





ADDITION & REMODELING  
1106 GARDNER BLVD,  
SAN LEANDRO, CA 94577

PLN21-003 - 1102 Gardner

Exhibit B - Existing Plot Plan

REVISIONS

1 03/05/2021

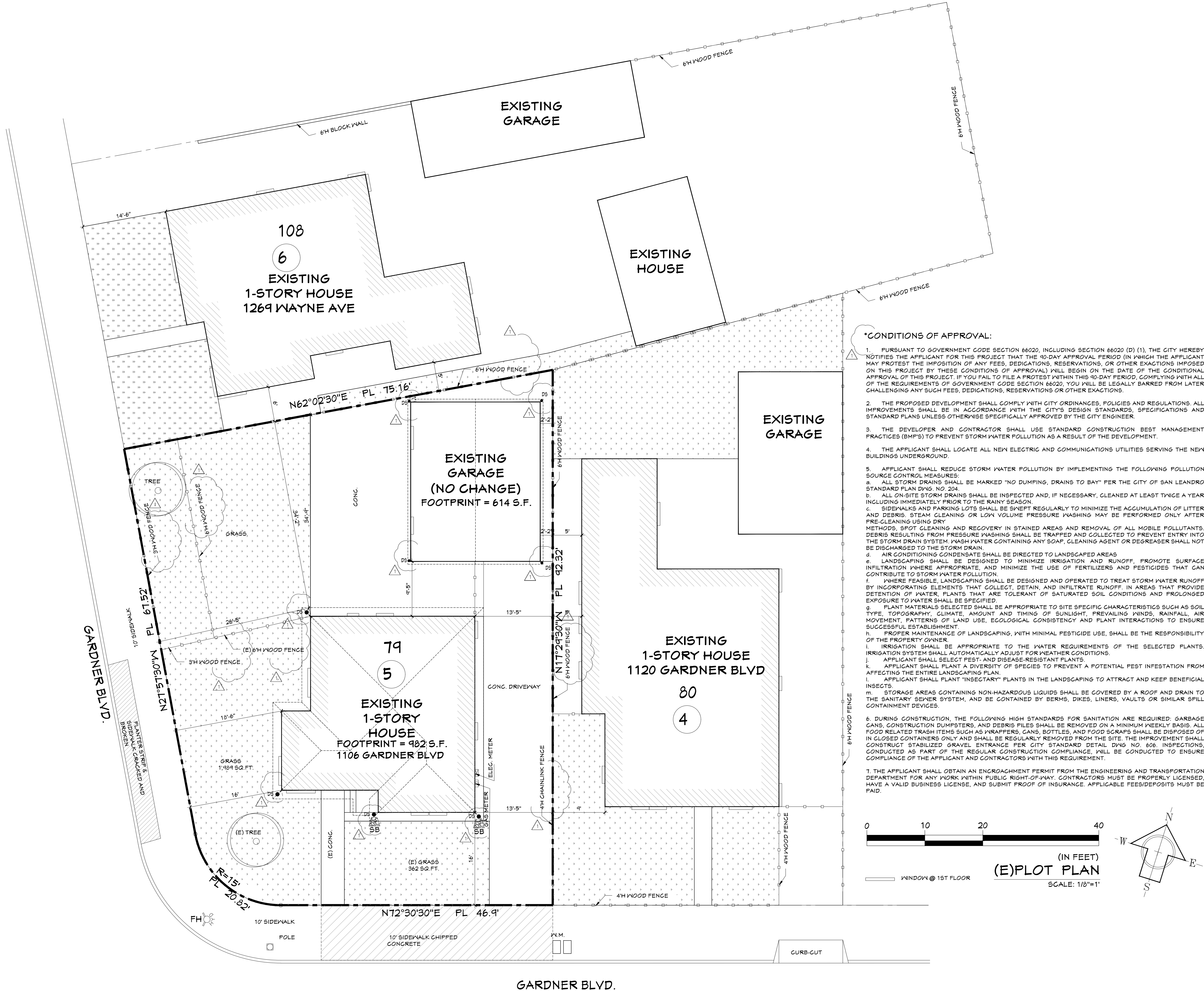
PROGRESS SET

08-18-2021

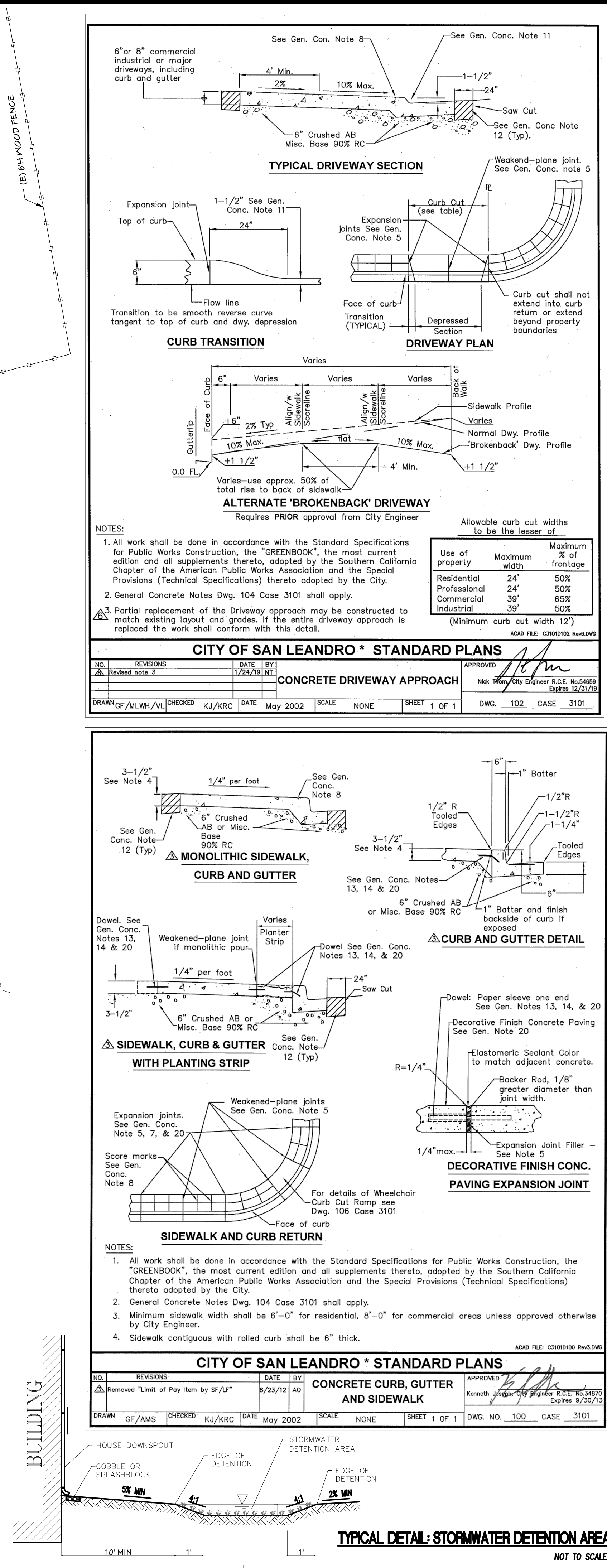
(E)PLOT PLAN



1ST BUILDING  
SUBMITTAL SHEET  
JOB NO. 2021.08  
DRAWN MK  
CHECK HN

A1-1







		<b>HIEN T. KIM NGUYEN</b> Professional Eng. Corp. 15 Duberstein Drive San Ramon, CA 94583 408-893-6406 ssdesigneng@gmail.com	
<hr/>			
<p><b>ADDITION &amp; REMODELING</b> <b>1106 GARDNER BLVD,</b> <b>SAN LEANDRO, CA 94577</b></p> <hr/>			
<p><b>PLN21-003 - 1102 Gardner</b></p> <p><b>Exhibit C - Proposed Plot</b> <b>Plan</b></p>			
<hr/>			
<b>REVISIONS</b>			
<div> 1</div> 03/05/2021			
<hr/>			
PROGRESS SET		08-18-2021	
<hr/>			
<p><b>(N)PLOT PLAN</b></p>			
<hr/>			
1ST BUILDING SUBMITTAL		SHEET	
JOB NO. 2021.08			
DRAWN MK			
CHECK HN			
		<b>A1-2</b>	



ADDITION & REMODELING  
1106 GARDNER BLVD,  
SAN LEANDRO, CA 94577

PLN21-003 - 1102 Gardner

Exhibit D - Existing Floor  
Plans & Roof Plan

REVISIONS

1 03/05/2021

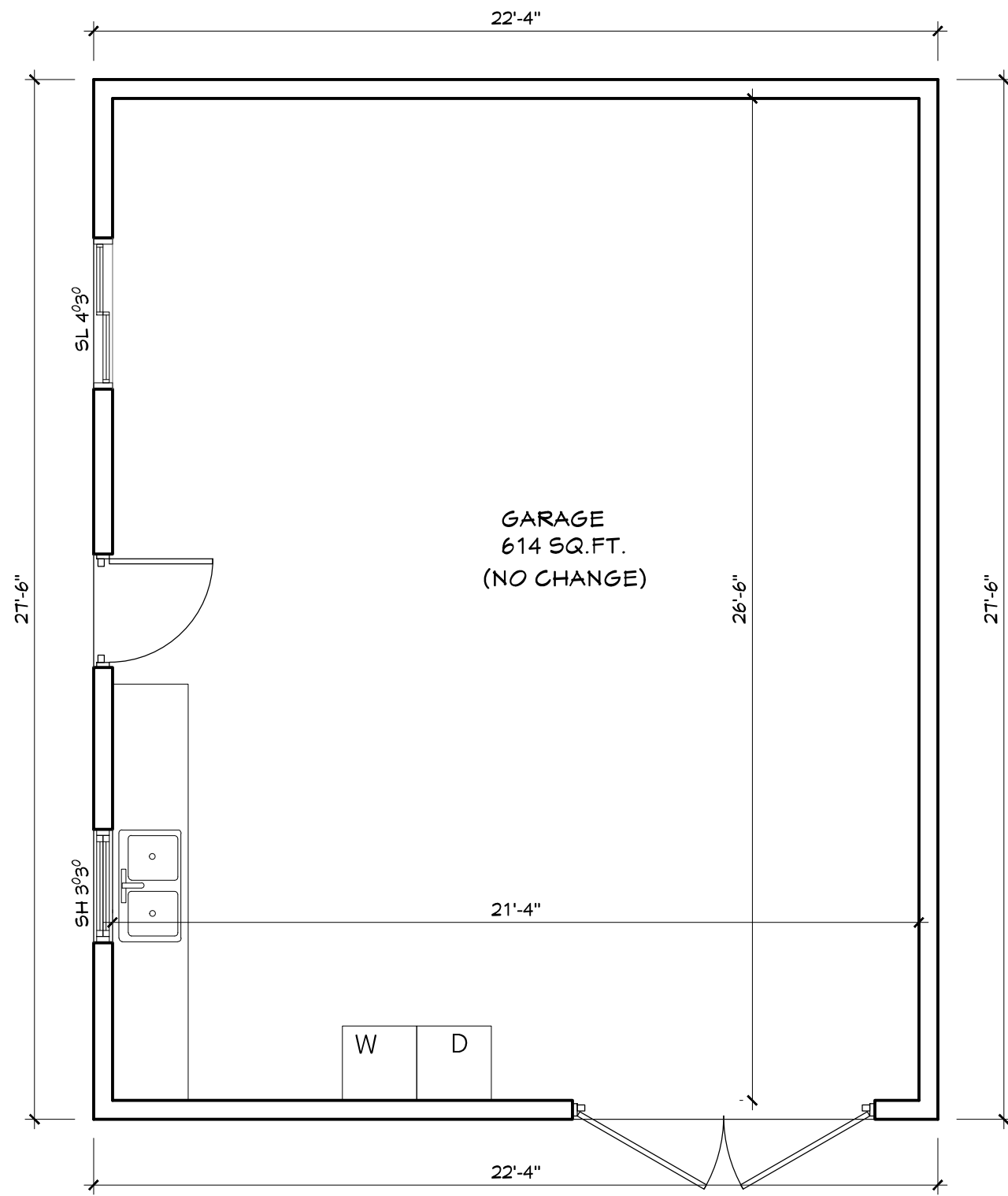
PROGRESS SET

08-18-2021

EXISTING  
FLOOR PLAN

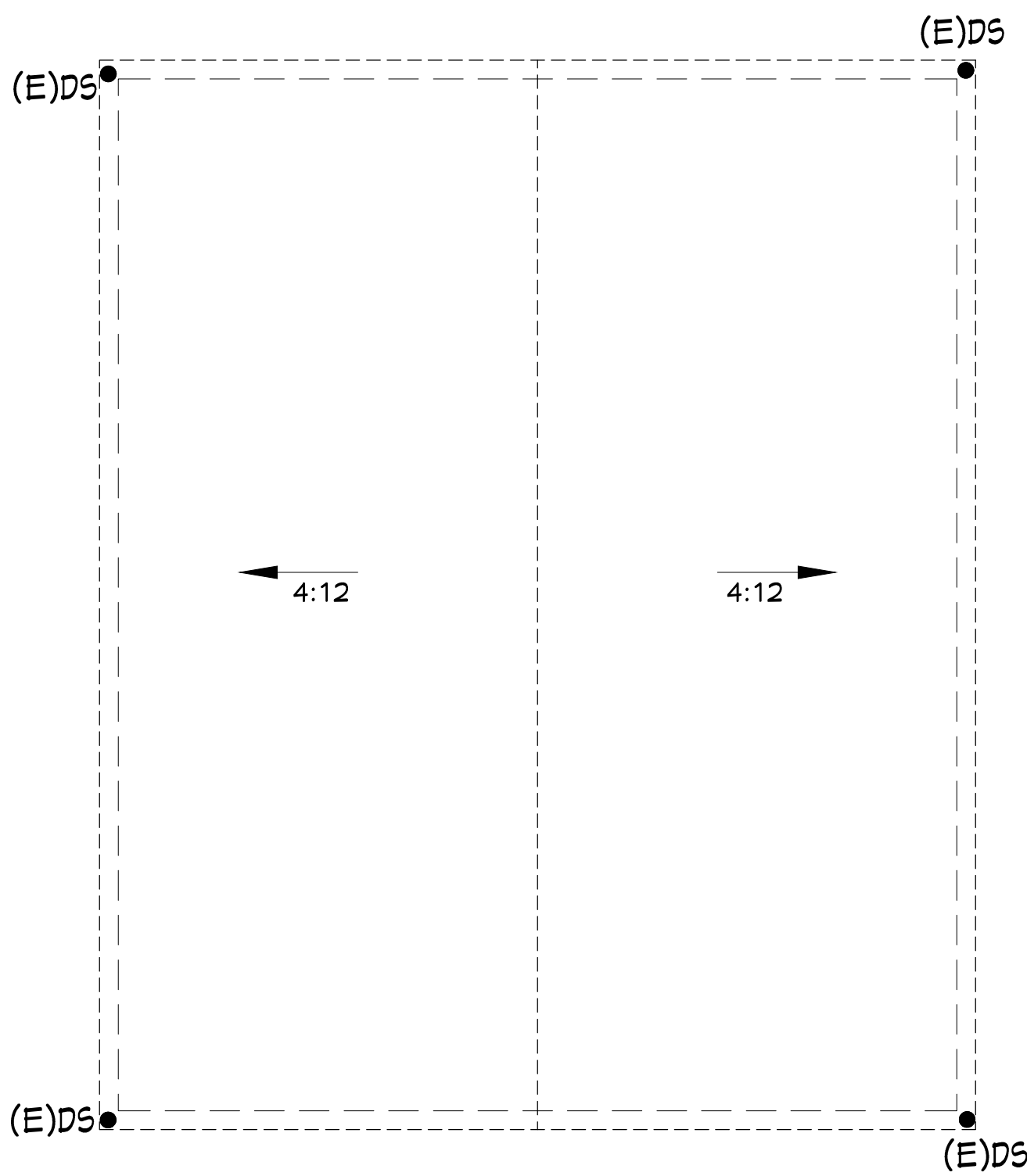
1ST BUILDING SUBMITTAL		SHEET
JOB NO.	2021.08	
DRAWN	MK	
CHECK	HN	

A2-1



EXISTING GARAGE PLAN-NO CHANGE

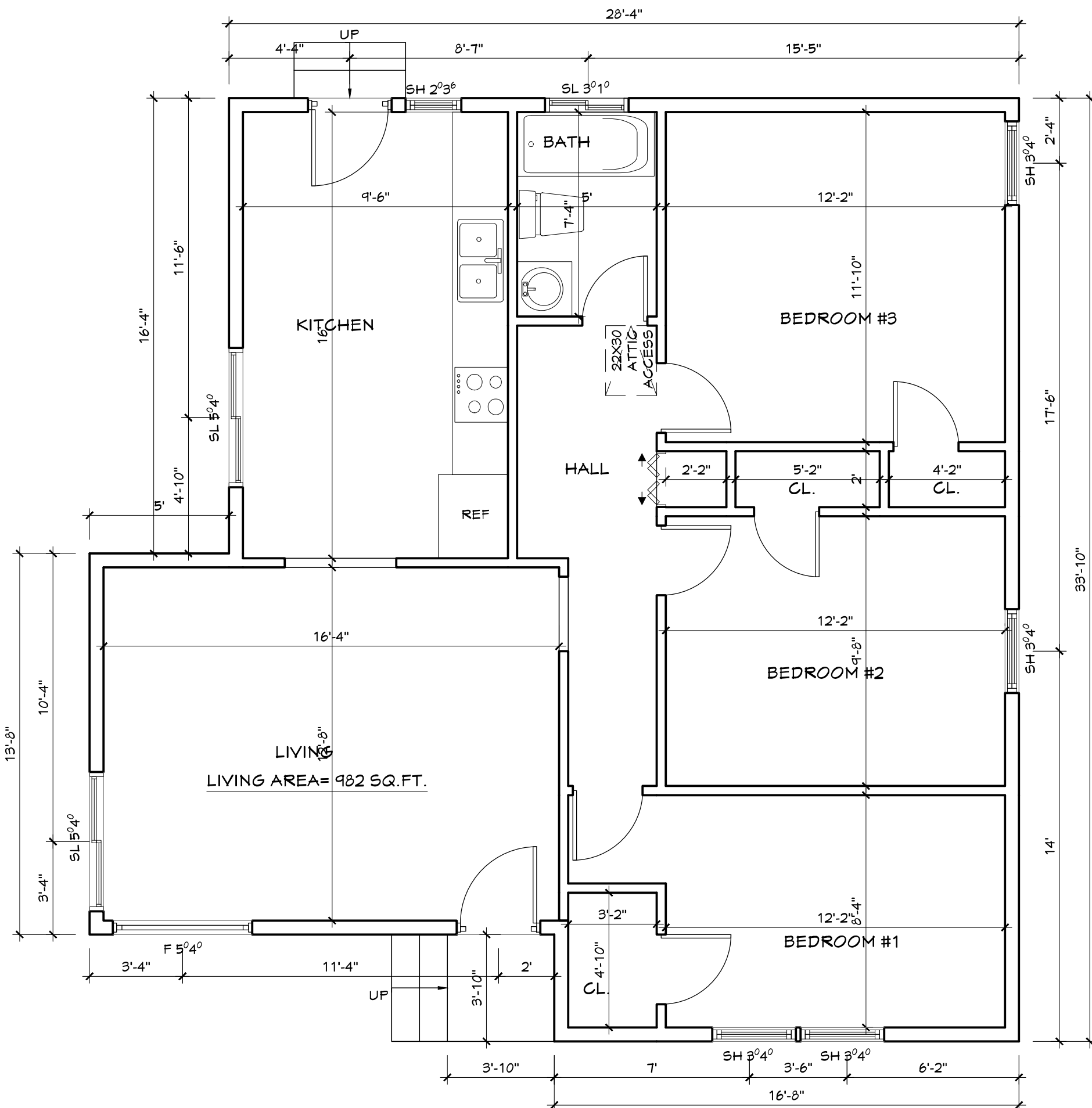
SCALE : 1/4" = 1'



EXISTING GARAGE ROOF PLAN

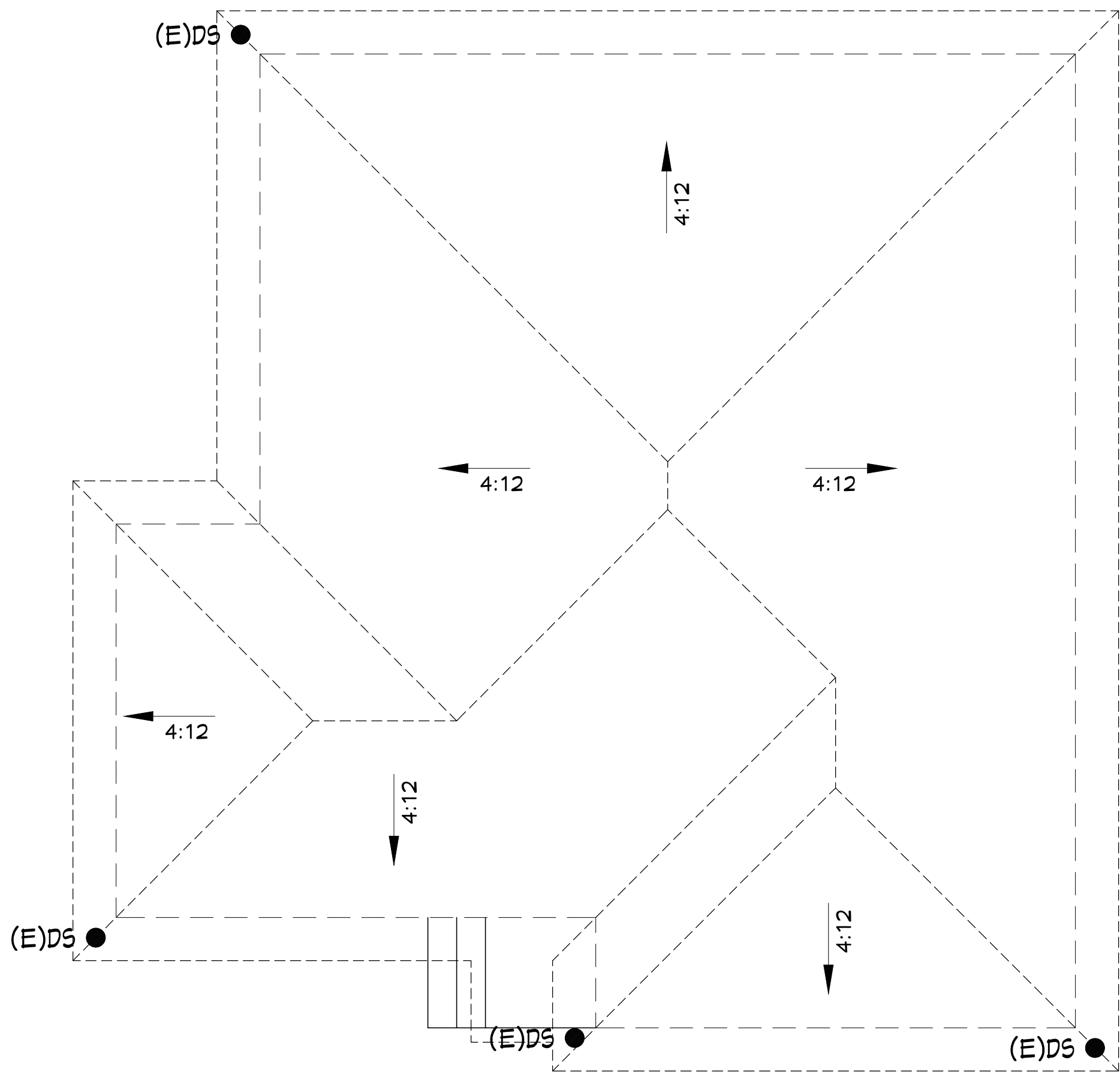
-NO CHANGE

SCALE : 1/4" = 1'



EXISTING 1ST FLOOR PLAN

SCALE : 1/4" = 1'



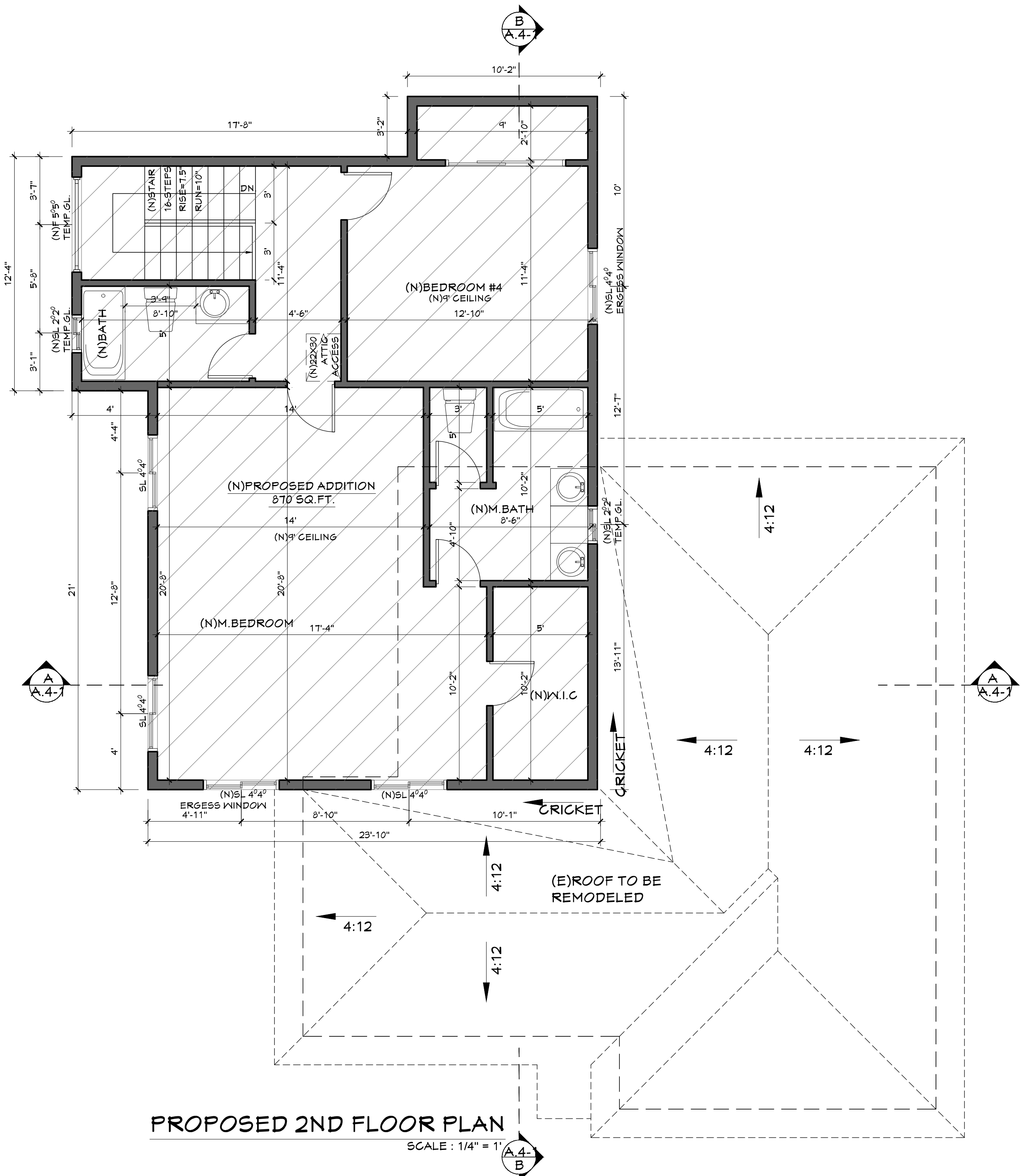
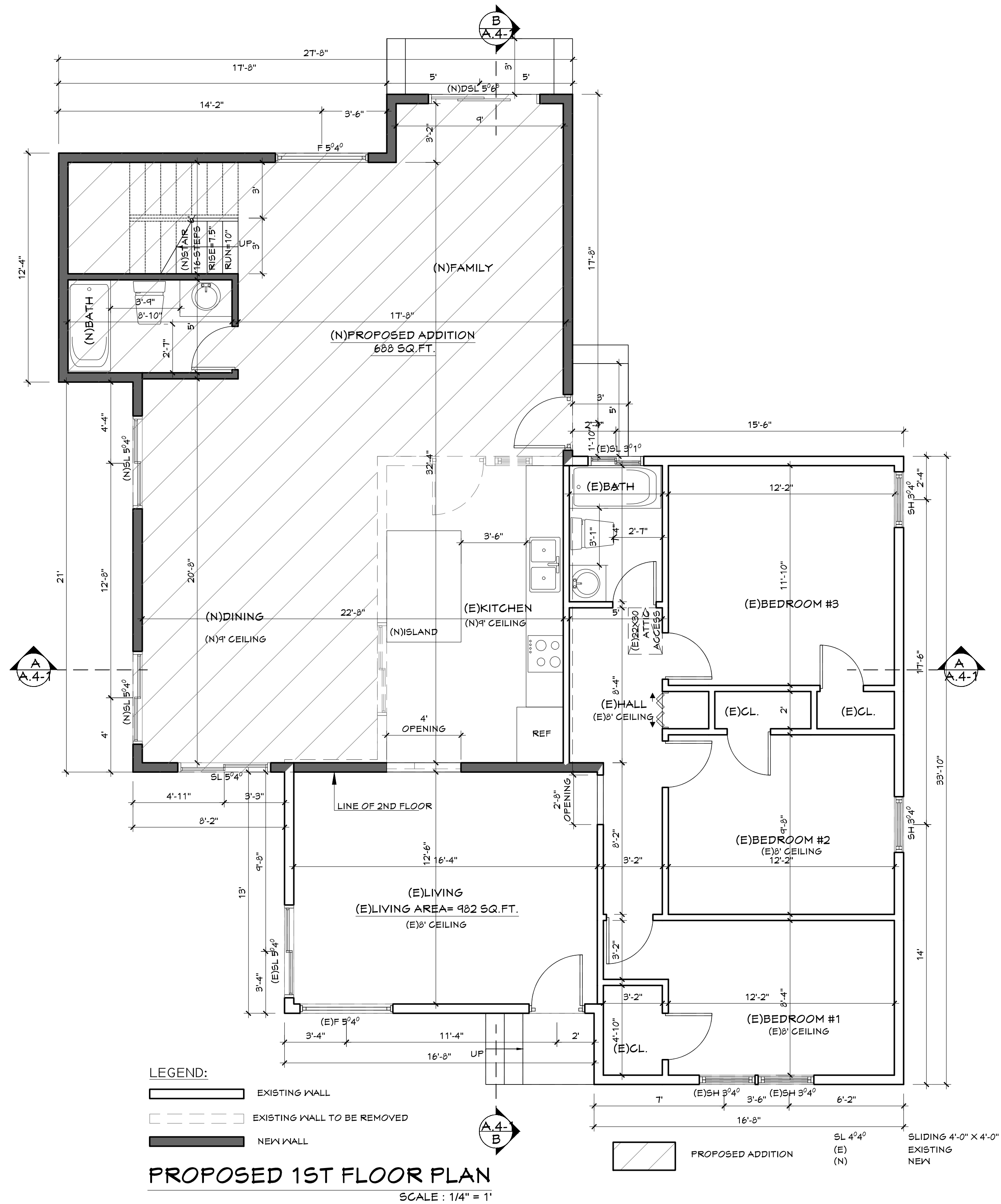
EXISTING ROOF PLAN

SCALE : 1/4" = 1'

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PLN21-003 - 1102 Gardner

Exhibit E - Proposed Floor  
Plans



REVISIONS

1 03/05/2021

PROGRESS SET

08-18-2021

PROPOSED  
FLOOR PLAN

1ST BUILDING  
SUBMITTAL SHEET  
JOB NO. 2021.08  
DRAWN MK  
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A2-2



ADDITION & REMODELING

1106 GARDNER BLVD,

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PLN21-003 - 1102 Gardner

Exhibit F - Proposed Roof  
Plan

REVISIONS

1 03/05/2021

PROGRESS SET

08-18-2021

PROPOSED  
ROOF PLAN

1ST BUILDING  
SUBMITTAL

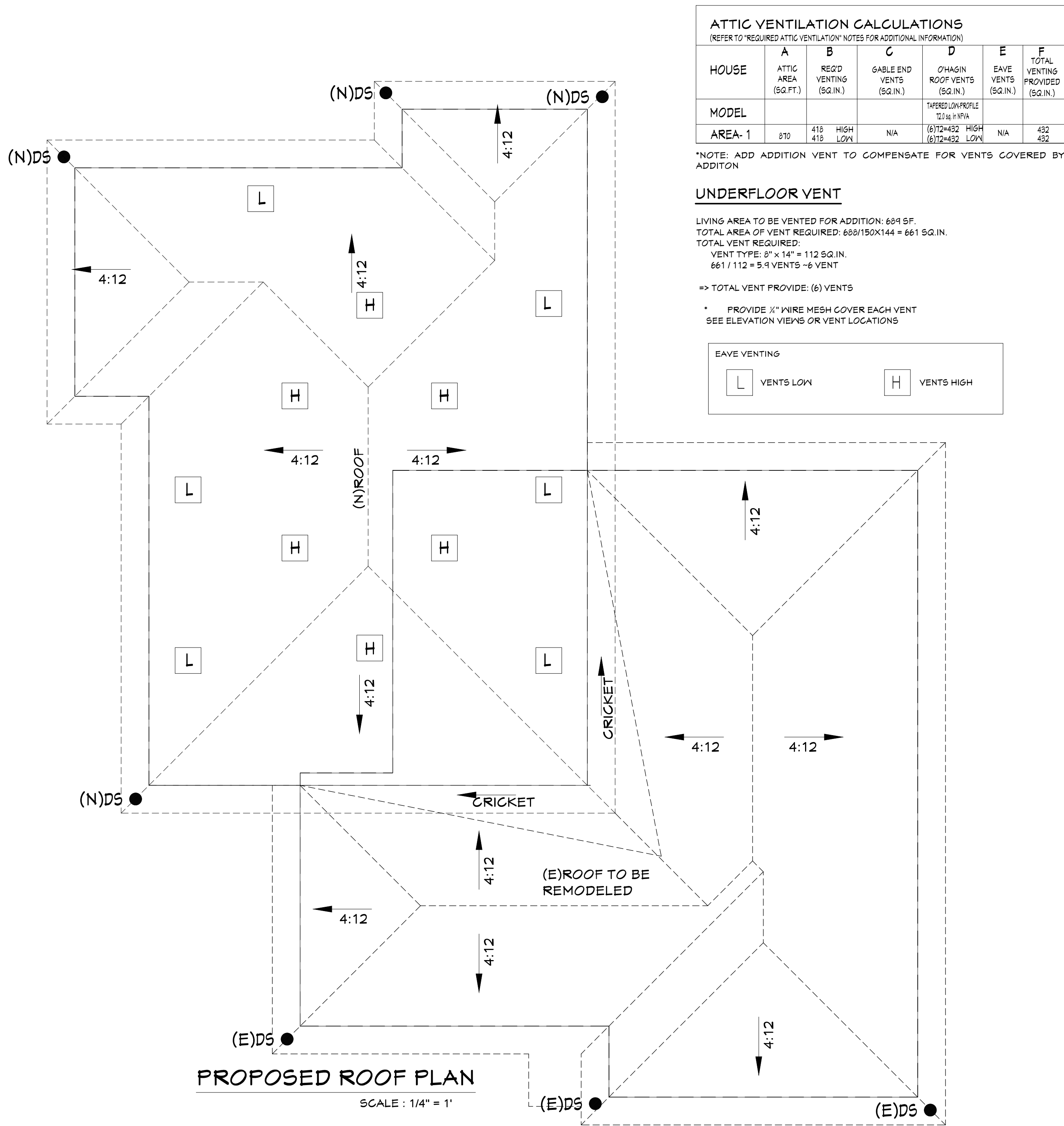
JOB NO.2021.08

DRAWN MK

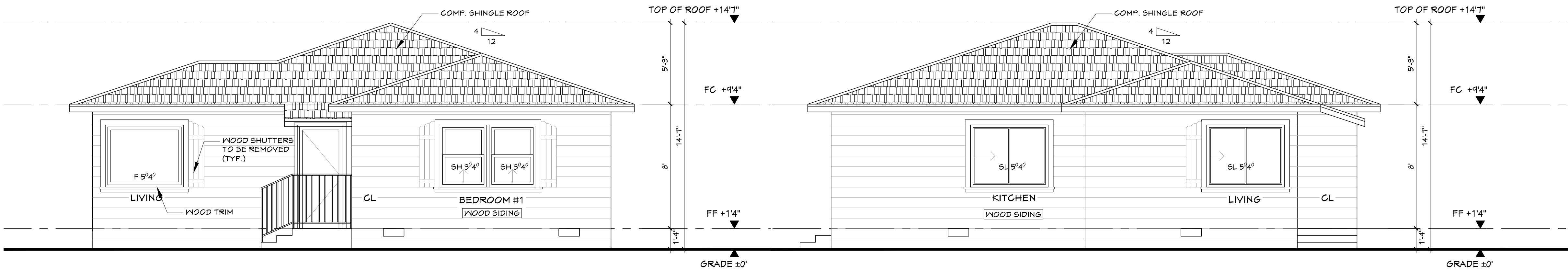
CHECK HN

SHEET

A2-3

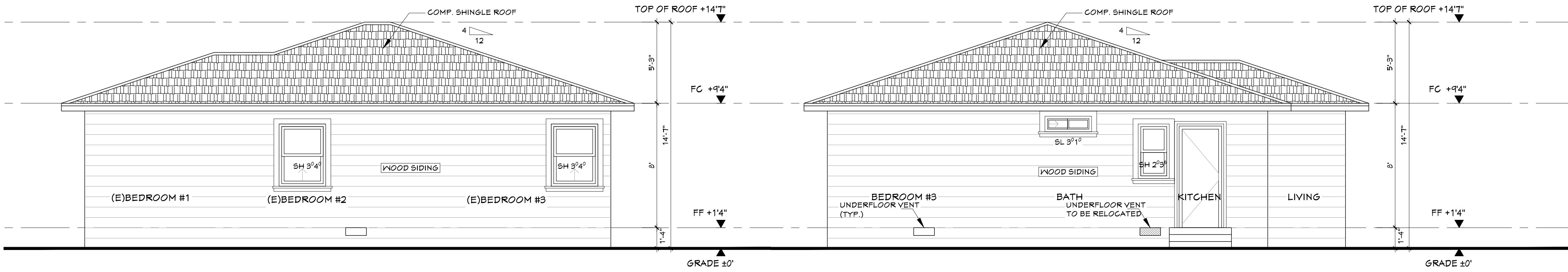


EXISTING MAIN HOUSE



(E) FRONT ELEVATION  
SCALE : 1/4" = 1'

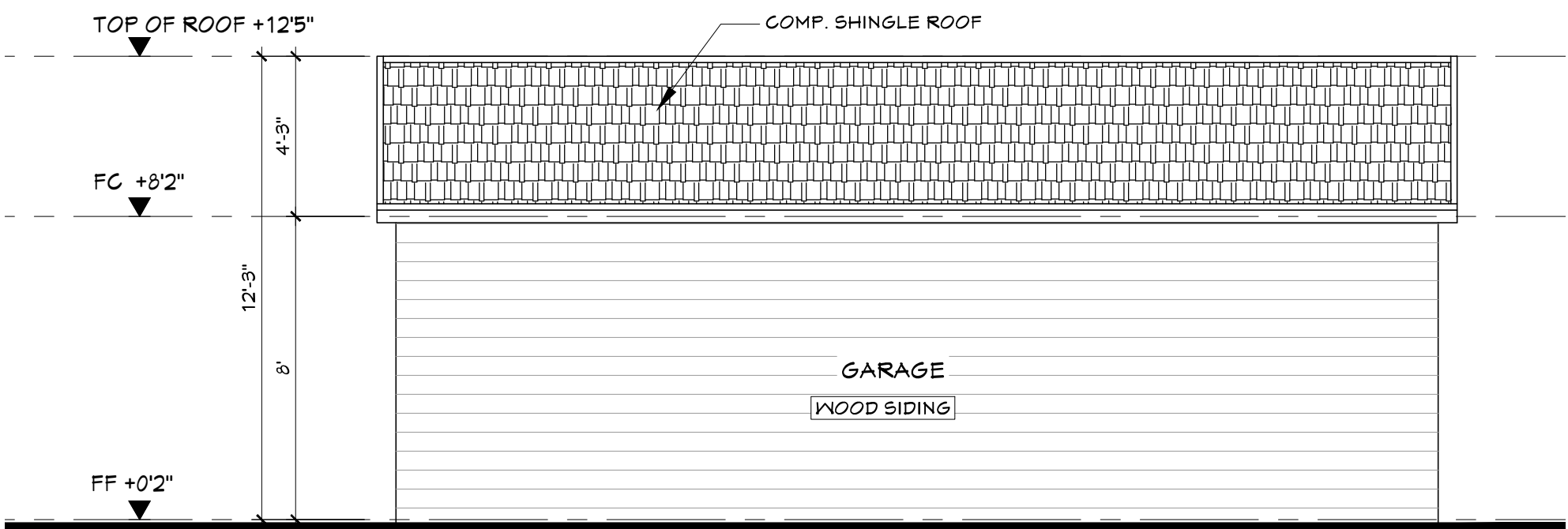
(E) LEFT ELEVATION  
SCALE : 1/4" = 1'



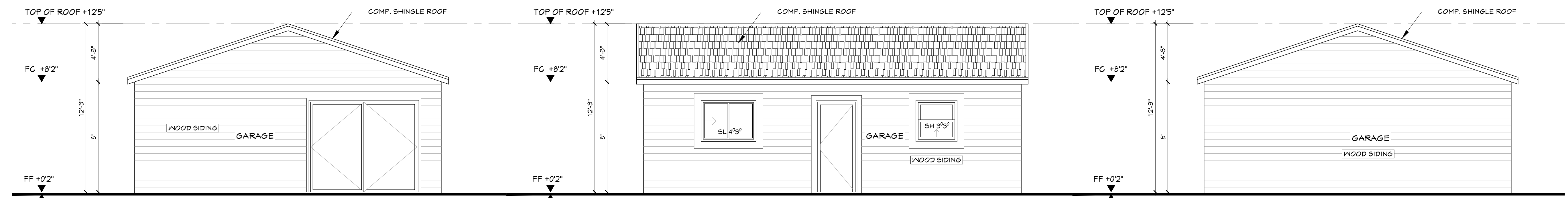
(E) RIGHT ELEVATION  
SCALE : 1/4" = 1'

(E) REAR ELEVATION  
SCALE : 1/4" = 1'

EXISTING GARAGE



(E) RIGHT ELEVATION  
SCALE : 1/4" = 1'



(E) FRONT ELEVATION  
SCALE : 1/4" = 1'

(E) LEFT ELEVATION  
SCALE : 1/4" = 1'

(E) REAR ELEVATION  
SCALE : 1/4" = 1'

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Exhibit G - Existing  
Elevations

REVISIONS

1 03/05/2021

PROGRESS SET

08-18-2021

EXISTING  
ELEVATIONS

1ST BUILDING  
SUBMITTAL  
JOB NO. 2021.08  
DRAWN MK  
CHECK HN

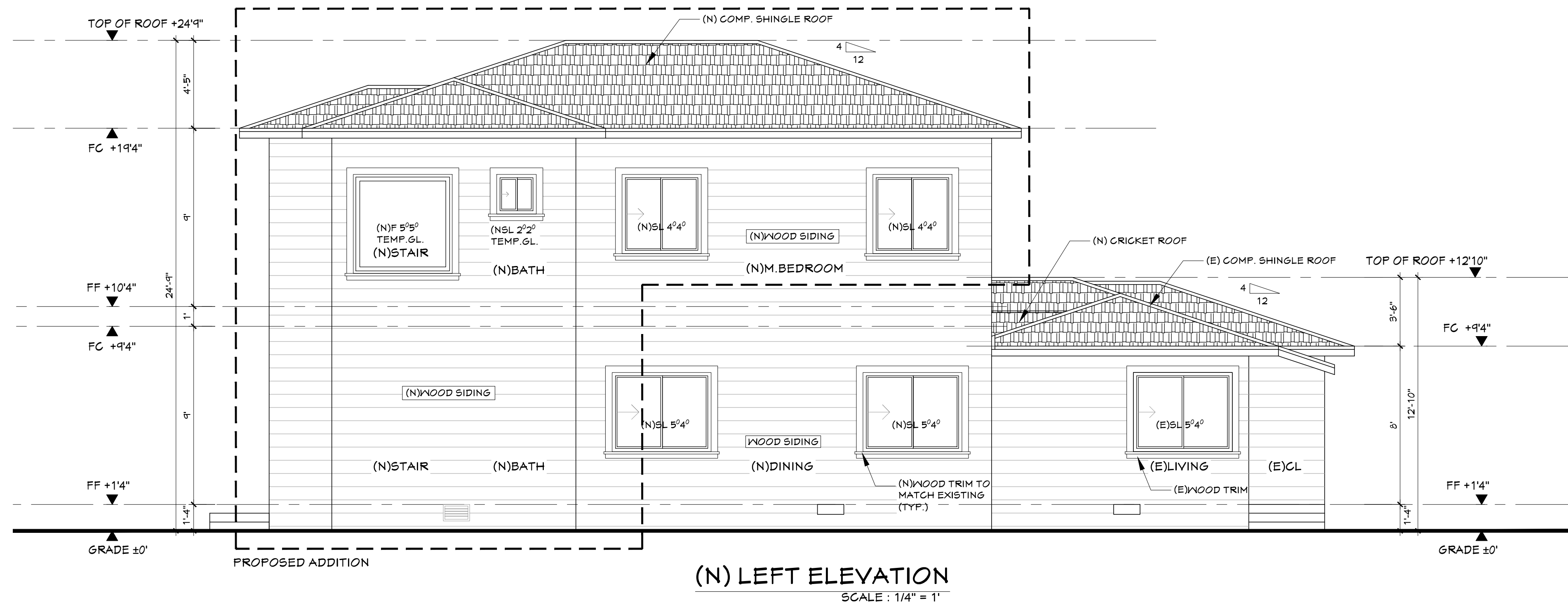
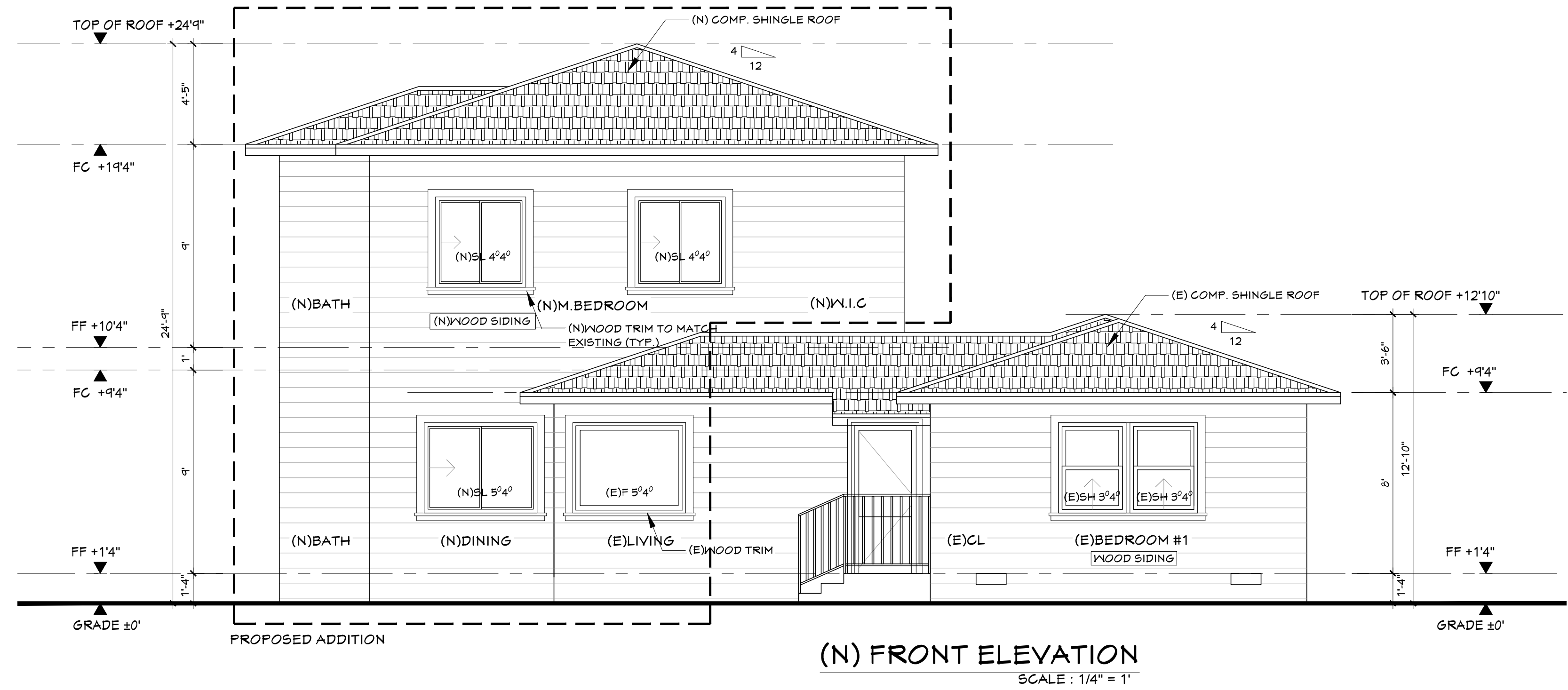
SHEET

A3-1

ADDITION & REMODELING  
1106 GARDNER BLVD,  
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PLN21-003 - 1102 Gardner

Exhibit H - Proposed  
Elevations



REVISIONS

1 03/05/2021

PROGRESS SET

08-18-2021

PROPOSED  
ELEVATIONS

1ST BUILDING  
SUBMITTAL  
JOB NO. 2021.08  
DRAWN MK  
CHECK HN

SHEET

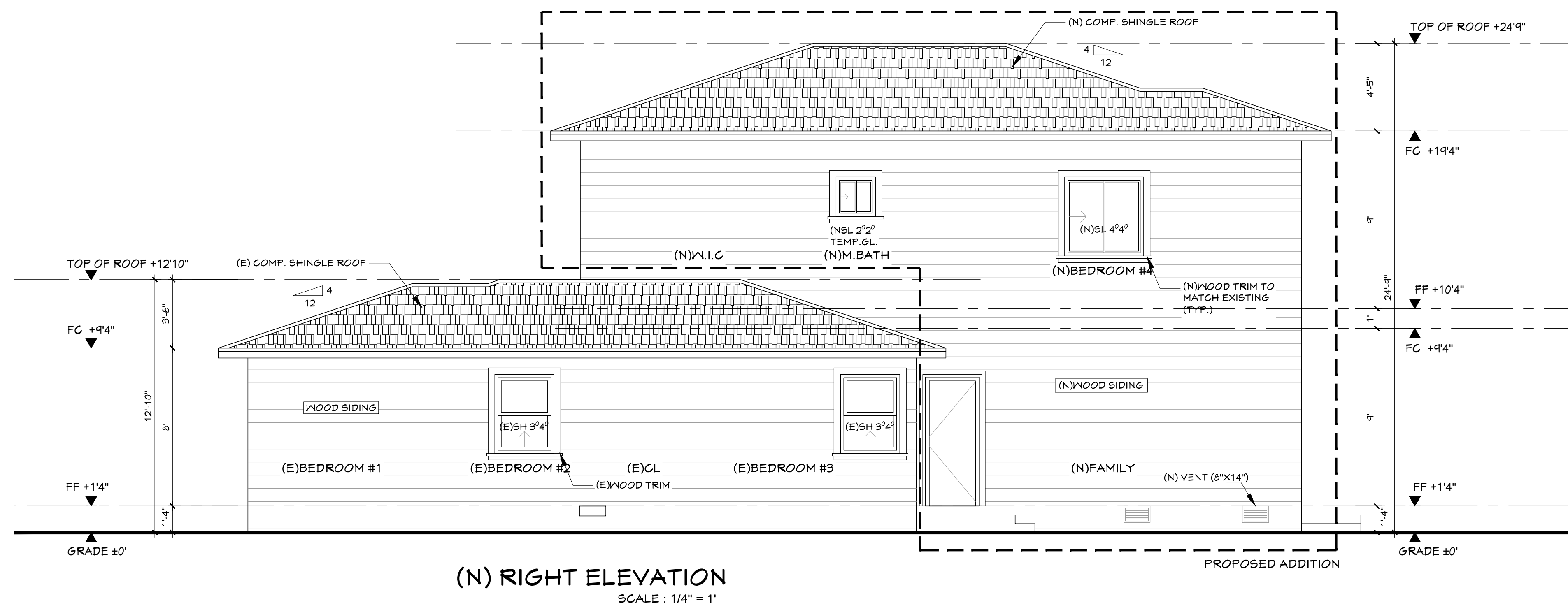
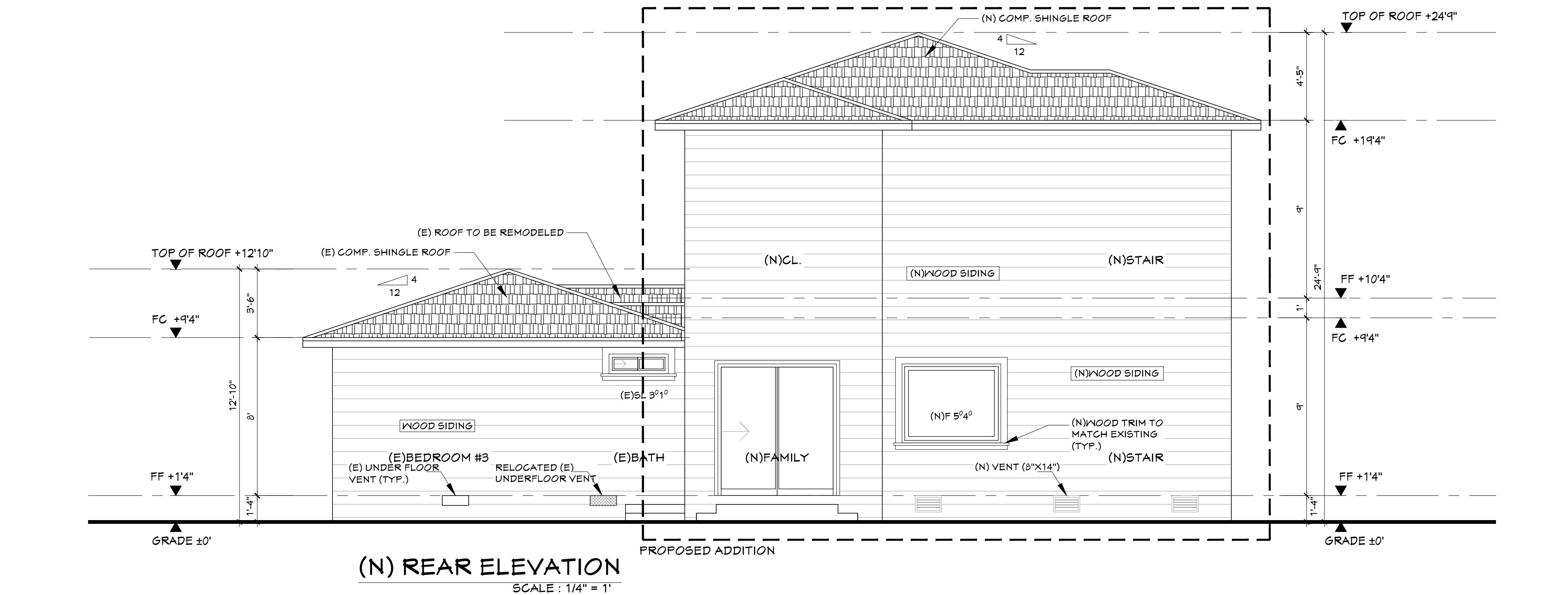
A3-2



ADDITION & REMODELING  
1106 GARDNER BLVD,  
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Exhibit I - Proposed  
Elevations



REVISIONS

1 03/05/2021

PROGRESS SET

08-18-2021

PROPOSED  
ELEVATIONS

1ST BUILDING  
SUBMITTAL  
JOB NO. 2021.08  
DRAWN MK  
CHECK HN

SHEET  
A3-3