ANGLE

ABOVE

CENTERLINE

ANCHOR BOLT

ACOUSTICAL

AREA DRAIN

ADJUSTABLE

ADHESIVE

ALIJMINIJM

ANODIZED

ALTERNATE

ACCESS PANE

APPROVED

ASBESTOS

AUTOMATIC

BOADRE

BELOW

BETMEEN

BUILDING

BLOCKING

BEDROOM

C.B.

CORR.

CTSK

BACK OF WALK

BOT. OF WALL

CATCH BASIN

CHANNEL

CAST IRON

CAULKING

COUNTER

CONCRETE

CONDITION

CONSTRUCTION

COUNTERSUNK

CLEAR

DOUBLE

DECORATIVE

DEPARTMENT

DOUGLASS FIR

DIAGONAL

DOMN

DIMENSION

DOWN SPOU

DRAWING

DRY STAND PIPE

DRINKING FOUNTAIN

CORNER GUARD

CONTROL JOINT/

CEILING/ CEILING JOIST

CORRIDOR, CORROSIVE

CONTRACTOR/ CONTINOUS G.F.I.

CONST. JOINT

BY OWNER/BY OTHERS

BITUMINOUS

APPROXIMATELY

ARCHITECTURAL

AIR CONDITIONING

ASPHALT CONCRETE

DIAMETER OR ROUND

PROPERTY LINE, PLATE

NOTICE TO BUILDER

IT IS THE INTENT OF THIS DESIGNER THAT THESE PLANS ARE ACCURATE AND ARE CLEAR ENOUGH FOR THE LICENSED PROFESSIONAL BUILDER TO CONSTRUCT THIS PROJECT. IN THE EVENT THAT SOMETHING IS UNCLEAR OR NEEDS CLARIFICATION, STOP AND CALL THE DESIGNER LISTED ON THE TITLE SHEET. IT IS THE RESPONSIBILITY OF THE LICENSED PROFESSIONAL TO FULLY REVIEW THESE DOCUMENTS BEFORE CONSTRUCTION BEGINS SO THAT THIS PROJECT IS CONSTRUCTED PROPERLY AND IF NEEDED TO MAKE CORRECTIONS BEFORE ANY WORK BEGINS.



PROJECT LOCATION VICINITY MAP

ADDITION & REMODELING 1106 GARDNER BLVD, SAN LEANDRO, CA 94577

HIEN T. KIM NGUYEN Professional Eng. Corp. 15 Duberstein Drive

ssdesigneng@gmail.com

San Ramon, CA 94583 408-893-6906

PLN21-003 - 1102 Gardner

Exhibit A - Title Sheet

ABBREVIATIONS / DEFINITIONS: RETURN AIR EXISTING/ EAST. ENTRY/ EACH INTERIOR DESIGNER R.D. ROOF DRAIN **EXPANSION JOINT**

LAV

LBS.

LKR.

LUM.

MAS.

M.B.

MIR.

MISC.

M05.

MTD.

(N.)

0.0.

PLAS.

PROJ

PLYMD

ROOF DRAIN LEADER INTERIOR RECTANGULAR REFERENCE INVERTED REFRIGERATOR REINFORCEMENT REQUIRED JOIST RESILIENT RETAIN(ING), RETURN KITCHEN ROUGH OPENING LOW/LINEN LANDSCAPED AREA REDMOOD

LABORATORY LAMINATE LAVATORY SUPPLY AIR POUNDS SOLID CORE LOAD FROM ABOVE SEAT COVER DISPENSER LEFT HAND SCHED. SCHEDULE LOCKER S.D. SUB DRAIN SOAP DISPENSER SELECTED

LUMINOUS MAINTENANCE MASONRY MATERIAL SHEATHING **MAXIMUM** SIMPSON METAL BOLT SOFFIT JOIST MEDICINE CABINET MECHANICAL STAINLESS STEE MEMBRANE STANDARD

MFR/MFGR MANUFACTURER STD. MAN HOLE STRUCT MIRROR MISCELLANEOUS MASONRY OPENING MOUNTED TER. NATURAL NOT IN CONTRACT T.&G.

NATURAL GRADE NUMBER NOMINAL NOT TO SCALE OVERALL ON CENTER OUTSIDE DIAMETER/ DIMENSION OVERFLOW DRAIN

OPENING PERIMETER PLATE/PROPERTY LINE PLASTIC LAMINTE PLYMOOD

POINT OF CONNECTION PROJECTION PARALLEL STRAND

TOP OF WALL TYPICAL UNIFORM BUILDING CODE UNDERGROUND U.G. UNDERWRITER'S LABORATORY UNFINISHED UNLESS NOTED OTHERWISE VERT

T.PL.

T.O.S.

TRANS

VENTILATING VERTICAL **YENT THROUGH ROOF** MOOD WATER HEATER

STRUCTURAL

SUSPENDED

TOP OF CURB

TIME CLOCK

TELEPHONE

TOP OF FENCE

TOP OF PAYING

TRANSFORMER

TOP OF STEP

TOP OF PLATE

TONGUE AND GROOVE

TOP OF STRUCTURE/SLAB

TEMPERED

TERRAZZO

MEST, MIDE, MIDTH WATER CLOSET **MROUGHT IRON** WATERPROOF

MELDED WIRE MESH

TITLE SHEET

CHECK

REVISIONS

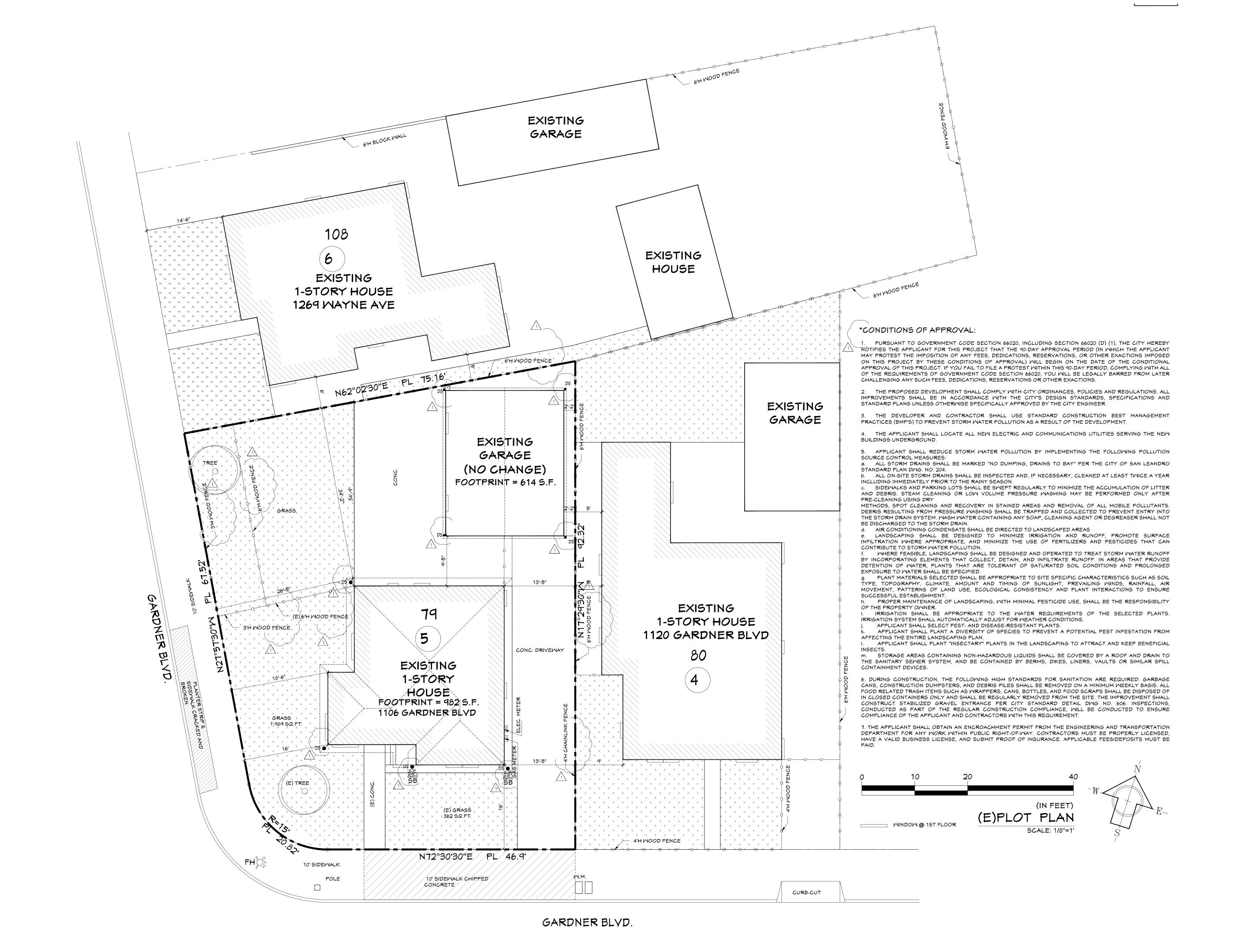
PROGRESS SET

03/05/2021

1ST BUILDING SUBMITTAL JOB NO. 2021.08 DRAWN

SHEET

08-18-202





HIEN T. KIM NGUYEN
Professional Eng. Corp.
15 Duberstein Drive
San Ramon, CA 94583 408-893-6906
ssdesigneng@gmail.com

ADDITION & REMODELING 1106 GARDNER BLVD, SAN LEANDRO, CA 94577

PLN21-003 - 1102 Gardner

Exhibit B - Existing Plot Plan

REVISIONS

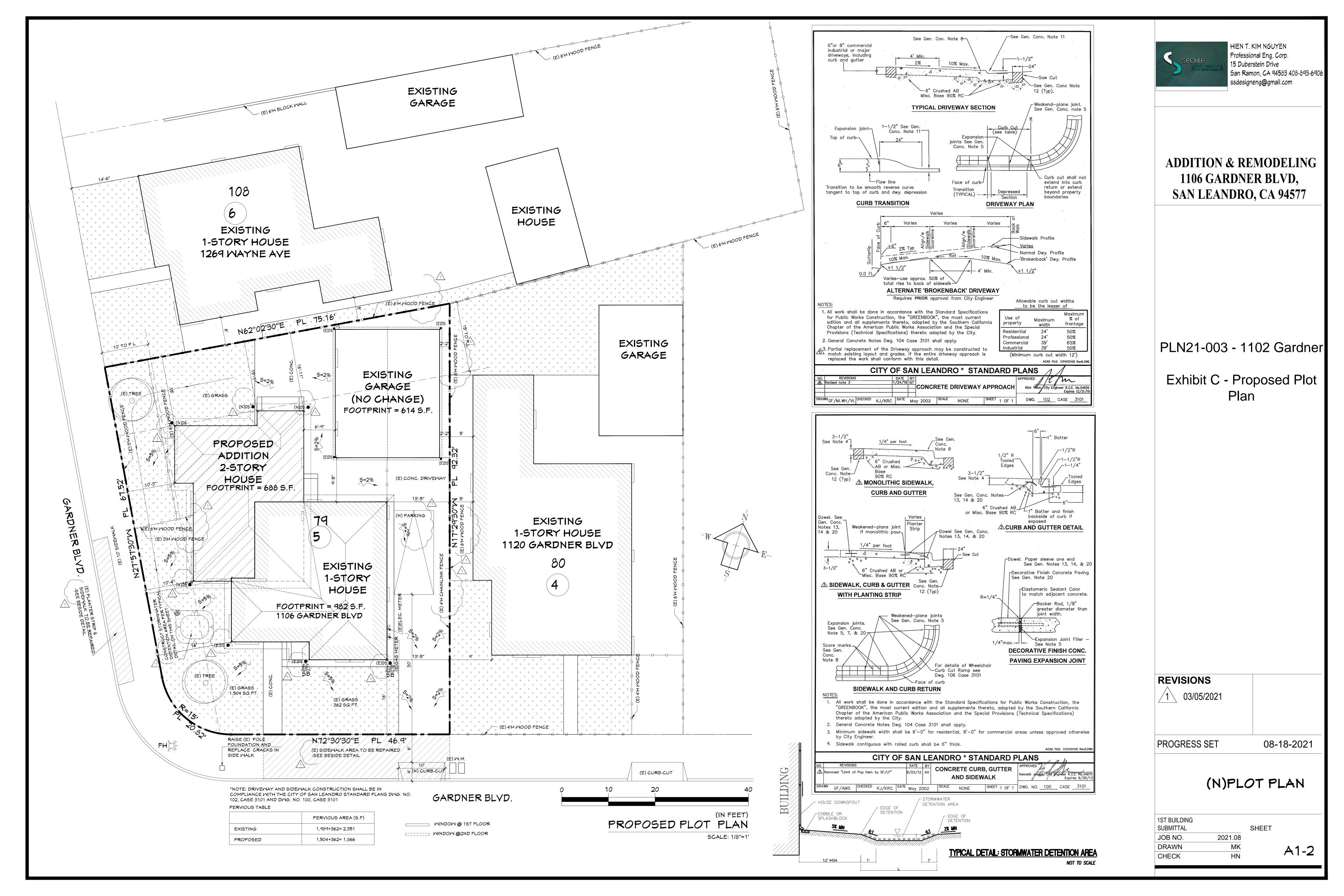
03/05/2021

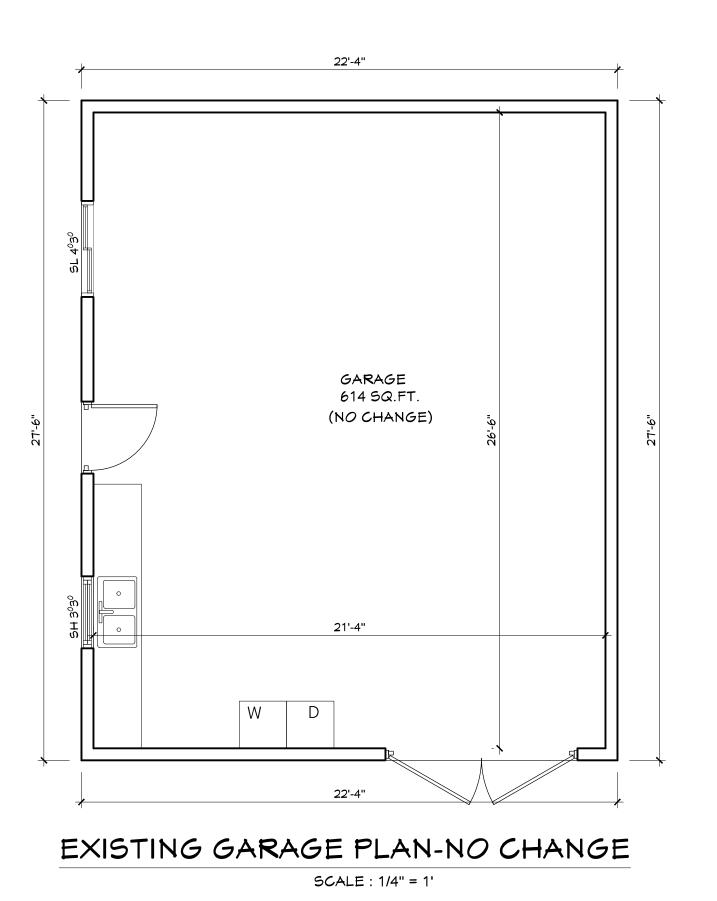
PROGRESS SET

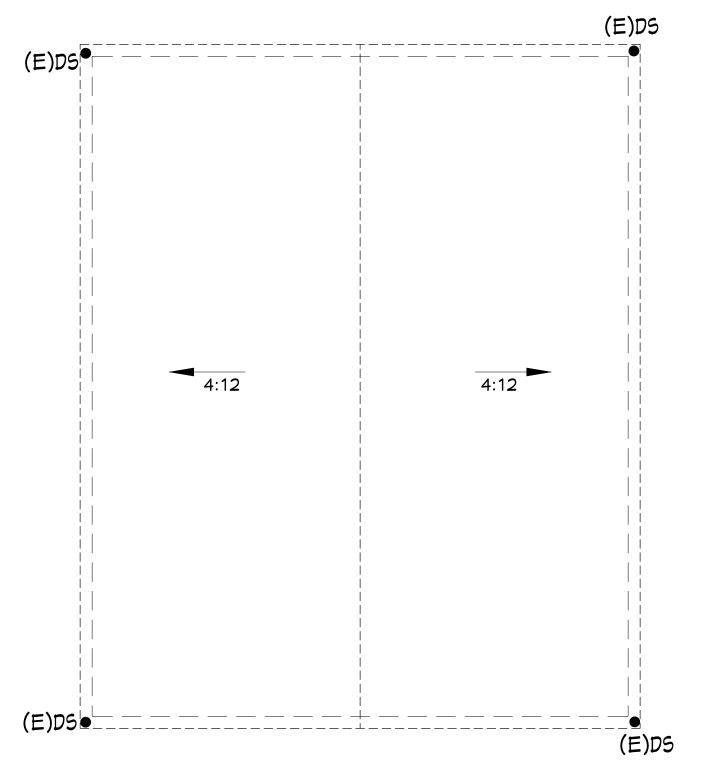
SS SET 08-18-2021

(E)PLOT PLAN

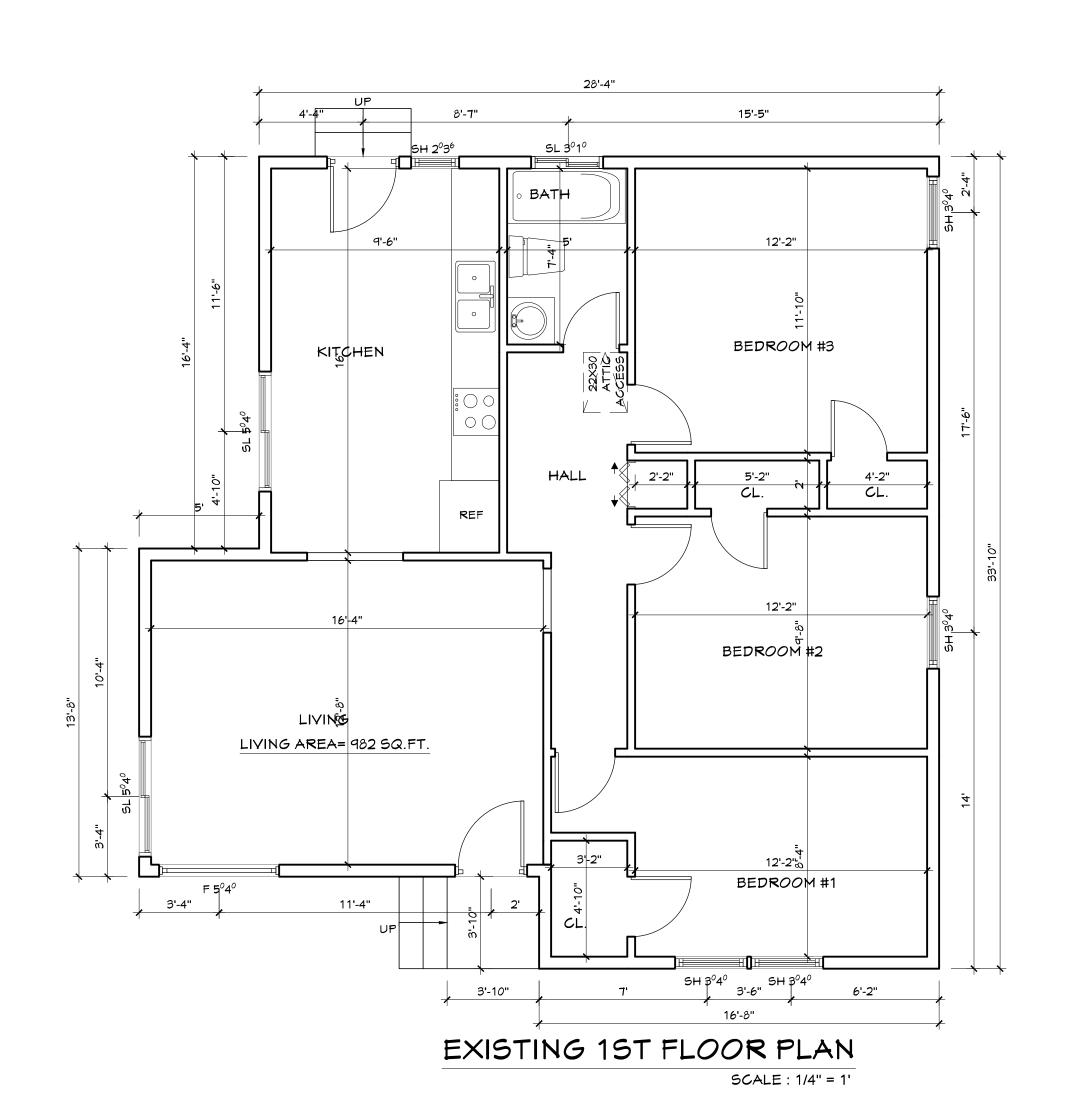
1ST BUILDING			
SUBMITTAL		SHEET	
JOB NO.	2021.08		
DRAWN	MK		Δ1
CHECK	LINI		

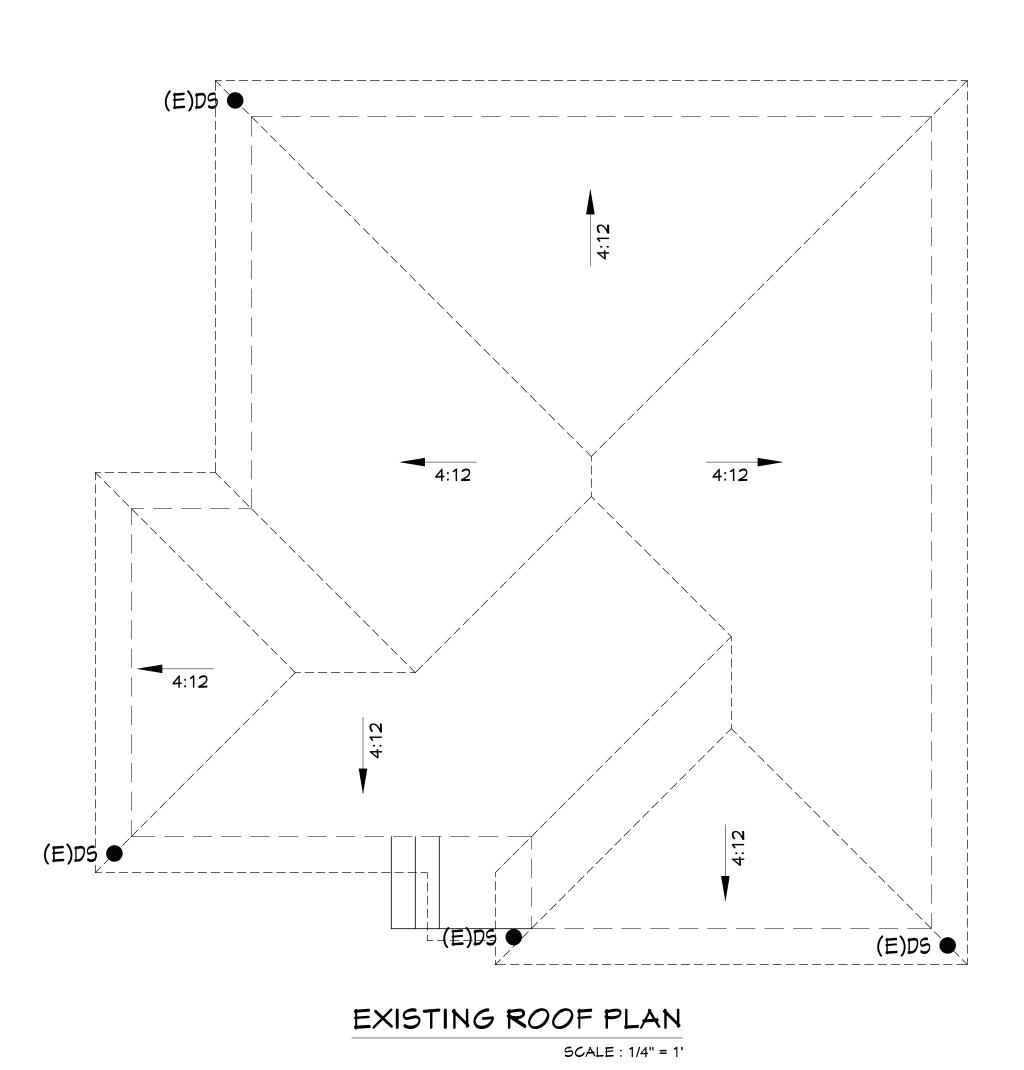






EXISTING GARAGE ROOF PLAN -NO CHANGE SCALE : 1/4" = 1'





HIEN T. KIM NGUYEN
Professional Eng. Corp.
15 Duberstein Drive
San Ramon, CA 94583 408-893-6906
ssdesigneng@gmail.com

ADDITION & REMODELING 1106 GARDNER BLVD, SAN LEANDRO, CA 94577

PLN21-003 - 1102 Gardner

Exhibit D - Existing Floor Plans & Roof Plan

REVISIONS

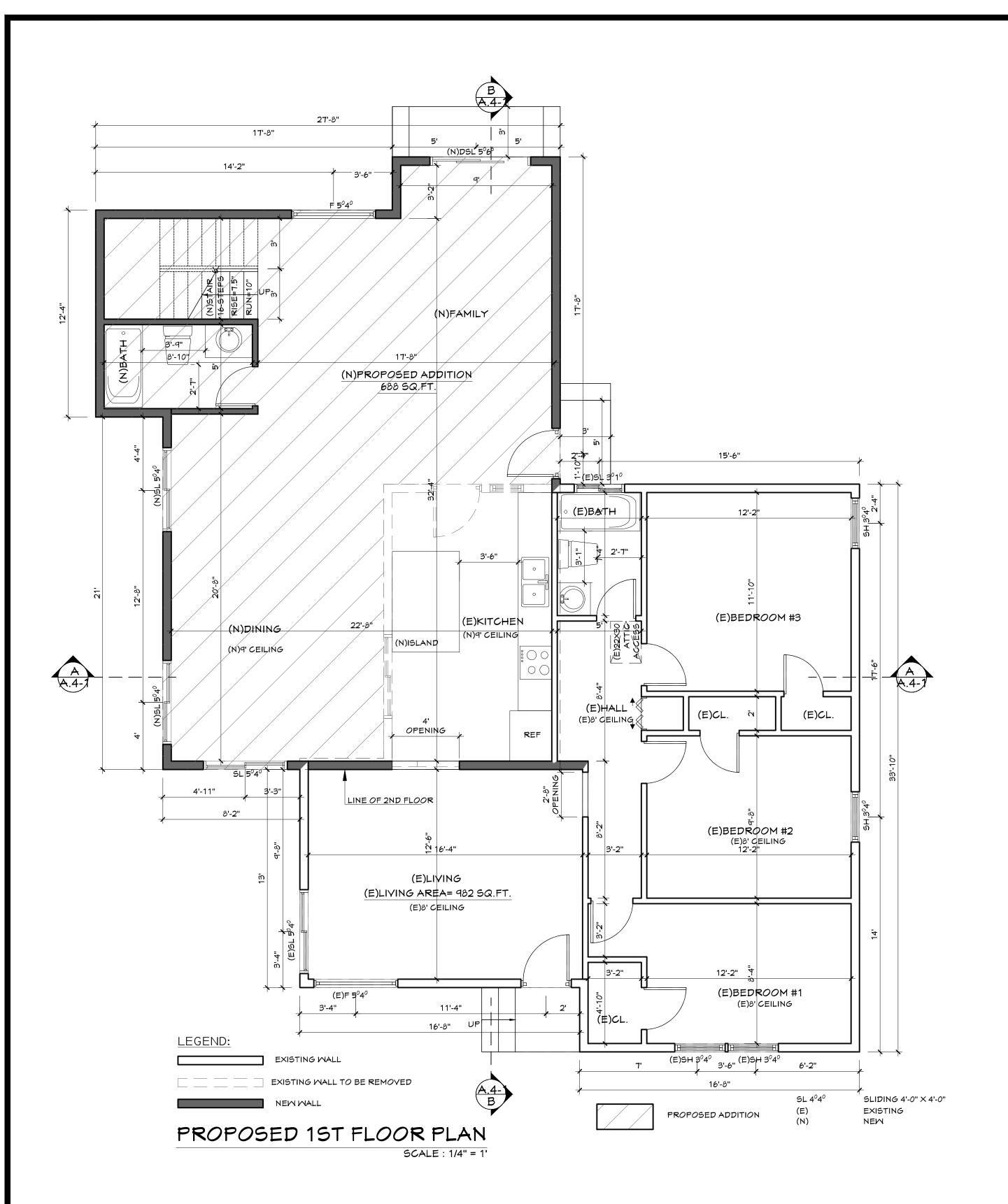
1 03/05/2021

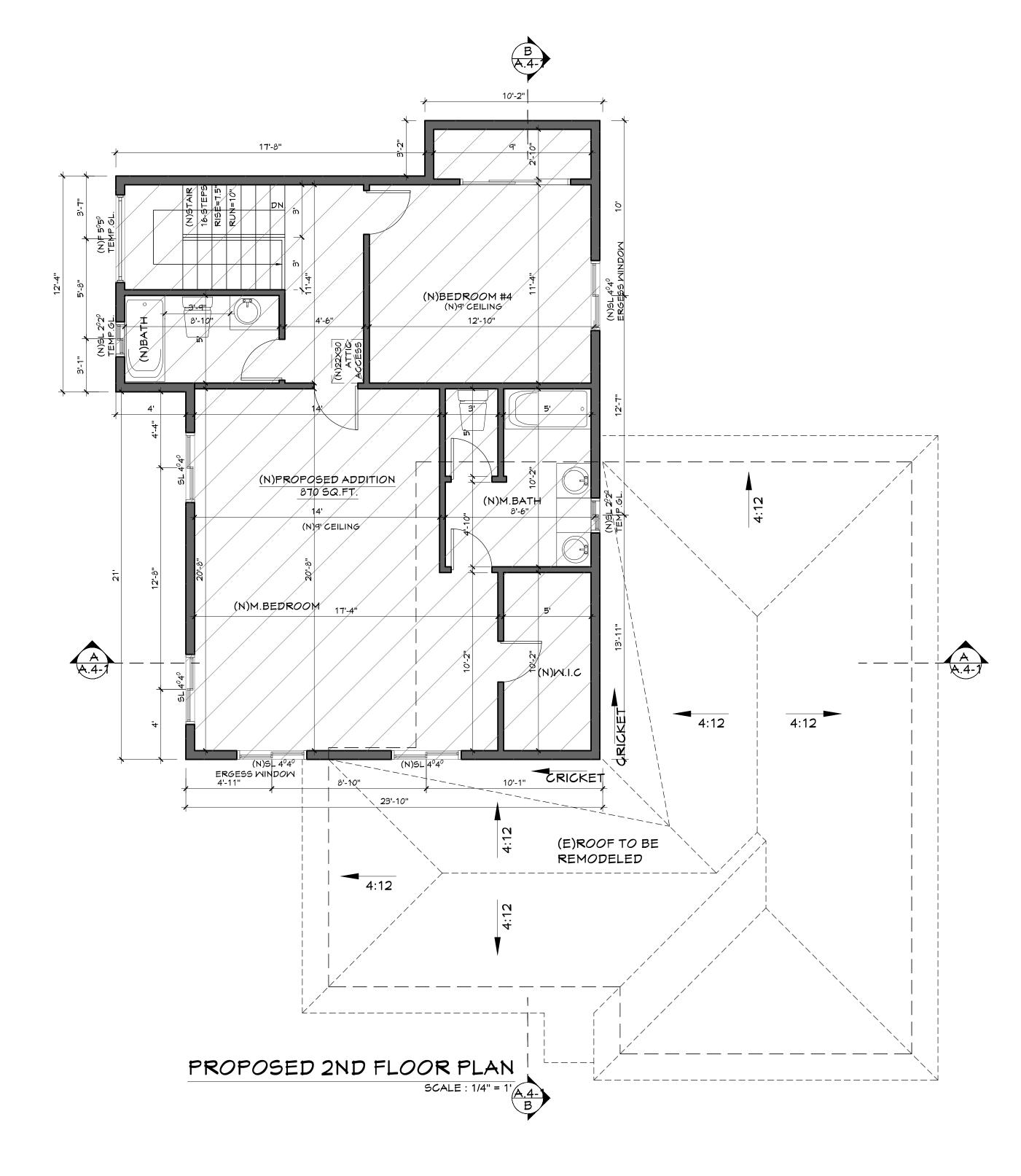
PROGRESS SET

08-18-2021

EXISTING FLOOR PLAN

1ST BUILDING SUBMITTAL		SHEET
JOB NO.	2021.08	
DRAWN	MK	A2-1
CHECK	HN	/ _





FLOOR PLAN NOTES:

- 1. 8'-0" CEILINGS @ FIRST FLOOR UNLESS NOTED OTHERWISE, MATCH (E) CEILING HEIGHT. V.I.F.
- 2. 6'-8" HEADER HEIGHTS @ FIRST FLOOR (UNLESS NOTED OTHERWISE) .
- 3. ALL ANGLES TO BE 45 DEG. UNLESS NOTED OTHERWISE.
- 4. 2x6 STUDS AT ALL EXTERIOR WALLS @ 2 STORY ADDITION UNLESS NOTED OTHERWISE. & 2x4 STUDS AT ONE STORY ADDITION.
- 5. VERIFY ALL EXTERIOR AND INTERIOR TRIM & DETAILS WITH OWNER.
- 6. WALL STUDS @ FIRST FLOOR PER STRUCTURAL DRAWINGS.
- WALLS AND CEILINGS SHALL BE $rac{1}{2}$ " ASTM 36 GYPSUM WALLBOARD FOR STUDS @ 16"o.c. AND $rac{5}{2}$ " GYPSUM MALLBOARD FOR STUDS @ 24"o.c.
- δ . ENCLOSE UNDERSIDE OF STAIRMELLS AND WALLS AND CEILINGS OF ATTACHED GARAGES. $\omega l \%$ " TYPE "X" FIRE
- 9. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL FURRING AND FRAMING INFORMATION.
- 10. INTERIOR DOORS SHALL BE 13/6" SOLID CORE.
- 11. EXTERIOR DOORS SHALL BE $1\frac{3}{4}$ " SOLID CORE REFER TO EXTERIOR ELEVATIONS. 12. ALL BEDROOM WINDOWS TO BE MAX. 44" ABOVE FINISH FLOOR WITH A MINIMUM 24" HIGH AND 20" WIDE OPENING WHICH PROVIDES A MIN. OF 5.7 SQ. FT. NET CLEAR OPENING.

- 13 EMERGENCY EGRESS FROM SLEEPING ROOMS, MIN 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 S.Q FT. MIN AREA. TOP OF SILL HEIGHT DIMENSION TO BE 44" MAX A.F.F. AND EGREES WINDOWS FOR BEDROOMS SHOULD BE
- 14. PROVIDE A COMBO CARBON MONOXIDE & SMOKE DETECTOR IN EACH EXISTING SLEEPING AREA AND AT A CENTRAL POINT IN HALLWAY HARD WIRE & BATTERY OPERATED
- 15. SHOWERS AND TUB/SHOWER WALLS TO BE A SMOOTH HARD NONABSORBENT SURFACE (E.G., CERAMIC TILE) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G., W.R. GYP. BD., CEMENT BOARD, ETC.) TO A MINIMUM HEIGT OF 72 INCHES ABOVE THE DRAIN INLET PER SEC. 807.1.3 OF 2013 CBC.
- 17. PER R308.4.1 GLAZING IN DOORS. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING. SLIDING AND BIFOLD DOORS SHALL BE CONSIDERATED TO BE HAZARDOUS LOCATION. EXEPTION 1. GLAZED OPENINGS OF SIZE THROUGH WHICH A 3-IN DIAMETER SPHERE IS UNABLE TO PASS. 2. DECORATING GLAZING
- 18. PER R308.4.5, GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUB, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUB, SHOWERS, AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING . EXCEPTION GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY AND IN STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, OR SWIMMING
- 19. REQUIRED SEPARATION BETWEEN THE DWELLING AND GARAGE PER CRC R302.6 AND GARAGE DOOR IN COMPLIANCE WITH CRC R302.5 (FOR WALLS, CEILING AND DOOR). NOTE - 5/8" DRYWALL IS REQUIRED ON GARAGE CEILING WHEN THERE IS HABITABLE SPACE ABOVE

BATHROOM NOTES:

- 1. THE MAX FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GPM AT 60 PSI. THE MIN. FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI.
- 2. ULTRA LOW FLUSH TOILET (1.28 GALLONS/FLUSH) AT ALL NEW BATHROOMS (CPC 2016 SECTION 411.2)
- 3. THE MAX. FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM AT 60 PSI.
- 4. FINISH BACKING MATERIAL AND WATERPROOFED MATERIAL AT SHOWER/BATHTUB WALL SHALL BE CEMENTITOUS MATERIAL OR GUPSUM BOARD APPROVED FOR THIS INSTALLATION. WATER RESISTANT GYPSUM BOARD UNDER GLUE-ON TILE IS NOT
- 5. SHOWER AND TUB/SHOWER COMBINATION IN ALL BUILDINGS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.
- 6. BATH TUB: MAXIMUM HOT WATER TEMP DISCHARGING FROM THE BATHTUB AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEG F.

A) THE SHOWER DOOR SIZE TO HAVE A NET OPENING OF AT LEAST 22-INCHES AND TO SWING OUT (R307). B) SHOWERS MUST HAVE WATERPROOF WALL FINISH UP AT LEAST 6' ABOVE THE FLOOR. [CRC 2016 SECTION R307.2] C) GLASS SHOWER AND TUB ENCLOSURE MUST BE SAFETY GLAZING.[CRC 2016 SECTION R308.4.5] D) SHOWERHEADS SHALL HAVE A MAX. FLOW RATE OF NOT MORE THAN 2.0 GPM AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.

VENTILATION NOTES:

- 1. -A MINIMUM OF 1" AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING WITH ADEQUATE CROSS VENTING FOR VAULTED CEILING.
- 2. THE ATTIC ACCESS SHALL BE A MINIMUM OF 22" X 30". A THIRTY-INCH MINIMUM CLEAR HEAD ROOM SHALL BE PROVIDED ABOVE THE

ATTIC ACCESS. ATTIC ACCESS SHALL BE LOCATED AT A READILY ACCESSIBLE LOCATION.

- 3. MECHANICAL VENTILATION IS NOT LESS THAN 6 AIR CHANGES PER HOUR TYPE. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING. THE EXHAUST VENT SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER TO COMPLY WITH ENERGY REGULATIONS.
- 4. PROVIDE OUTDOOR COMBUSTION AIR OPENINGS FOR THE MECHANICAL CLOSET WITH THE 2 PERMANENT OPENINGS METHOD PER CMC SECTION 701.4.1. ONE OPENING SHALL COMMENCE WITHIN12 INCHES OF THE TOP AND THE OTHER COMMENCING WITHIN 12 INCHES OF THE BOTTOM OF THE ENCLOSURE.

HIEN T. KIM NGUYEN Professional Eng. Corp. 15 Duberstein Drive San Ramon, CA 94583 408-893-6906 ssdesigneng@gmail.com

ADDITION & REMODELING 1106 GARDNER BLVD, SAN LEANDRO, CA 94577

PLN21-003 - 1102 Gardner

Exhibit E - Proposed Floor **Plans**

REVISIONS

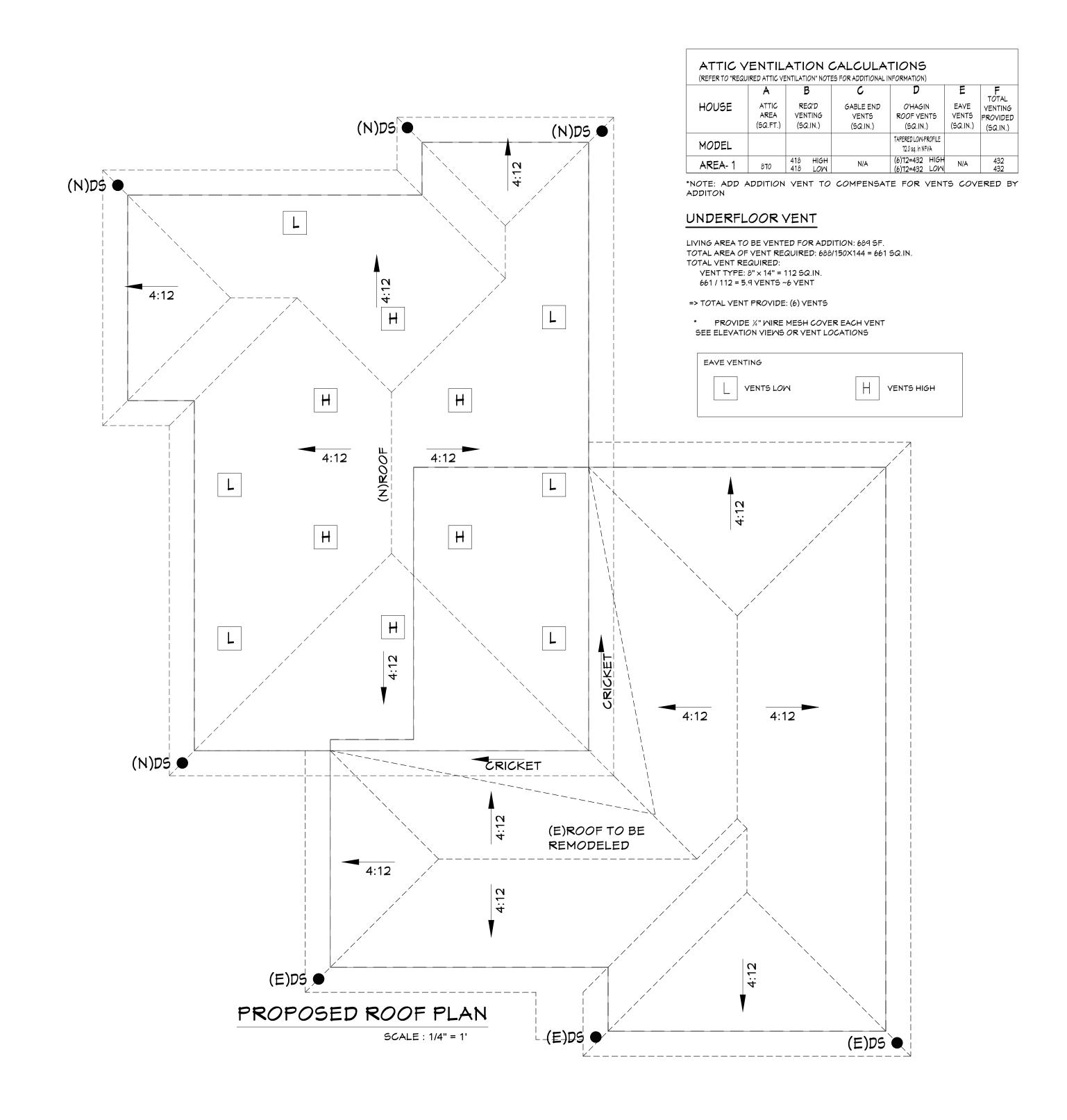
03/05/2021

PROGRESS SET

08-18-2021

PROPOSED FLOOR PLAN

1ST BUILDING			
SUBMITTAL		SHEET	
JOB NO.	2021.08		
DRAWN	MK		A2-2
CHECK	HN		/ \ Z Z





ADDITION & REMODELING 1106 GARDNER BLVD, SAN LEANDRO, CA 94577

PLN21-003 - 1102 Gardner

Exhibit F - Proposed Roof Plan

REVISIONS

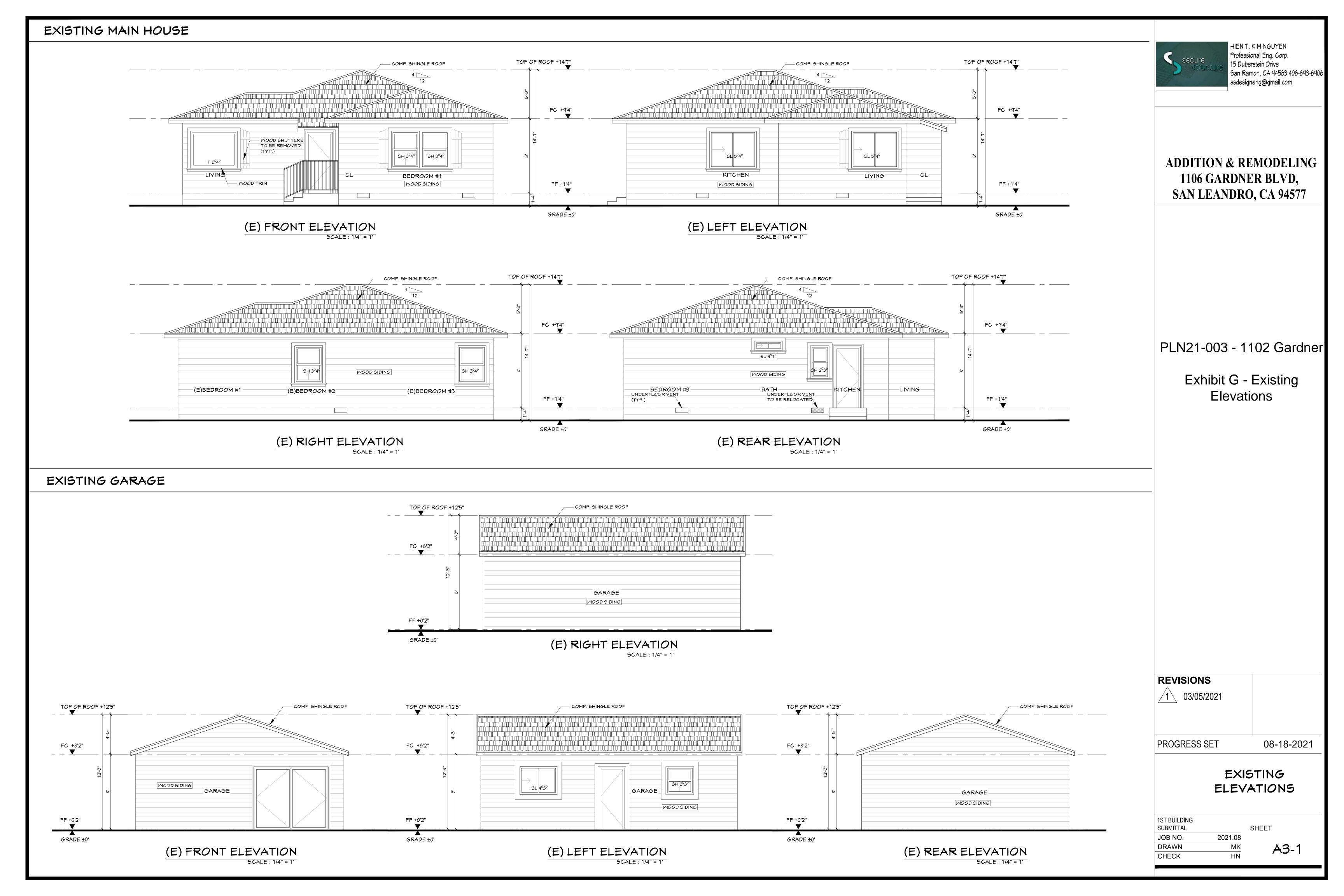
/1 03/05/2021

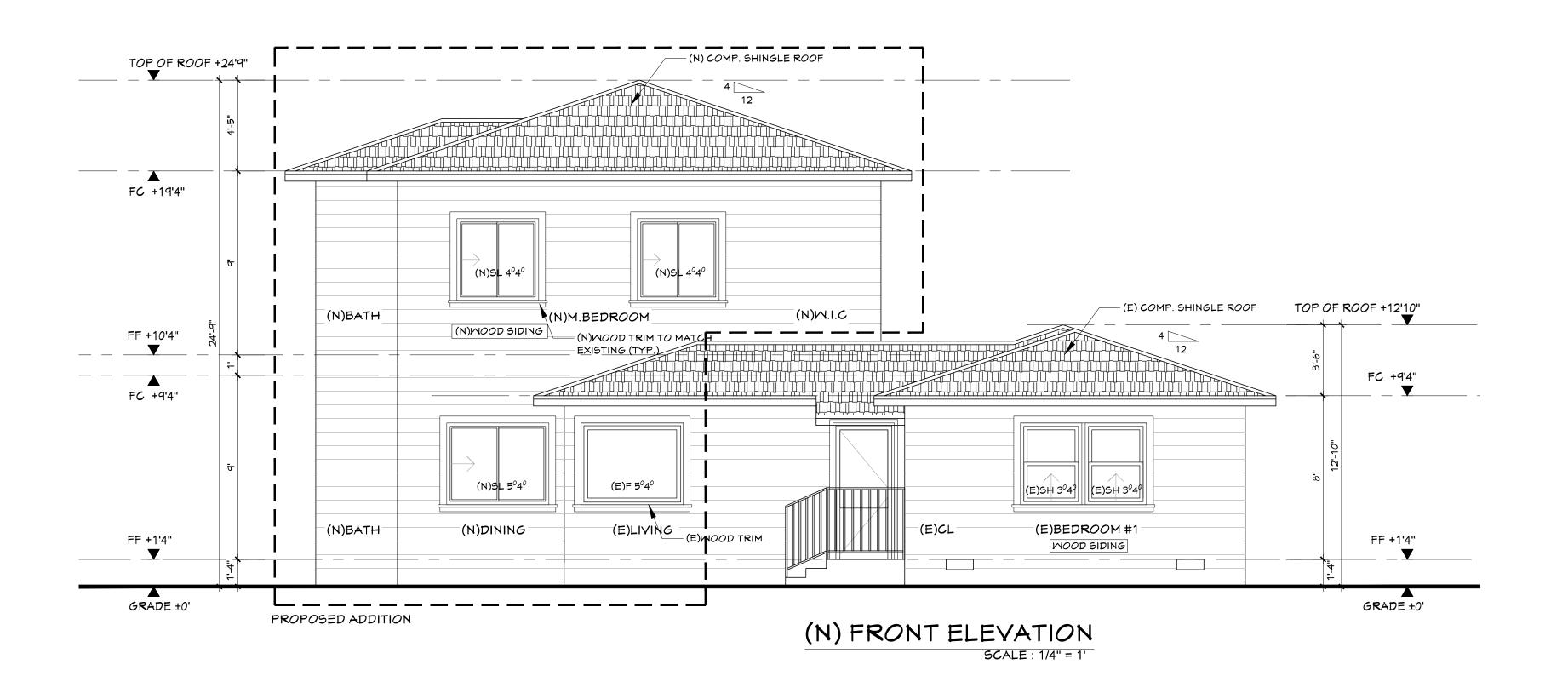
PROGRESS SET

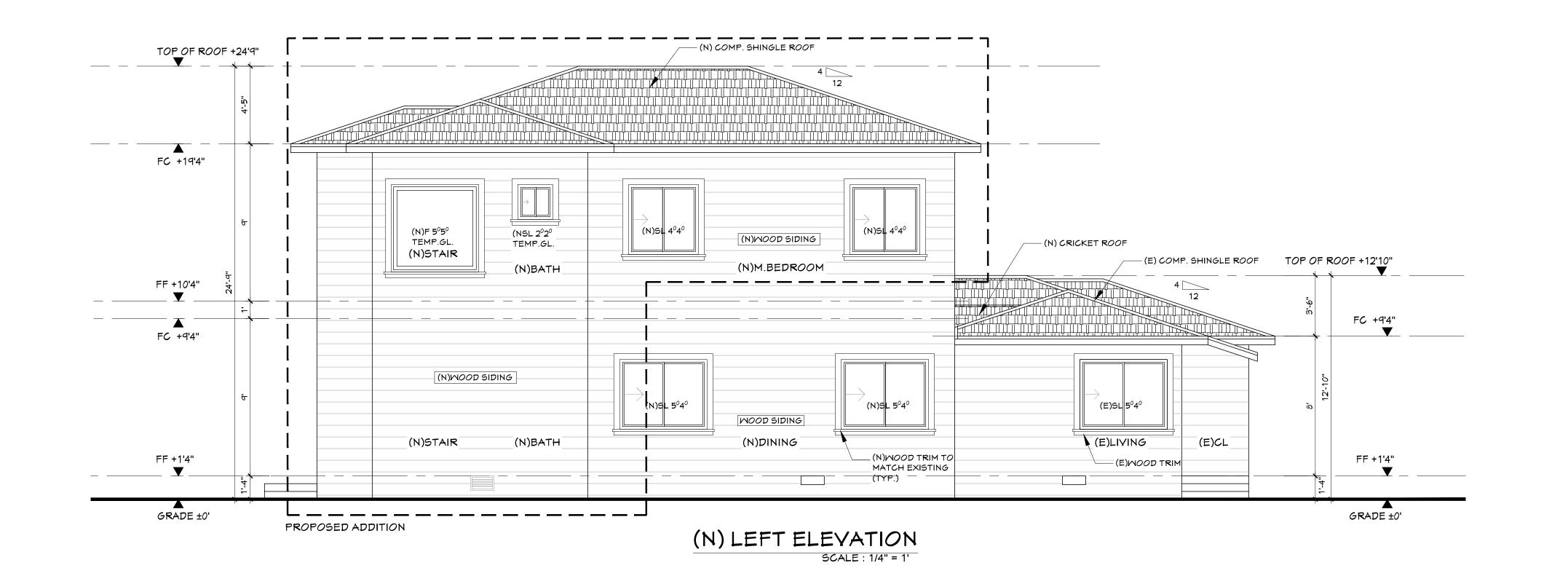
08-18-2021

PROPOSED ROOF PLAN

1ST BUILDING SUBMITTAL		SHEET	
JOB NO.	2021.08		
DRAWN	MK		A2-
CHECK	HN		/ _









ADDITION & REMODELING 1106 GARDNER BLVD, SAN LEANDRO, CA 94577

PLN21-003 - 1102 Gardner

Exhibit H - Proposed Elevations

REVISIONS

1 03/05/2021

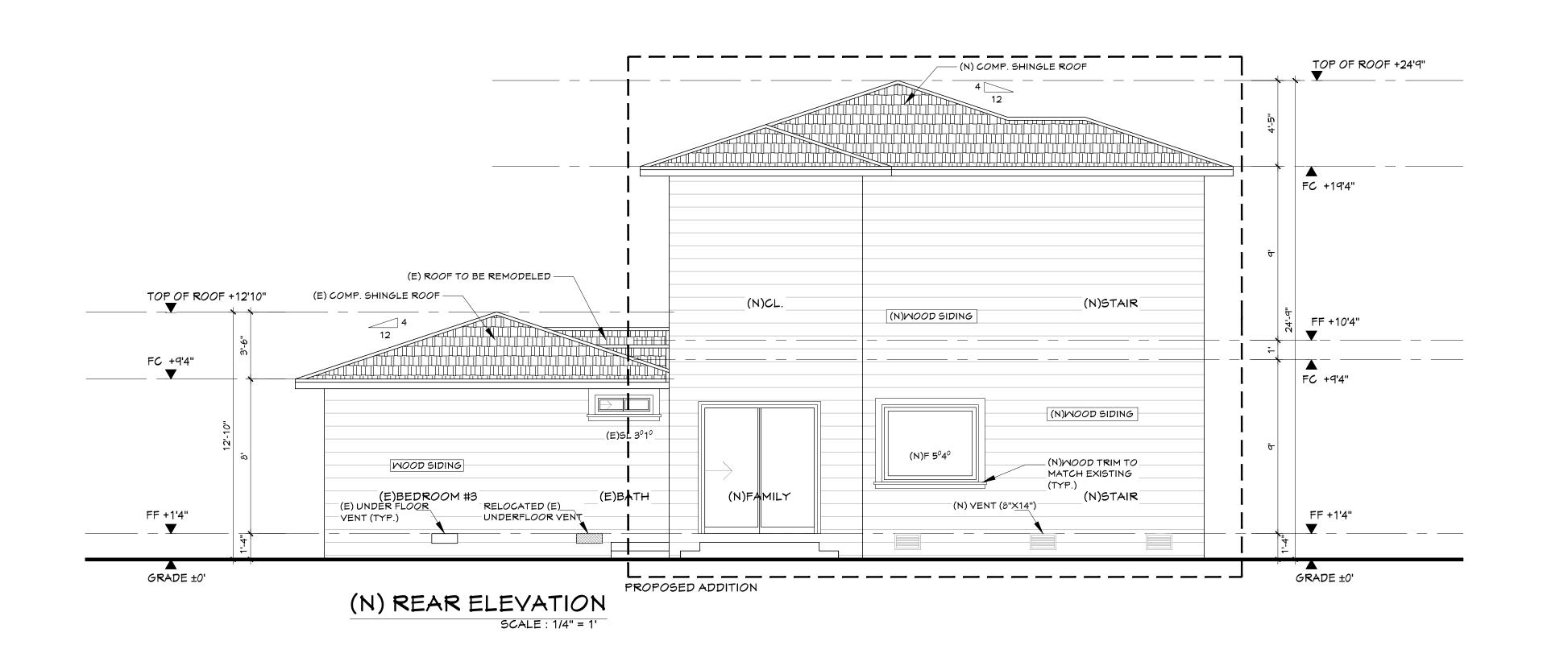
PROGRESS SET

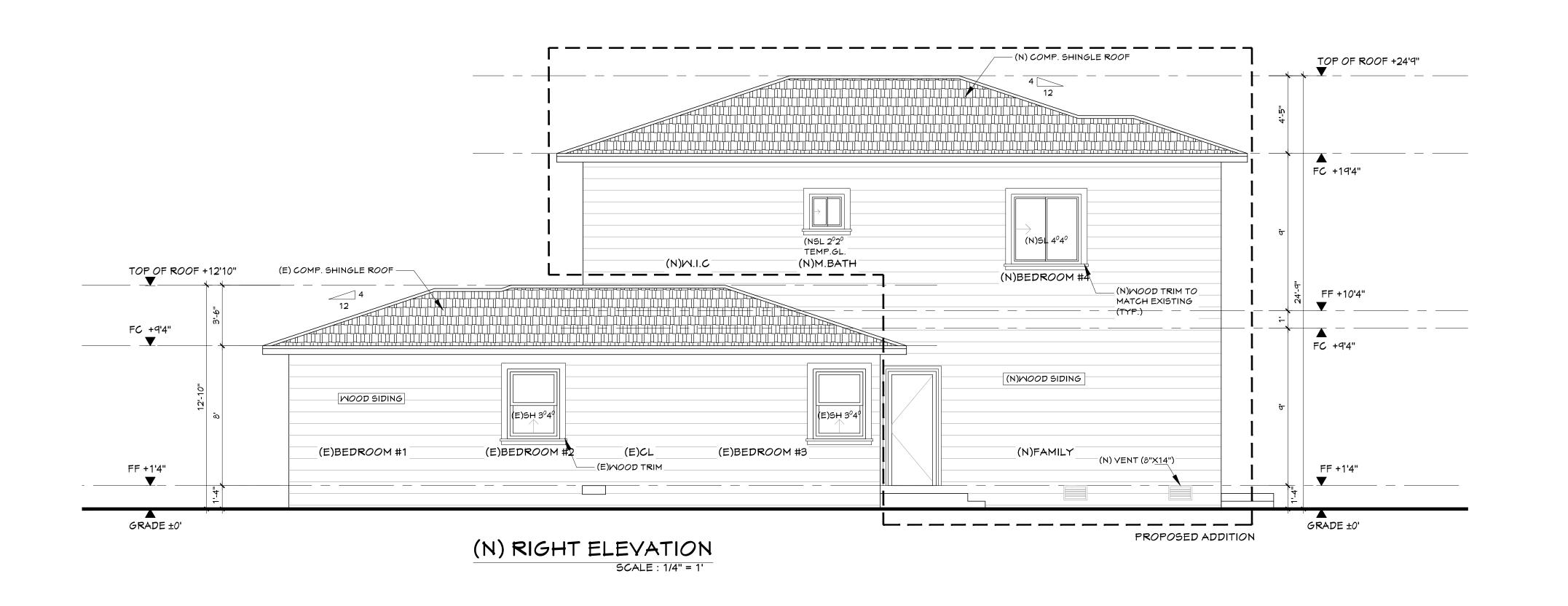
PROPOSED

08-18-2021

ELEVATIONS

1ST BUILDING SUBMITTAL		SHEET
JOB NO.	2021.08	
DRAWN	MK	A3-2
CHECK	HN	/\5-2







ADDITION & REMODELING 1106 GARDNER BLVD, SAN LEANDRO, CA 94577

PLN21-003 - 1102 Gardner

Exhibit I - Proposed Elevations

REVISIONS

1 03/05/2021

PROGRESS SET

08-18-2021

PROPOSED ELEVATIONS

1ST BUILDING SUBMITTAL		SHEET
JOB NO.	2021.08	
DRAWN	MK	A3
CHECK	HN	