

# MONARCH BAY HOTEL / RESTAURANT / MARKET

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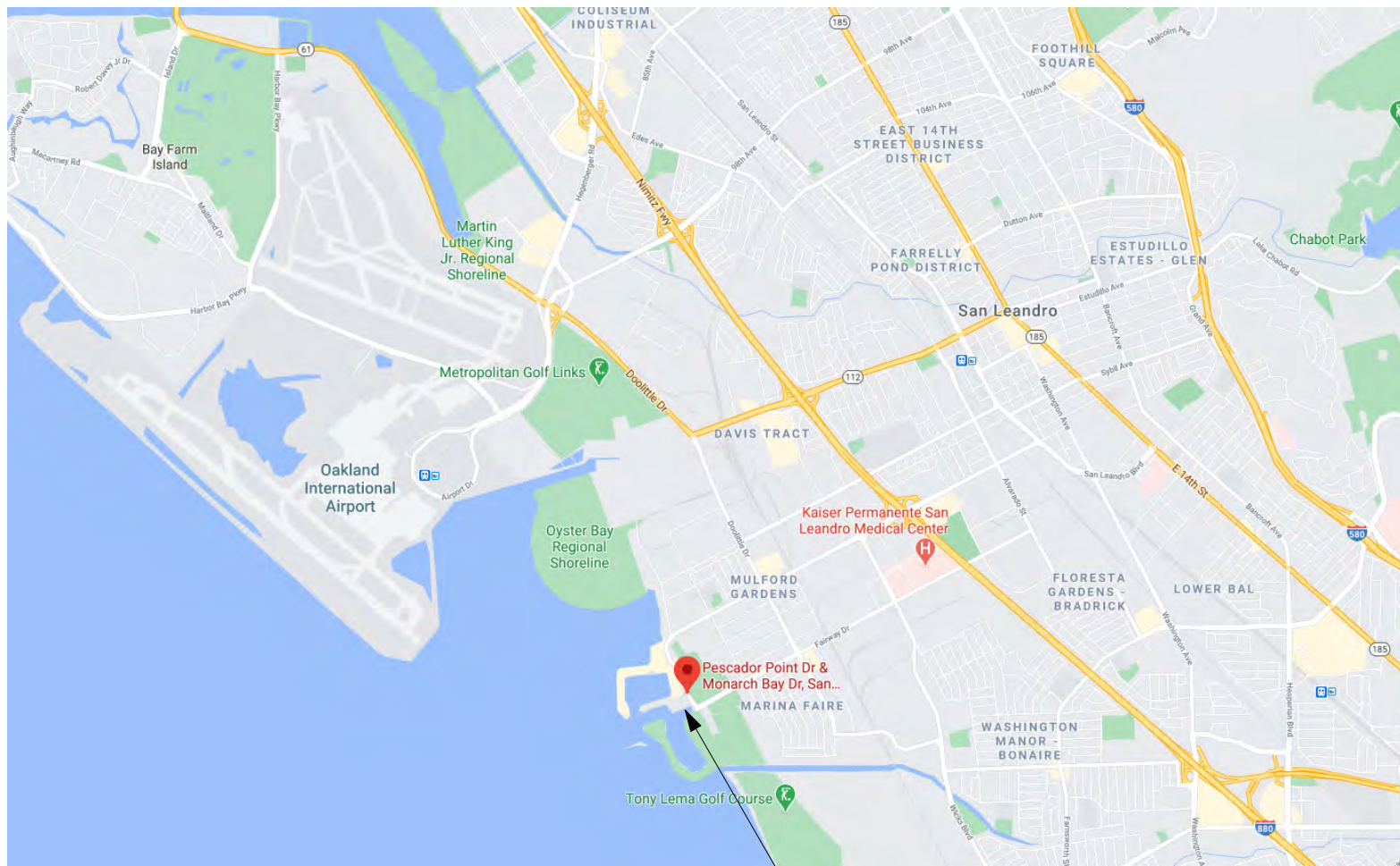




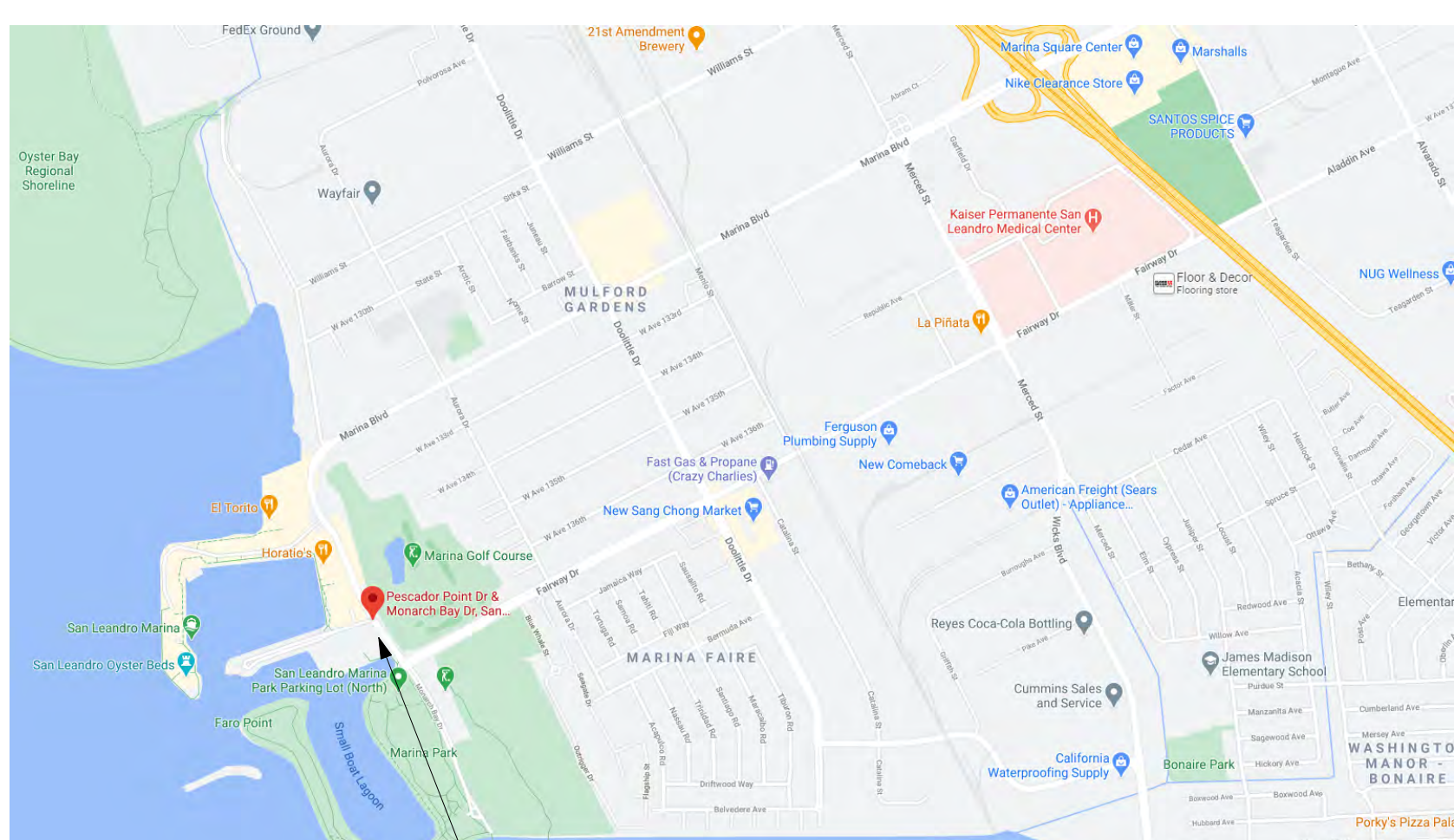
ABV	Above	GSM	Galvanized Sheet Metal	RFL	Reflected
AFF	Above Finished Floor	GCMU	Glazed Conc Masonry Units	REFR	Refrigerator
AP	Access Panel	GRD	Grading	REG	Register
ACC	Acoustical	GRN	Granite	RE	Reinforce (d), (ing)
ADD	Addendum	GVL	Gravel	REM	Remove
ADH	Adhesive	GT	Grout	RES	Resilient
ADJ	Adjacent	GWB	Gypsum Wall Board	RET	Return
ADJT	Adjustable	GYP	Gypsum	RA	Return Air
A/C	Air Conditioning			Revision (s), Revised	
ALT	Alternate	HOW	Hardware	REV	Riser
AL	Aluminum	HMTL	Hollow Metal	RD	Roof Drain
AS	Anchor Bolt	HWD	Hardwood	RFH	Roof Hatch
ANOD	Anodized	HDR	Header	RFG	Roofing
APX	Approximate	HTG	Heating	RM	Room
ARCH	Architect (ural)	HVAC	Heating/Ventilation/	RO	Rough Opening
AD	Area Drain			RB	Rubber Base
		Air Conditioning		RBT	Rubber Tile
		HT	Height	RWL	Rain Water Leader
BSMT	Basement	HOR	Hollow Core		
BVL	Beveled	HB	Hose Bib		
BIT	Bituminous	HWH	Hot Water Heater		
BLK	Block			SAC	Suspended Acoustical Clg.
BLKG	Blocking	INCL	Include (d), (ing)	SASM	Self Adhesive SHt Membrane
BD	Board	ID	Inside Diameter	SFGL	Safety Glass
B.O.	Bottom Of	INS	Insulate (d), (ing)	SCD	See Civil (Eng) Drawings
BRK	Brick	INT	Interior	SCHD	Schedule
BLDG	Building	INV	Invert	SCN	Screen
BUR	Built Up Roofing			SLNT	Sealant
				SEC	Section
CAB	Cabinet	JT	Joint	SSK	Service Sink
CK	Calk (ing) Caulk (ing)	JF	Joint Filler	SHTH	Sheathing
CPT	Carpet (ed)	KPL	Kickplate	SHL	Sheet
CSMT	Casement	KIT	Kitchen	SF	Square Feet
CST	Cast Stone	KO	Knockout	SG	Sheet Glass
CLG	Ceiling			SM	Similar
CT	Ceiling Height	LBL	Label	SD	See Landscape Drawings
ER	Ceramic	LB	Lag Bolt	SC	Solid Core
CT	Ceramic Tile	LAM	Laminate (d)	SMD	See Mechanical Drawings
CLR	Clear (and)	LAV	Lavatory	SP	Soundproof
COL	Column	LW	Lightweight	SPC	Spacer
CONC	Concrete	LWC	Lightweight Concrete	SPD	See Plumbing Drawings
CMU	Concrete Masonry Unit	LMS	Limestone	SPK	Speaker
CONST	Construction	LVR	Louver	SPEC	Specification (s)
CONT	Continuous or Continue	LPT	Low Point	SQ	Square
CJ	Control Joint			SS	Stainless Steel
CG	Corner Guard	M	Mirrored	SSD	See Structural Drawings
		MB	Machine Bolt	STD	Standard
DP	Dampproofing	MDF	Medium Density Fiberboard	STA	Station
DEM	Demolish, Demolition	MH	Manhole	ST	Steel
DTL	Detail	MFR	Manufacture (r)	STOR	Storage
DIAG	Diagonal	MAS	Masonry	SD	Storm Drain
DIA	Diameter	MO	Masonry Opening	STR	Structural
D	Drain	MAX	Maximum	SUS	Suspended
DM	Dimension	MECH	Mechanic (al)	SYM	Symmetry (ical)
DV	Division	MC	Medicine Cabinet	SV	Sheet Vinyl
DH	Double Hung	MET	Metal	STC	Sound Transmission Coefficient
DOWN	Down	MTR	Metal Furring		
DS	Downspout	MWK	Millwork	TEL	Telephone
		MIN	Minimum	TMP	Tempered
DWG	Drawing	MIR	Mirror	TV	Television
		MISC	Miscellaneous	THK	Thick (ness)
		MLD	Molding, Moulding	THR	Threshold
EF	Each Face			TPD	Toilet Paper Dispenser
ELEC	Electric (al)	NR	Noise Reduction	TR	Top of Plate
EP	Electrical Panelboard	NOM	Nominal	TOS	Top of Slab
EL	Elevation	NIC	Not In Contract	TST	Top of Steel
ELEV	Elevator	NTS	Not to Scale	TW	Top Of Wall
EMER	Emergency			TB	Towel Bar
EPDM	Ethylene Propylene Diene Monomer	NO (#)	Equal	T	Tread
EQ	Equal			TYP	Typical
EQP	Equipment	O/	Over		
EST	Estimate	OBS	Obscure	UNF	Unfinished
EXH	Exhaust	OC	On Center (s)	UON	Unless Otherwise Noted
EB	Expansion Bolt	OFS	Over Flow Drain	UR	Urinal
EXP	Exposed	OFS	Overflow Scupper		
(E)	Existing	OP	Opaque	V	Vaulted
EXT	Exterior	OPP	Opposite	VAR	Varies
		OD	Outside Diameter	VB	Vapor Barrier
FC	Fiberglass Clad	OA	Overall	VNR	Vener
FCC	Face Of Concrete	OH	Overhead	VERT	Vertical
FOF	Face Of Finish			VG	Vertical Grain
FOM	Face Of Masonry	PTR	Paper Towel Receptor	VN	Vinyl
FOS	Face Of Studs	PB	Particle Board	VAT	Vinyl Acoustical Tile
FF	Finish Floor	PTD	Painted	VB	Vinyl Base
FN	Finish (ed)	PTN	Partition	VCT	Vinyl Composite Tile
FFE	Finished Floor Elevation	PBD	Particle Board		
FA	Fire Alarm	PERF	Perforate (d)	W/	With
FP	Fireproof	PERI	Perimeter	WSCT	Wainscot
FR	Fire-resistant	PLAM	Plastic Laminate	WTF	Wall To Wall
FRT	Fire-retardant	PG	Plate Glass	WH	Wall Hung
FL	Floor	PWD	Plywood	WC	Water Closet
FLR	Floor (ing)	PT	Point	WP	Waterproofing, Waterproof
FLS	Flashing	PVC	Polyvinyl Chloride	WPM	Water Proof Membrane
FD	Floor Drain	PSF	Pounds Per Square Foot	WR	Water Repellant
FLUR	Fluorescent	PBI	Pounds Per Square Inch	WRB	Weather Resistant Barrier
FJT	Flush Joint	PCC	Precast Concrete	WS	Waterstop
FTG	Footing	PFB	Prefabricate (d)	WWF	Welded Wire Fabric
FND	Foundation	PPN	Prefinished	WDW	Window
FRM	Fram (ing)	PRF	Preformed	WG	Wired Glass
FUR	Furred (ing)	PL	Property Line	WM	Wire Mesh
		PT	Pressure Treated	WIO	Without
G	Grade			WO	Wood
GA	Gage, Gauge	RAD	Radius	WB	Wood Base
GV	Galvanized	RWL	Rainwater Leader	WI	Wrought Iron
GC	General Contractor	REC	Recessed		
GL	Glass, Glazing	REF	Reference		
GLB	Glass Block				

PROJECT INFO - ABBREVIATIONS ?

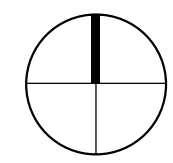
12" = 1'-0"



PROJECT LOCATION



PROJECT LOCATION



PROJECT LOCATION 1

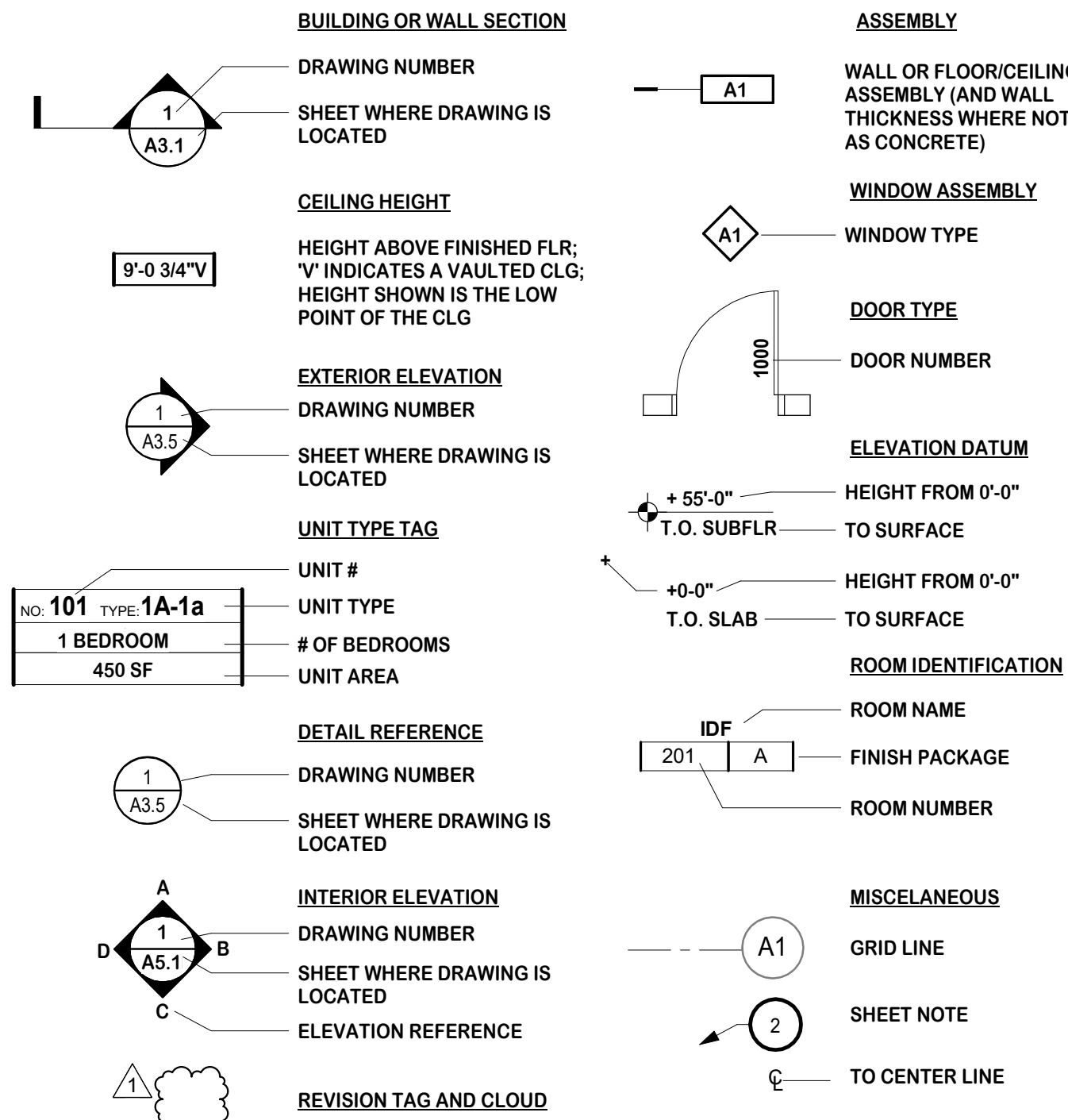
1/2" = 1'-0"

OWNER:  
CAL COAST COMPANIES, LLC  
11755 WILSHIRE BLVD, SUITE 1660  
LOS ANGELES, CA 90025  
P: 310.709.1887  
CONTACT: SCOTT D. COOPER

ARCHITECT:  
BDE ARCHITECTURE  
950 HOWARD STREET  
SAN FRANCISCO, CA 94103  
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CONTACT: JON ENNIS

CIVIL ENGINEER:  
BKF ENGINEERS  
1730 N FIRST STREET, SUITE 600  
SAN JOSE, CA 95112  
P: 408.659.8819  
CONTACT: PATRICK CHAN

LANDSCAPE ARCHITECT:  
OFFICE  
ADDRESS  
CITY, STATE ZIP CODE  
P: XXX.XXX.XXXX  
CONTACT:



SHEET LIST

- G0.0 COVER SHEET
- G0.1 PROJECT INFO, GENERAL NOTES
- G0.2 PROJECT DATA
- G2.0 EXISTING SITE PHOTOS
- G3.0 MASTER PLAN
- G3.1 ZONING DIAGRAMS
- G3.2 ZONING DIAGRAMS
- G3.3 FIRE ROOF ACCESS DIAGRAMS
- G4.1 3D VIEW - AERIAL VIEW
- G4.2 3D VIEW - HOTEL ENTRY LOOKING WEST
- G4.3 3D - HOTEL ENTRY
- G4.4 3D VIEWS
- G4.5 3D VIEWS

A1.1 SITE PLAN

- A2.1 HOTEL - LEVEL 1 FLOOR PLAN
- A2.2 HOTEL - LEVEL 2 FLOOR PLAN
- A2.3 HOTEL - LEVEL 3 FLOOR PLAN
- A2.4 HOTEL - LEVEL 4 FLOOR PLAN
- A2.5 HOTEL - LEVEL 5 FLOOR PLAN
- A2.6 HOTEL - ROOF PLAN
- A2.7 HOTEL - UPPER ROOF PLAN
- A2.8 RESTAURANT - FLOOR PLANS
- A2.9 MARKET - FLOOR PLANS

- A3.0 MATERIAL BOARD
- A3.1 HOTEL - BUILDING ELEVATIONS
- A3.2 HOTEL - BUILDING SECTIONS
- A3.3 RESTAURANT - ELEVATIONS & SECTIONS
- A3.4 MARKET - ELEVATIONS & SECTIONS
- A3.5 WINDOW DETAILS

- L1.0 MASTER LANDSCAPE PLAN
- L1.1 OVERALL LANDSCAPE PLAN
- L1.2 HOTEL ENLARGEMENT LANDSCAPE PLAN
- L1.3 RESTAURANT ENLARGEMENT LANDSCAPE PLAN
- L1.4 RESTAURANT ENLARGEMENT LANDSCAPE PLAN
- L1.5 LANDSCAPE IMAGERY
- L2.1 OVERALL PLANTING PLAN
- L2.2 PLANTING NOTES & IMAGERY
- L3.1 IRRIGATION HYDROZONE PLAN
- L3.2 IRRIGATION NOTES
- L4.1 FENCING PLAN
- L5.1 PARKING LOT TREE SHADING DIAGRAM

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REV.	ISSUE	DATE
	PLANNING	05.24.21
	SUBMISSION 01	
	PLANNING	11.17.21
	SUBMISSION 02	

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PROJECT INFO,  
GENERAL  
NOTES

SHEET TITLE	
SCALE	As indicated
PROJ. #	2024 DRAWN BY C
SHEET SIZE	30 x 42



RESTAURANT

ZONING INFORMATION		RESTAURANT	
ACCESSOR'S PARCEL #:	APN 79A-0475-009-04	NUMBER OF STORIES:	2
ZONING DISTRICT:	CC (PD)	GROSS FLOOR AREA:	16,024 SF
LOT AREA:	0.796 ACRES 34,656 SF	ALLOWABLE HEIGHT:	50'
ALLOABLE FAR: PROPOSED FAR:	1.0 0.47	PROPOSED HEIGHT:	32' TO MAIN ROOF 36' TO T.O. PARAPET 42' TO T.O. STAIR & ELEV PENTHOUSE
ALLOWABLE LOT COVERAGE: PROPOSED LOT COVERAGE:	50% 22%	CONSTRUCTION TYPE:	TYPE V-A ASSEMBLY (2 STORIES)
SETBACKS:		SPRINKLERED:	YES
FRONT AT MONARCH:	10 FT	FIRE ALARM:	YES
CORNER SIDE AT MILLFORD:	10 FT	HIGH RISE:	NO
INTERIOR SIDE & REAR:	0 FT	OCCUPANCY CLASSIFICATION:	A2 ASSEMBLY
SITE SUBJECT TO BCDC 100' SHORELINE BAND			

AREA SUMMARY										JOB: Cal Coast - Monarch Bay Hotel	
Date 05/24/2021										2024	
CONSTRUCTION TYPE:		TYPE VA				RESTAURANT & BANQUET					
FLOORS:		2 STORIES WITH ROOF DECK									
		1ST	2ND	ROOF					Total	by Type	
Restaurant		7,349	0	0						7,349	
Banquet		246	7,594	835						8,675	
Total Gross (FAR)		7,595	7,594	835						16,024	

MARKET

ZONING INFORMATION		MARKET	
ACCESSOR'S PARCEL #:	APN 79A-0590-001	NUMBER OF STORIES:	1
ZONING DISTRICT:	CC (PD)	GROSS FLOOR AREA:	2,500 SF
LOT AREA:	0.228 ACRES 9,924 SF	ALLOWABLE HEIGHT:	50'
ALLOABLE FAR: PROPOSED FAR:	1.0 0.26	PROPOSED HEIGHT:	16' TO AVG ROOF 19'-6" TO T.O. PARAPET
ALLOWABLE LOT COVERAGE: PROPOSED LOT COVERAGE:	50% 26%	CONSTRUCTION TYPE:	TYPE V-A MERCANTILE (1 STORIES)
SETBACKS:		SPRINKLERED:	YES
FRONT AT MONARCH:	10 FT	FIRE ALARM:	YES
CORNER SIDE AT MILLFORD:	10 FT	HIGH RISE:	NO
INTERIOR SIDE & REAR:	0 FT	OCCUPANCY CLASSIFICATION:	M MERCANTILE
SITE SUBJECT TO BCDC 100' SHORELINE BAND			

**PROJECT DESCRIPTION:**  
MONARCH BAY HOTEL/ RESTAURANT/ MARKET IS PRIVATELY FUNDED DEVELOPMENT CONSISTED OF 5-STORY TYPE III-A HOTEL BUILDING WITH LANDSCAPED OUTDOOR AMENITY, 2-STORY TYPE V-A RESTAURANT/ BANQUET BUILDING WITH OUTDOOR SEATING, 1-STORY TYPE V-A MARKET BUILDING WITH OUTDOOR SEATING AND SURFACE PARKING SHARED BY THESE BUILDINGS.

HOTEL PROJECT HAS 210 GUEST ROOMS, AMENITY SPACES, LANDSCAPED OUTDOOR AMENITY WITH POOL & SPA AND UNAFFILIATED RESTAURANT. HOTEL AMENITIES INCLUDE BAR, DINING BUFFET, MEETING ROOMS, FITNESS, BUSINESS CENTER, OUTDOOR SEATING, POOL, SPA & ROOF DECK ON L5.

RESTAURANT/ BANQUET PROJECT IS CONSISTED OF 7,500SF OF RESTAURANT WITH OUTDOOR SEATING ON THE GROUND LEVEL AND 7,500SF OF EVENT/ BANQUET SPACE WITH ROOF DECK ON L2.

MARKET PROJECT IS 3,000 SF OF A SINGLE STORY BUILDING WITH OUTDOOR SEATING.

BICYCLE PARKING INFORMATION

REQUIRED	PROVIDED
5% OF REQUIRED PARKING SPACES 440 SPACES @ 5% = 23 SPACES	24 BIKE PARKING SPACES

PARKING INFORMATION

	REQUIRED	PROVIDED
HOTEL	1.1 SPACES PER GUEST ROOM 210 GUEST ROOMS X 1.1 = 231 SPACES	ON-SITE SURFACE PARKING STANDARD = 263 SPACES COMPACT = 69 SPACES ADA = 8 SPACES ADA VAN = 4 SPACES TOTAL ON-SITE SURFACE PARKING = 344 SPACES
RESTAURANT (HOTEL)	40 SPACES FOR FIRST 4,000SF OF RESTAURANT + 1 SPACE PER ADDITIOANL 50 SF OF SEATING AREA 40 SPACES FOR THE FIRST 4000 SF + 25 SF/ 50 SF = 41 SPACES	
RESTAURANT & BANQUET	1 SPACE PER 50 SF GROSS FLOOR AREA FOR BANUQUET 4,894 SF / 50 SF = 98 SPACES SPACES FOR FIRST 4,000SF OF RESTAURANT + 1 SPACE PER ADDITIOANL 50 SF OF SEATING AREA 40 SPACE FOR FIRST 4,000 SF + 474 SF/50 SF = 50 SPACES	
MARKET	1 SPACE PER 200 SF FOR THE FIRST 5000 SF., 1 SPACE PER 250 SF FOR THE AREA OVER 5000 SF 2,500 SF/ 200 SF = 13 SPACES	WEST PARKING LOT (NIC) = 111 STANDARD SPACES <b>TOTAL PROVIDED = 455 SPACES</b>
TOTAL	434 SPACES	

LANDSCAPING AREA

REQUIRED	PROVIDED
10% SITE AREA COMBINED SITE AREA = 303,013 SF REQUIRED LANDSCAPE AREA = 30,302 SF	79,848 SF

\*NOTE: ASTRICK AT THE PROPOSED TOTAL INDICATES DEVIATION FROM ZONING CODE

HOTEL

ZONING INFORMATION		HOTEL	
ACCESSOR'S PARCEL #:	APN 79A-0475-009-04	NUMBER OF STORIES:	5
ZONING DISTRICT:	CC (PD)	GROSS FLOOR AREA:	158,334 SF
LOT AREA:	2.933 ACRES 258,433 SF	ALLOWABLE HEIGHT:	50'
ALLOABLE FAR: PROPOSED FAR:	1.0 0.62	PROPOSED HEIGHT:	56'-4" TO AVG ROOF* 61'-0" TO T.O. PARAPET 66'-4" TO T.O. STAIR & ELEV PENTHOUSE
ALLOWABLE LOT COVERAGE: PROPOSED LOT COVERAGE:	50% 14.5%	CONSTRUCTION TYPE:	TYPE III-A RESIDENTIAL (5 STORIES)
SETBACKS:		SPRINKLERED:	YES
FRONT AT MONARCH:	10 FT	FIRE ALARM:	YES
CORNER SIDE AT MILLFORD:	10 FT	HIGH RISE:	NO
INTERIOR SIDE & REAR:	0 FT	OCCUPANCY CLASSIFICATION:	R1 RESIDENTIAL A2 ASSEMBLY
SITE SUBJECT TO BCDC 100' SHORELINE BAND			

AREA SUMMARY											JOB: Cal Coast - Monarch Bay Hotel	
Date 11/17/2021											2024	
CONSTRUCTION TYPE:			TYPE IIIA				HOTEL					
FLOORS:			5 STORIES									
UNIT TYPE	NAME	DESCRIB	Avg Room Area	1ST	2ND	3RD	4TH	5TH	ROOF	Unit Total	Area by Type	
SHORT TERM	K/QQ	STANDARD KING/ DBL QUEEN	414	10	22	22	22	22		98	47%	
	K/QQ - ADA	ACCESSIBLE KING/DBL...	484	0	3	3	3	3		12	6%	
	K - STUDIO SUITE	STUDIO KING SUITE	621	2	2	2	2	2		10	5%	
				1	1	1	1	1		5	2%	
SHORT TERM SUB-TOTAL				13	28	28	28	28	0	125	60%	
LONG TERM	K DEN	2 BDRM/ 2 BATH	365	0	8	8	8	8		32	15%	
	K DEN (ADA)	2 BDRM/ 2 BATH	569	0	1	1	1	1		4	2%	
	STUDIO	2 BDRM + DEN / 2 BATH	511	0	8	8	8	8		32	15%	
	STUDIO...	CORNER 2 BR/ 2BA	676	0	1	1	1	1		4	2%	
	1BR STE	INSIDE CORNER 2 BR/ 2BATH	566	0	2	2	2	2		8	4%	
	K/QQ (ADA)	CORNER 2 BR/ 2BA	515	0	1	1	1	1		4	2%	
SHORT TERM SUB-TOTAL				0	21	21	21	21	0	84	40%	
TOTAL KEYS			Avg SqFt	485	13	49	49	49	49	0	209	100%
Net rentable residential area is measured center of demising wall, ext face of stud of ext wall, ext face of stud of corridor wall, excl decks												
Net Rentable by floor (excl decks)				6,674	22,423	22,423	22,423	22,423			96,366	
Restaurant				3,966	0	0	0	0			3,966	
Common Area				21,925	6,470	6,470	6,470	6,470			47,805	
Service/ Back of House				4,209	1,147	1,147	1,147	1,147			8,797	
Total Gross (FAR)				36,774	30,040	30,040	30,040	30,040	0		156,934	





SITE PHOTO - SITE LOOKING SOUTHWEST 3



SITE PHOTO - PARKING LOT LOOKING WEST 2



SITE PHOTO - MULFORD POINT LOOKING WEST 5



SITE PHOTO - MONARCH BAY LOOKING NORTH 4



EXISTING PHOTOS - SITE PLAN 1



SITE PHOTO - MULFORD POINT LOOKING NORTHWEST 8



SITE PHOTO - MULFORD POINT AT PARKING LOT LOOKING NORTH 7



SITE PHOTO - MONARCH BAY LOOKING SOUTH 6



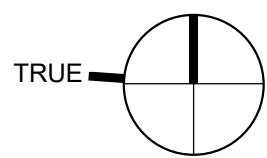
SITE PHOTO - SOUTH PARKING LOT LOOKING NORTHEAST 11



SITE PHOTO - MONARCH BAY LOOKING NORTHWEST 10



SITE PHOTO - MULFORD POINT LOOKING EAST 9







SAN FRANCISCO BAY

WEST  
PARKING LOT

HOTEL (PARCEL I)

RESTAURANT  
(PARCEL J)

INTERIOR BASIN

MULFORD POINT DR.

EXISTING RESTAURANT

EXISTING HOTEL

PESCADOR POINT

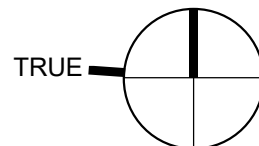
MARKET (PARCEL K)

MULTIFAMILY  
RESIDENTIAL  
(PARCEL H)

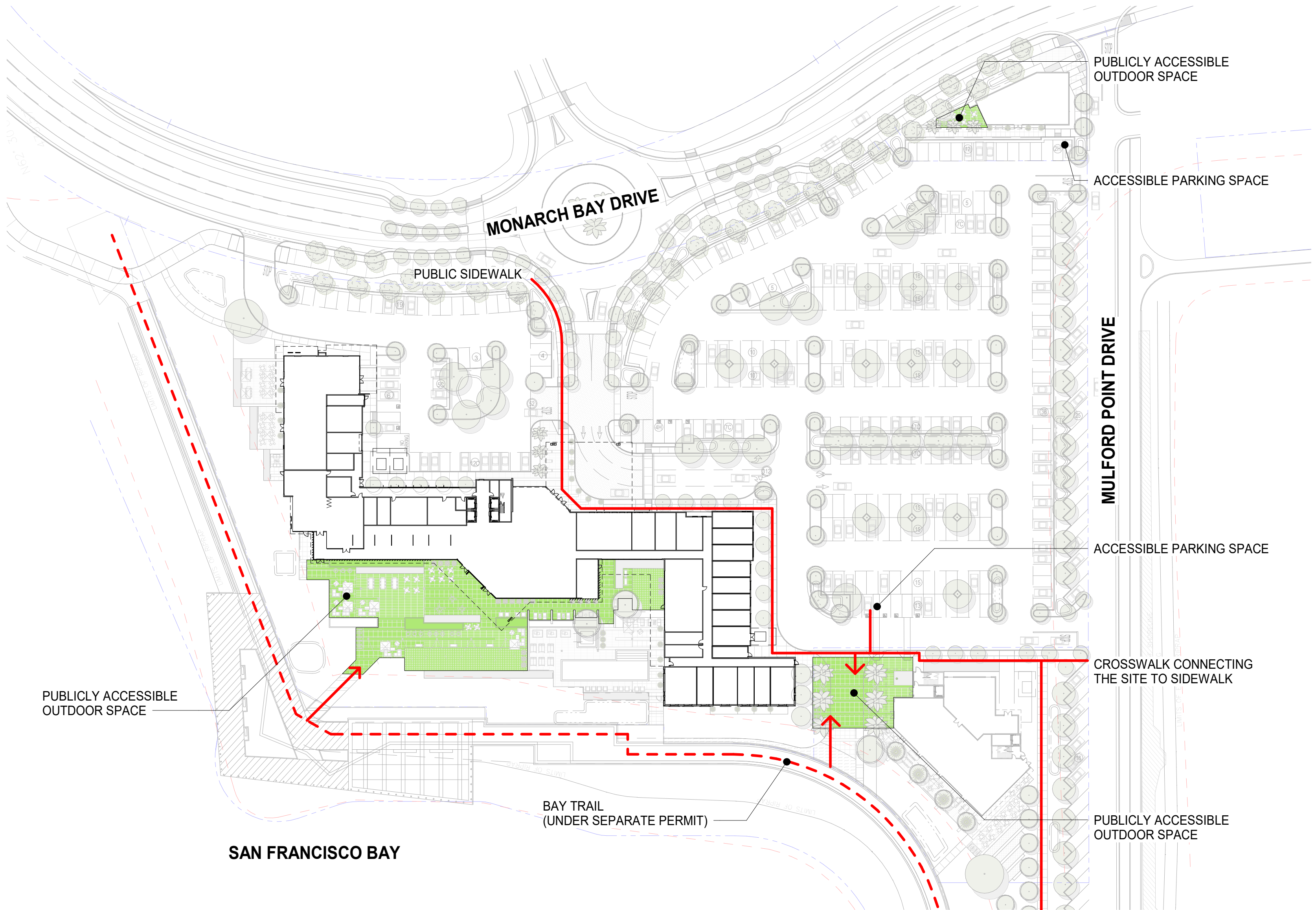
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1	PLANNING SUBMISSION 01	05.24.21
2	PLANNING SUBMISSION 02	11.17.21

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**MASTER PLAN**

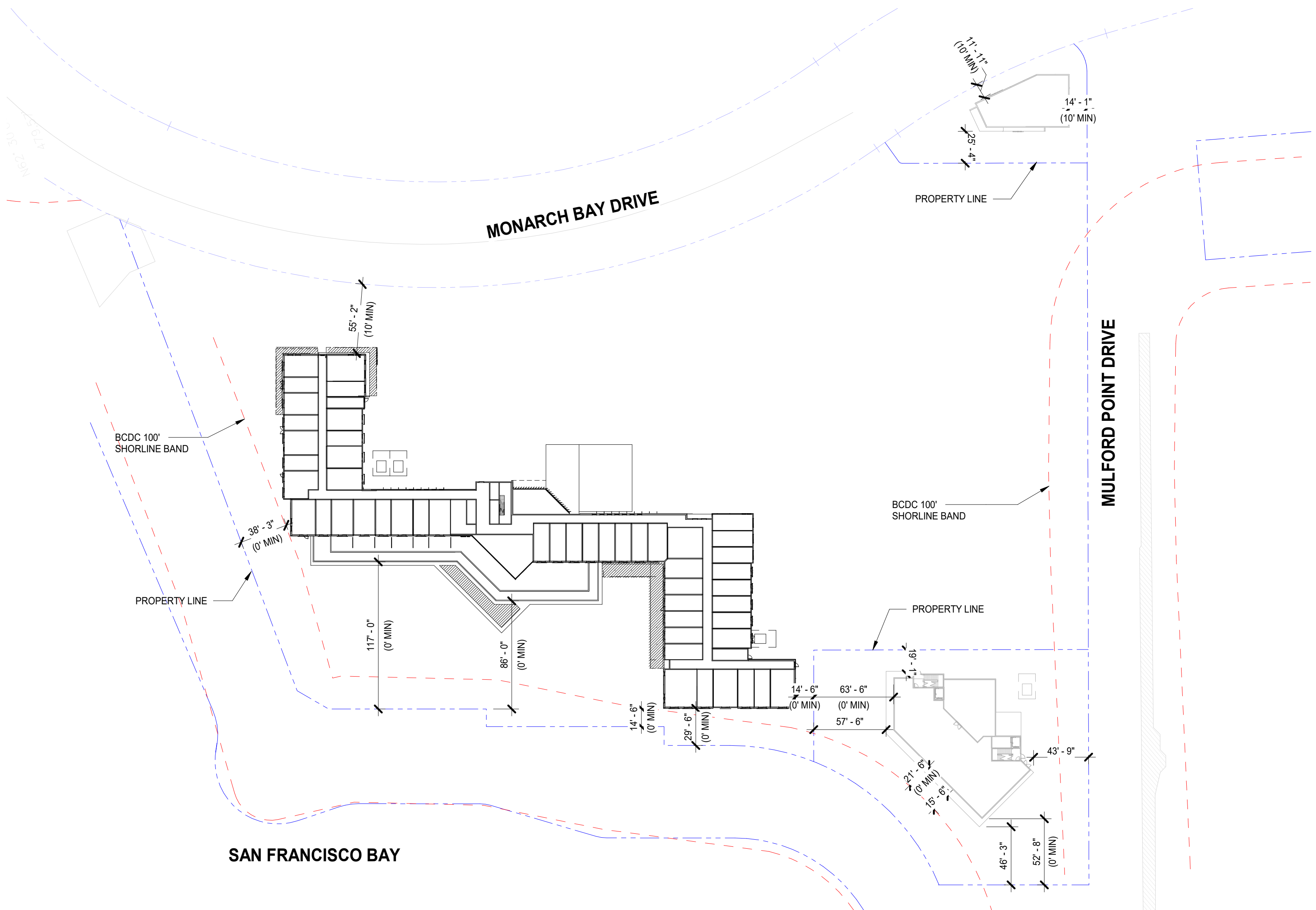
SHEET TITLE  
SCALE 1" = 80'-0"  
PROJ. # 2024 DRAWN BY JC  
SHEET SIZE: 30 x 42







PUBLIC OUTDOOR SPACE DIAGRAM 2  
1" = 60'-0"



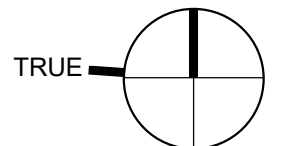
SETBACK DIAGRAM 1  
1" = 60'-0"

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REV.	ISSUE	DATE
	PLANNING	11.17.21
	SUBMISSION 02	

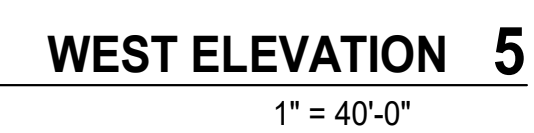
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ZONING  
DIAGRAMS

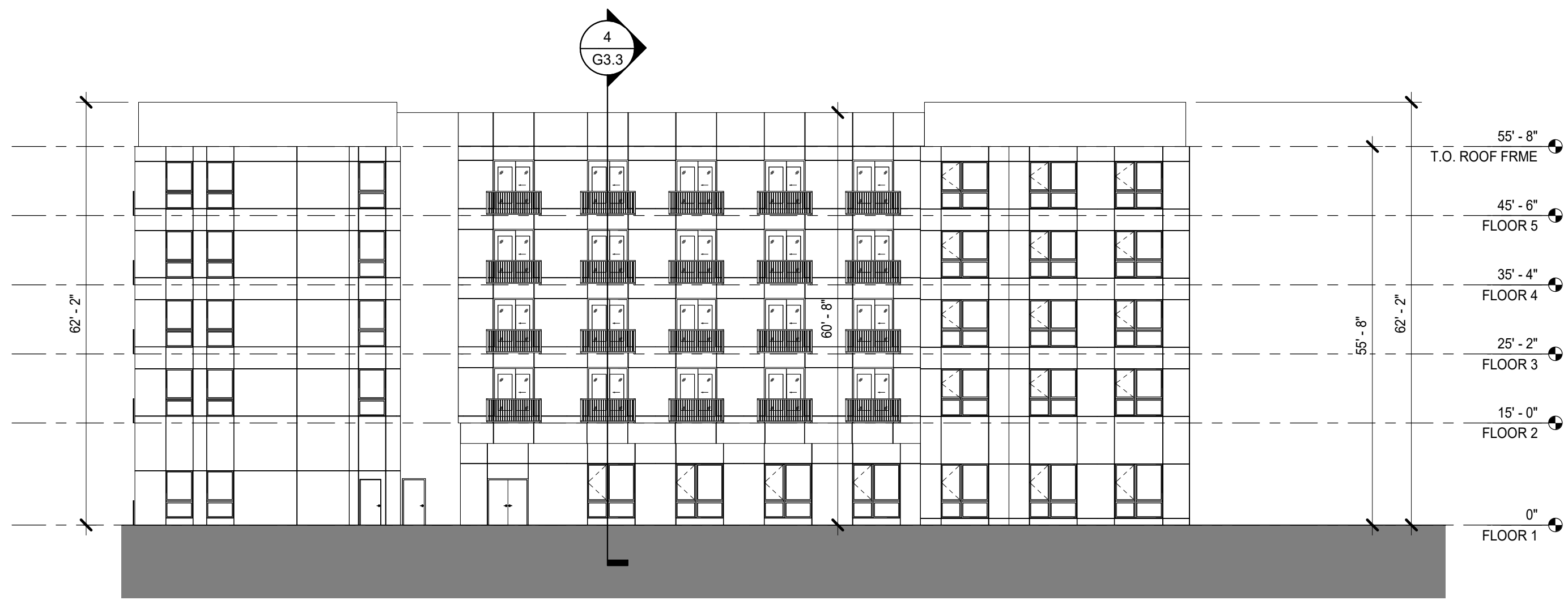
SHEET TITLE  
SCALE 1" = 60'-0"  
PROJ. # 2024 DRAWN BY JC  
SHEET SIZE: 30 x 42





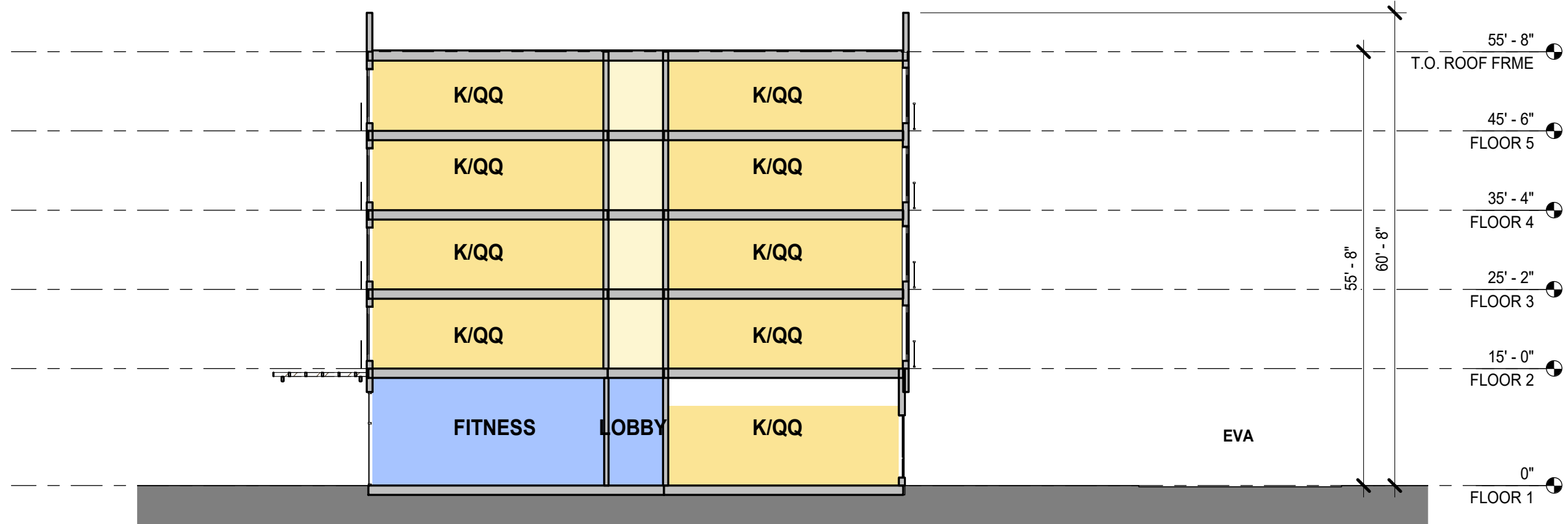






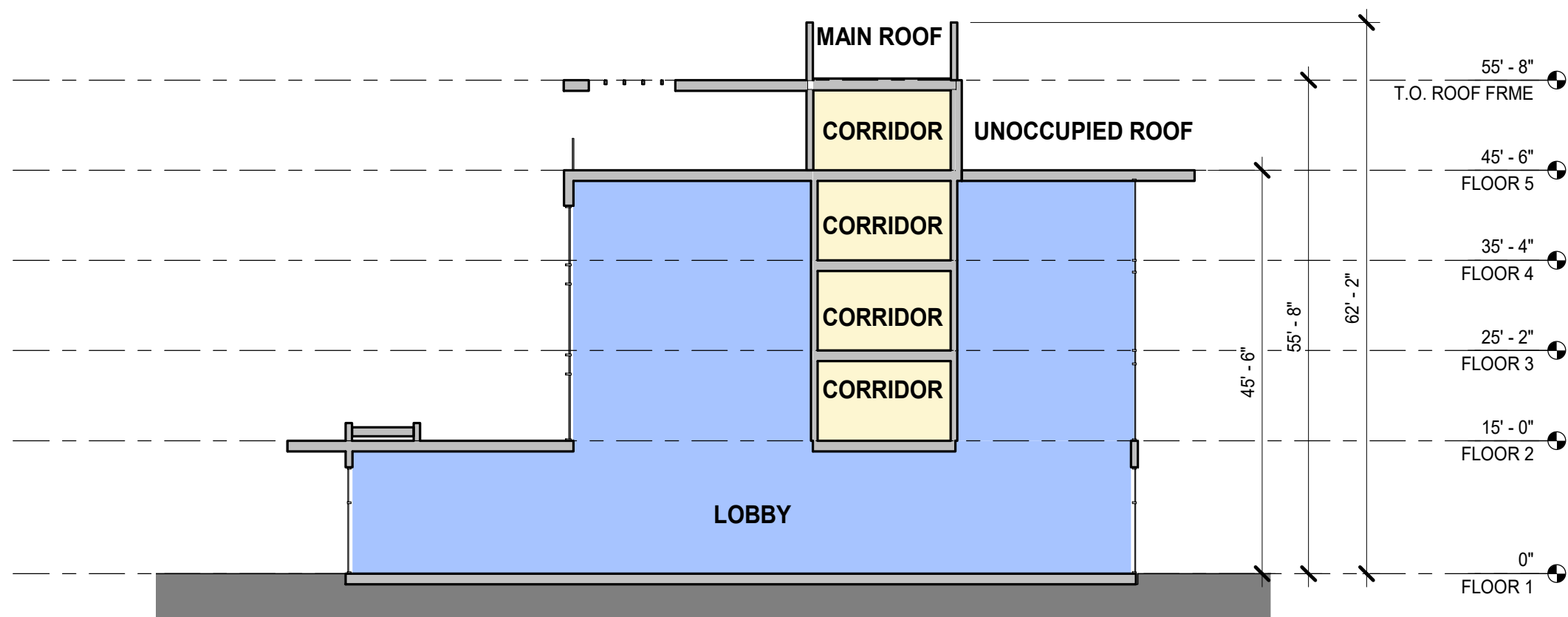
**SOUTH ELEVATION A 5**

1/16" = 1'-0"



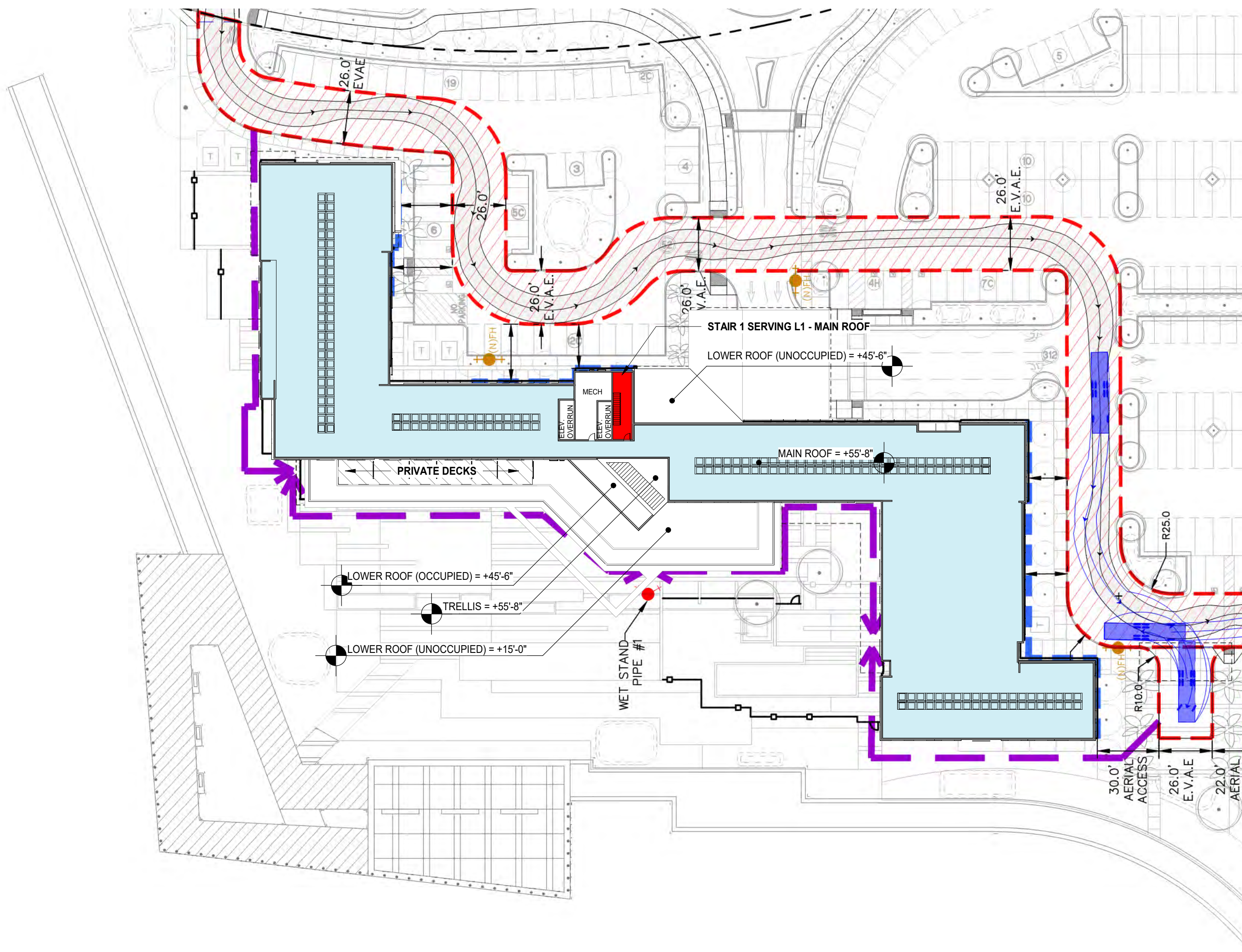
**FIRE ROOF ACCESS DIAGRAMS - CROSS SECTION A 4**

1/16" = 1'-0"



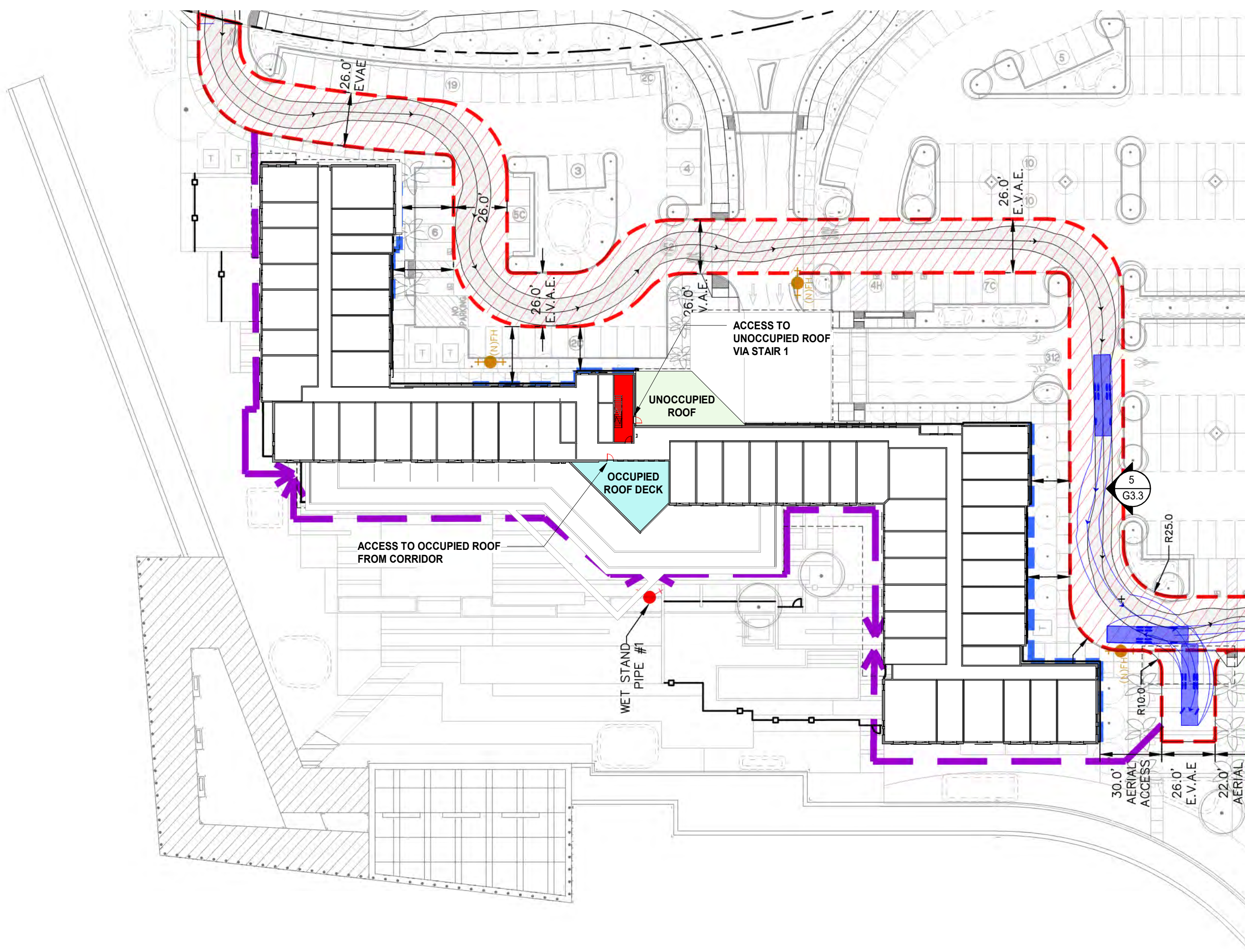
**FIRE ROOF ACCESS DIAGRAMS - CROSS SECTION B 3**

1/16" = 1'-0"



**FIRE ROOF ACCESS DIAGRAM - ROOF PLAN 2**

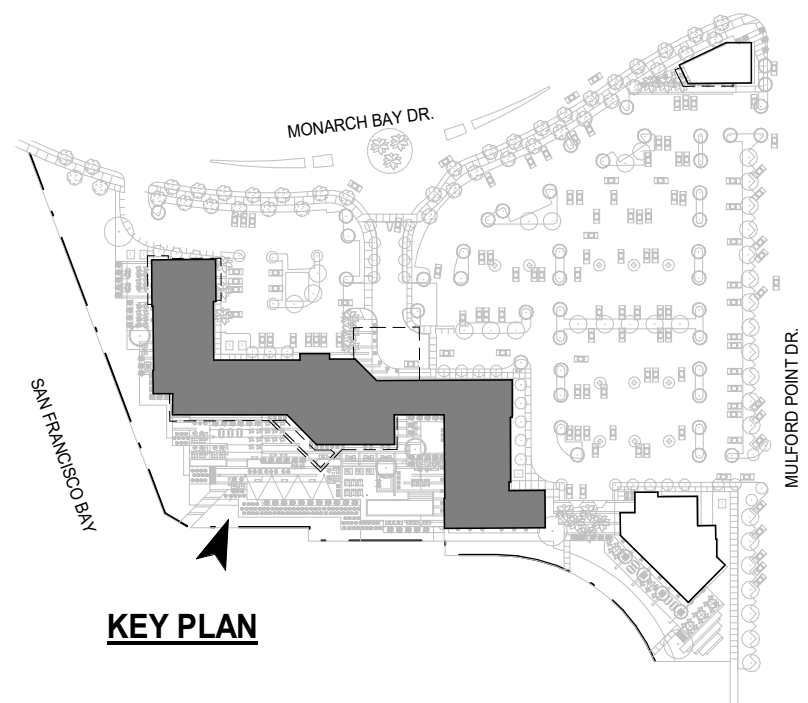
1" = 40'-0"



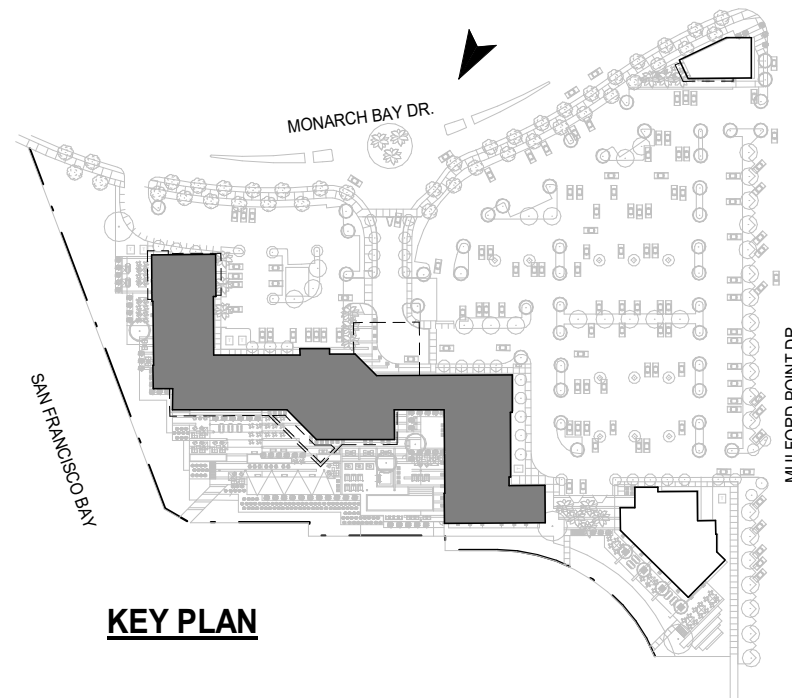
**FIRE ROOF ACCESS DIAGRAM - FLOOR 5 1**

1" = 40'-0"

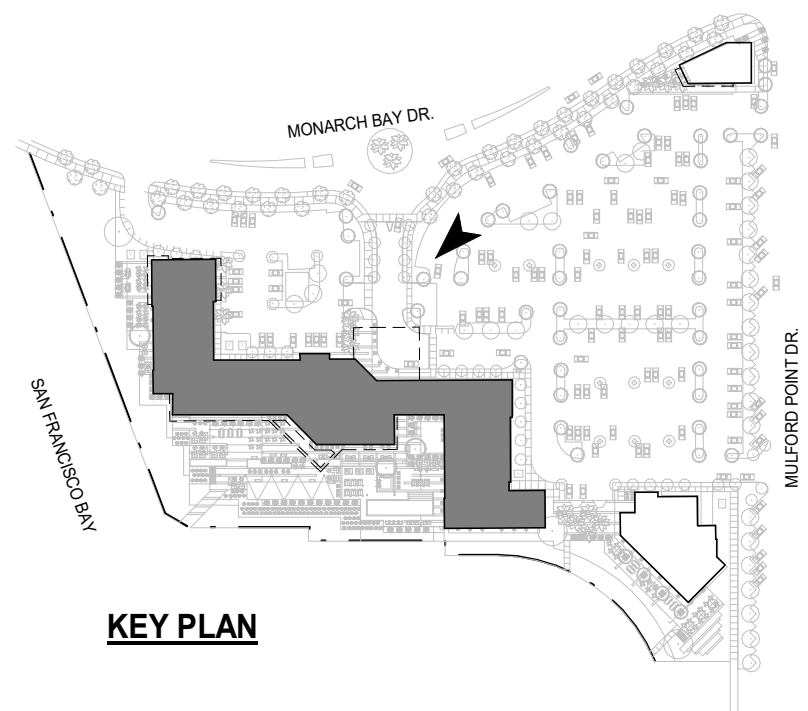




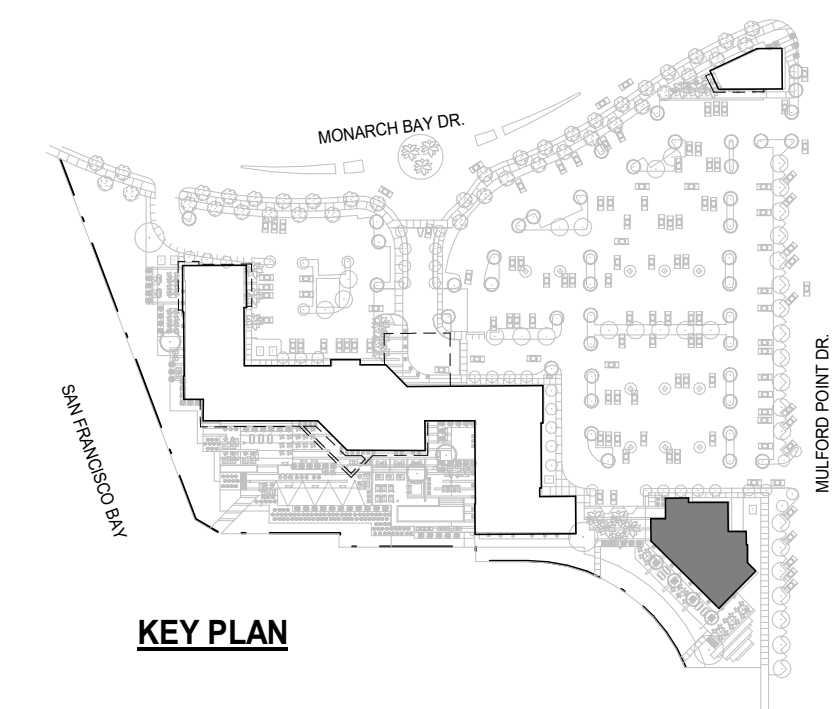




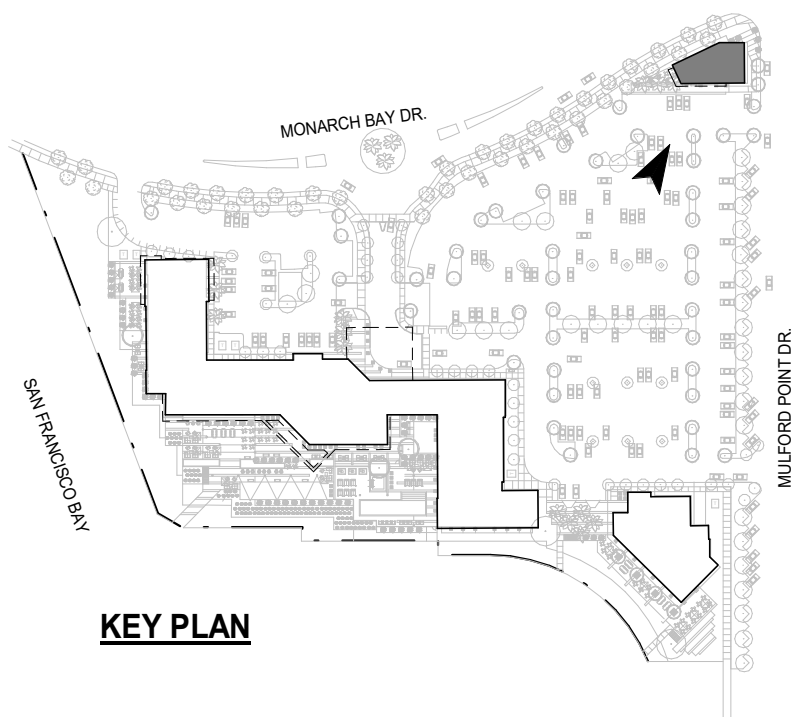






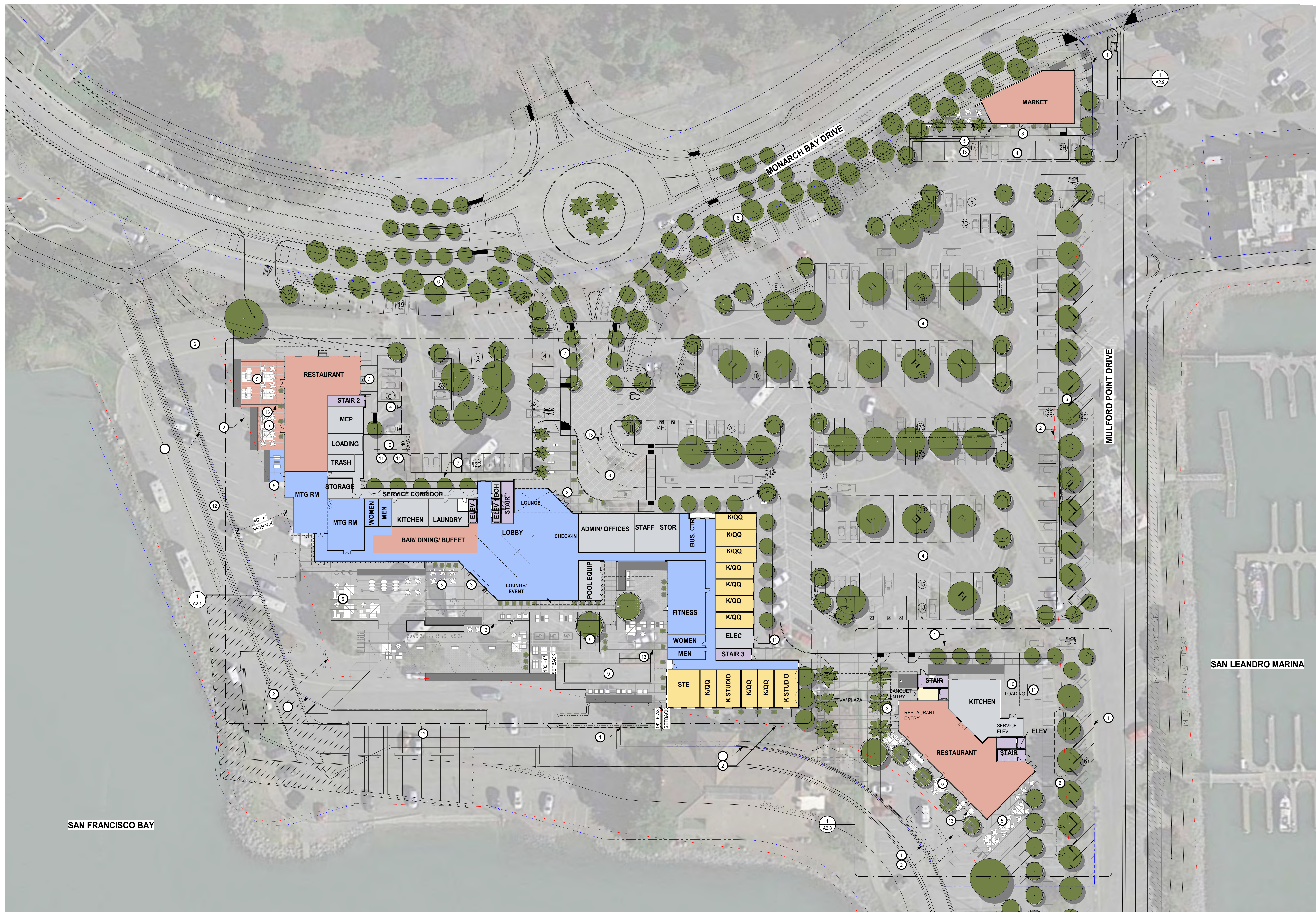






KEY PLAN





PLAN COLOR LEGEND

- COMMON AREA
- VERTICAL CIRCULATION / CORES
- COMMERCIAL RETAIL RESTAURANT
- SHORT TERM STAY
- BUILDING UTILITIES "MEP"

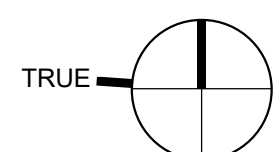
SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- PROPERTY LINE
- BCDC 100' SHORELINE BAND
- BUILDING ENTRY
- PARKING, S.C.D.
- OUTDOOR SEATING, S.L.D., S.C.D.
- LANDSCAPING, S.L.D., S.C.D.
- WALKWAY, S.L.D., S.C.D.
- PASSENGER PICKUP/DROP-OFF
- POOL & SPA, S.L.D.
- LOADING
- PAD MOUNTED TRANSFORMER, S.C.D. & S.E.D.
- BAY TRAIL (N.I.C.)
- BUILDING STRUCTURE ABOVE

PLANNING - SITE PLAN - HOTEL - FLOOR 1 1

1" = 30'-0"





11/17/2024 11:59:09 AM

PLAN COLOR LEGEND

- COMMON AREA
- VERTICAL CIRCULATION / CORES
- COMMERCIAL RETAIL RESTAURANT
- SHORT TERM STAY
- BUILDING UTILITIES "MEP"

SHEET NOTES

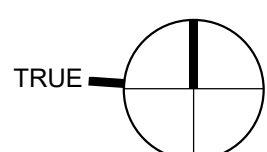
NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- PROPERTY LINE
- BCDC 100' SHORELINE BAND
- BUILDING ENTRY
- PARKING, S.C.D.
- OUTDOOR SEATING, S.L.D., S.C.D.
- LANDSCAPING, S.L.D., S.C.D.
- WALKWAY, S.L.D., S.C.D.
- PASSENGER PICKUP/DROP-OFF
- POOL & SPA, S.L.D.
- LOADING
- PAD MOUNTED TRANSFORMER, S.C.D. & S.E.D.
- BAY TRAIL (N.I.C.)
- BUILDING STRUCTURE ABOVE
- HIGH CEILING ABOVE
- STAIRS WITH ROOF ACCESS
- ARCHITECTURAL VERTICAL FIN SHADE SYSTEM
- MOVABLE PARTITION
- ROLL-UP DOOR
- FOLDING GLASS DOOR
- GUARDRAIL
- TRELLIS BELOW
- CANOPY BELOW
- GREEN ROOF
- PRIVATE TERRACE W/ DIVIDER
- ROOF DECK
- UNOCCUPIED ROOF
- STAIR AND ELEVATOR TOWER
- ROOFTOP MEP EQUIPMENTS TO BE SCREENED FROM STREET
- SOLAR READY AREA (15% OF TOTAL ROOF AREA)
- ROOF BELOW

SAN FRANCISCO BAY

KEY PLAN

PLANNING - HOTEL - BUILDING PLAN - FLOOR 1 1  
1" = 20'-0"



BDE  
ARCHITECTURE

934 HOWARD STREET  
SAN FRANCISCO  
CA 94103

P. (415) 677-0966

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CONSULTANT

MONARCH BAY HOTEL /  
RESTAURANT / MARKET  
SAN LEANDRO, CA

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REV.	DATE
PLANNING	05.24.21
SUBMISSION 01	
PLANNING	11.17.21
SUBMISSION 02	

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HOTEL - LEVEL  
1 FLOOR PLAN

SHEET TITLE  
SCALE As indicated  
PROJ. # 2024 DRAWN BY JC  
SHEET SIZE: 30 x 42

A2.1



11/02/2024 7:52:38 PM

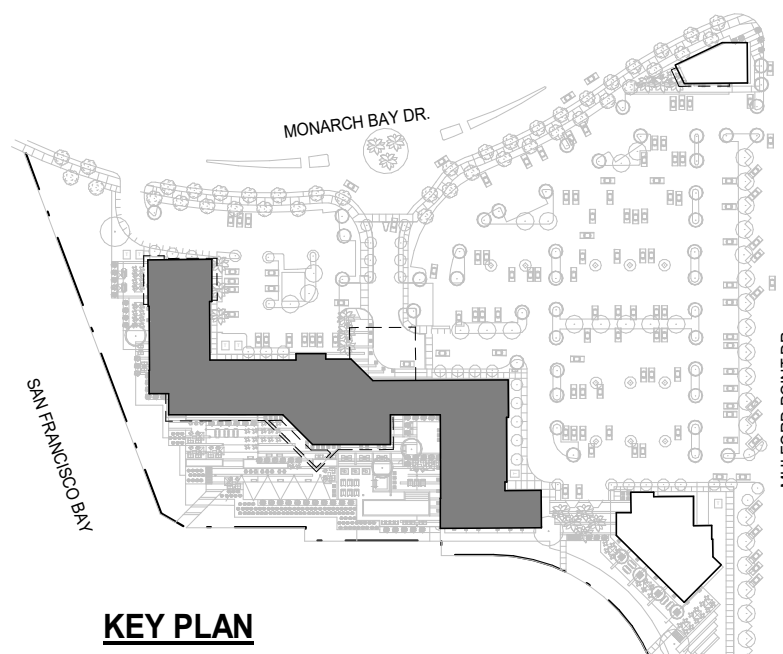
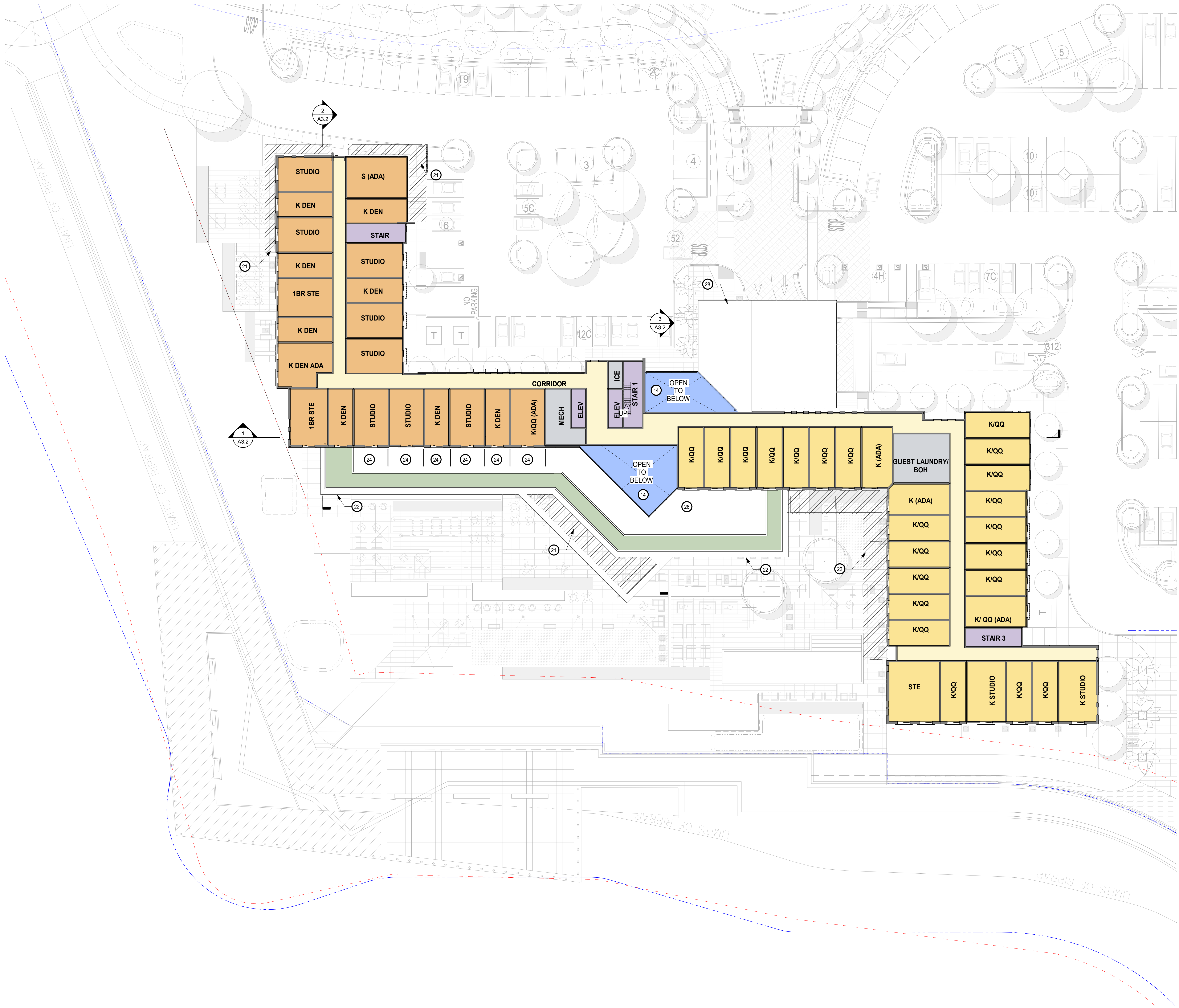
PLAN COLOR LEGEND

- COMMON AREA
- VERTICAL CIRCULATION / CORES
- GROSS BUILDING AREA
- LONG TERM STAY
- SHORT TERM STAY
- BUILDING UTILITIES "MEP"

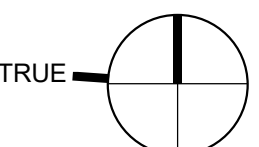
SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- PROPERTY LINE
- BCDC 100' SHORELINE BAND
- BUILDING ENTRY
- PARKING, S.C.D.
- OUTDOOR SEATING, S.L.D., S.C.D.
- LANDSCAPING, S.L.D., S.C.D.
- WALKWAY, S.L.D., S.C.D.
- PASSENGER PICKUP/DROP-OFF
- POOL & SPA, S.L.D.
- LOADING
- PAD MOUNTED TRANSFORMER, S.C.D. & S.E.D.
- BAY TRAIL (N.I.C.)
- BUILDING STRUCTURE ABOVE
- HIGH CEILING ABOVE
- STAIRS WITH ROOF ACCESS
- ARCHITECTURAL VERTICAL FIN SHADE SYSTEM
- MOVABLE PARTITION
- ROLL-UP DOOR
- FOLDING GLASS DOOR
- GUARDRAIL
- TRELLIS BELOW
- CANOPY BELOW
- GREEN ROOF
- PRIVATE TERRACE W/ DIVIDER
- ROOF DECK
- UNOCCUPIED ROOF
- STAIR AND ELEVATOR TOWER
- ROOFTOP MEP EQUIPMENTS TO BE SCREENED FROM STREET
- SOLAR READY AREA (15% OF TOTAL ROOF AREA)
- ROOF BELOW



PLANNING - HOTEL - BUILDING PLAN - FLOOR 2 1  
1" = 20'-0"



REV.	ISSUE	DATE
1	PLANNING SUBMISSION 01	05.24.21
2	PLANNING SUBMISSION 02	11.17.21

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HOTEL - LEVEL  
2 FLOOR PLAN

SHEET TITLE	As indicated
SCALE	As indicated
PROJ. #	2024 DRAWN BY C
SHEET SIZE	30 x 42



11/02/2024 7:55:07 PM

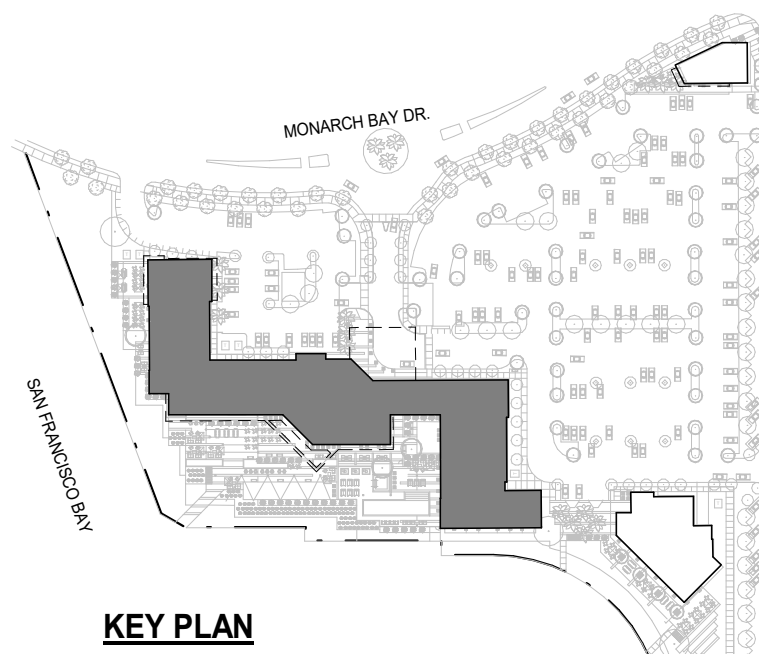
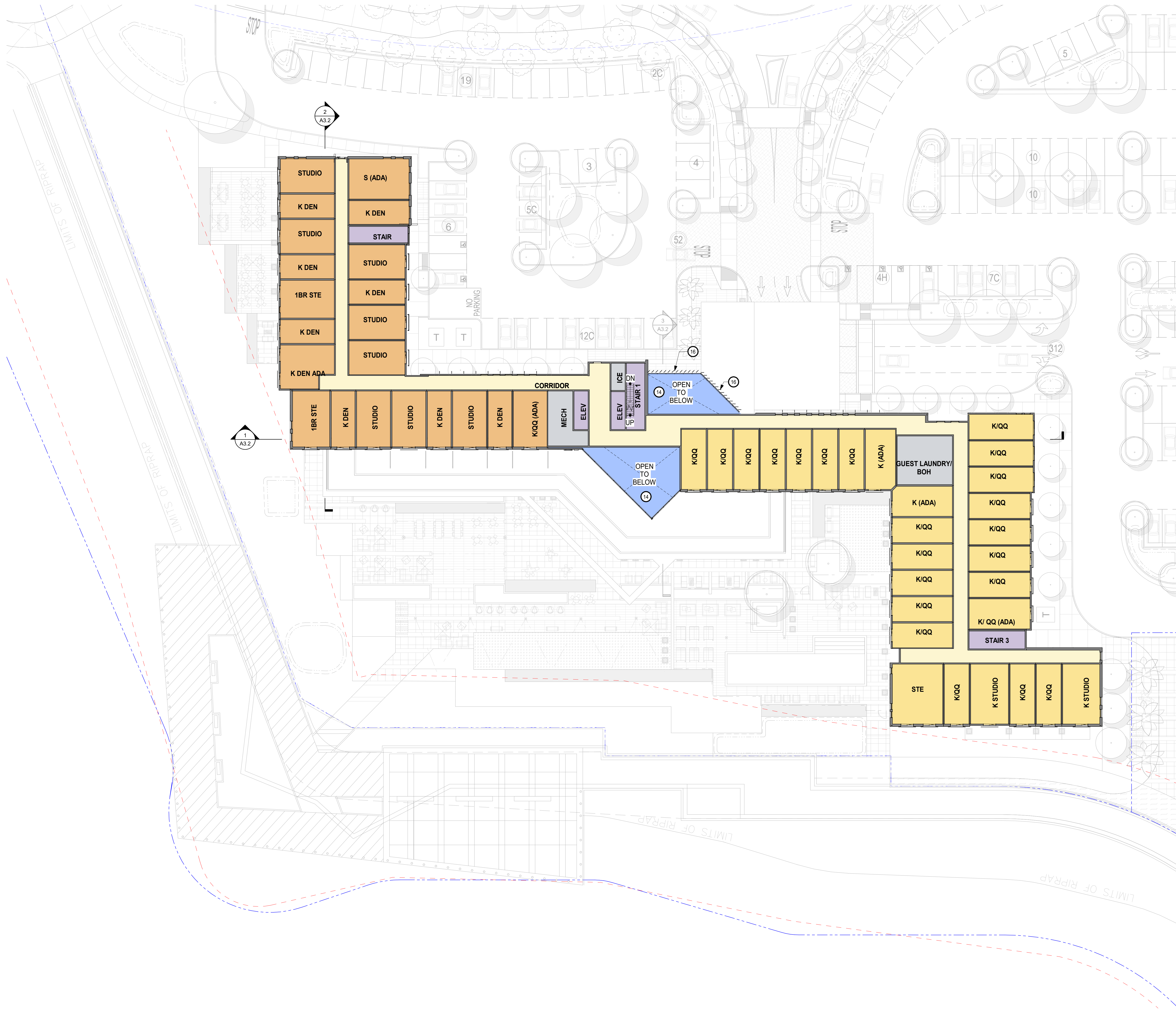
#### PLAN COLOR LEGEND

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<span style="background-color: #FFFFE0; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	GROSS BUILDING AREA
<span style="background-color: #FFDAB9; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	LONG TERM STAY
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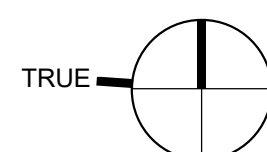
#### SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- PROPERTY LINE
- BCDC 100' SHORELINE BAND
- BUILDING ENTRY
- PARKING, S.C.D.
- OUTDOOR SEATING, S.L.D., S.C.D.
- LANDSCAPING, S.L.D., S.C.D.
- WALKWAY, S.L.D., S.C.D.
- PASSENGER PICKUP/DROP-OFF
- POOL & SPA, S.L.D.
- LOADING
- PAD MOUNTED TRANSFORMER, S.C.D. & S.E.D.
- BAY TRAIL (N.I.C.)
- BUILDING STRUCTURE ABOVE
- HIGH CEILING ABOVE
- STAIRS WITH ROOF ACCESS
- ARCHITECTURAL VERTICAL FIN SHADE SYSTEM
- MOVABLE PARTITION
- ROLL-UP DOOR
- FOLDING GLASS DOOR
- GUARDRAIL
- TRELLIS BELOW
- CANOPY BELOW
- GREEN ROOF
- PRIVATE TERRACE W/ DIVIDER
- ROOF DECK
- UNOCCUPIED ROOF
- STAIR AND ELEVATOR TOWER
- ROOFTOP MEP EQUIPMENTS TO BE SCREENED FROM STREET
- SOLAR READY AREA (15% OF TOTAL ROOF AREA)
- ROOF BELOW



PLANNING - HOTEL - BUILDING PLAN - FLOOR 3 1  
1" = 20'-0"



REV.	ISSUE	DATE
1	PLANNING	05.24.21
2	SUBMISSION 01	11.17.21
3	PLANNING	
4	SUBMISSION 02	



11/06/2024 7:59:18 PM

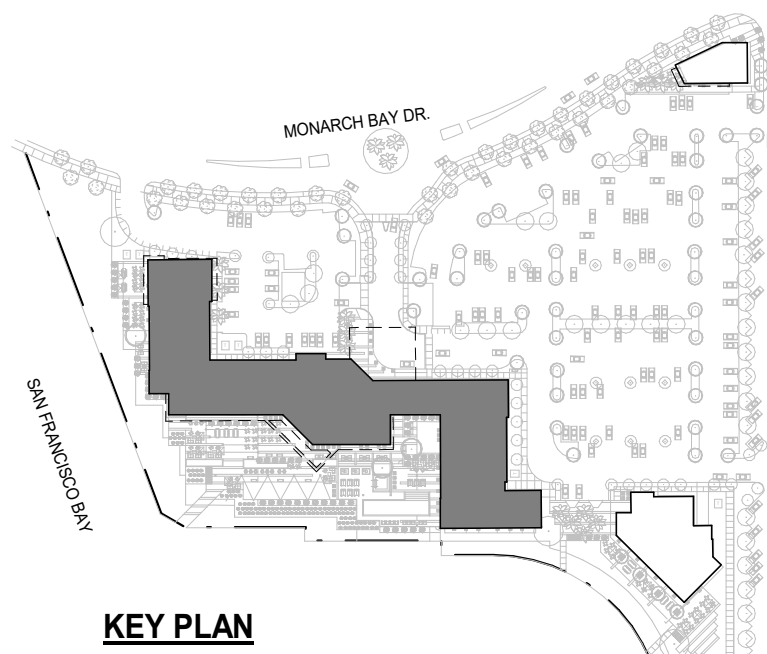
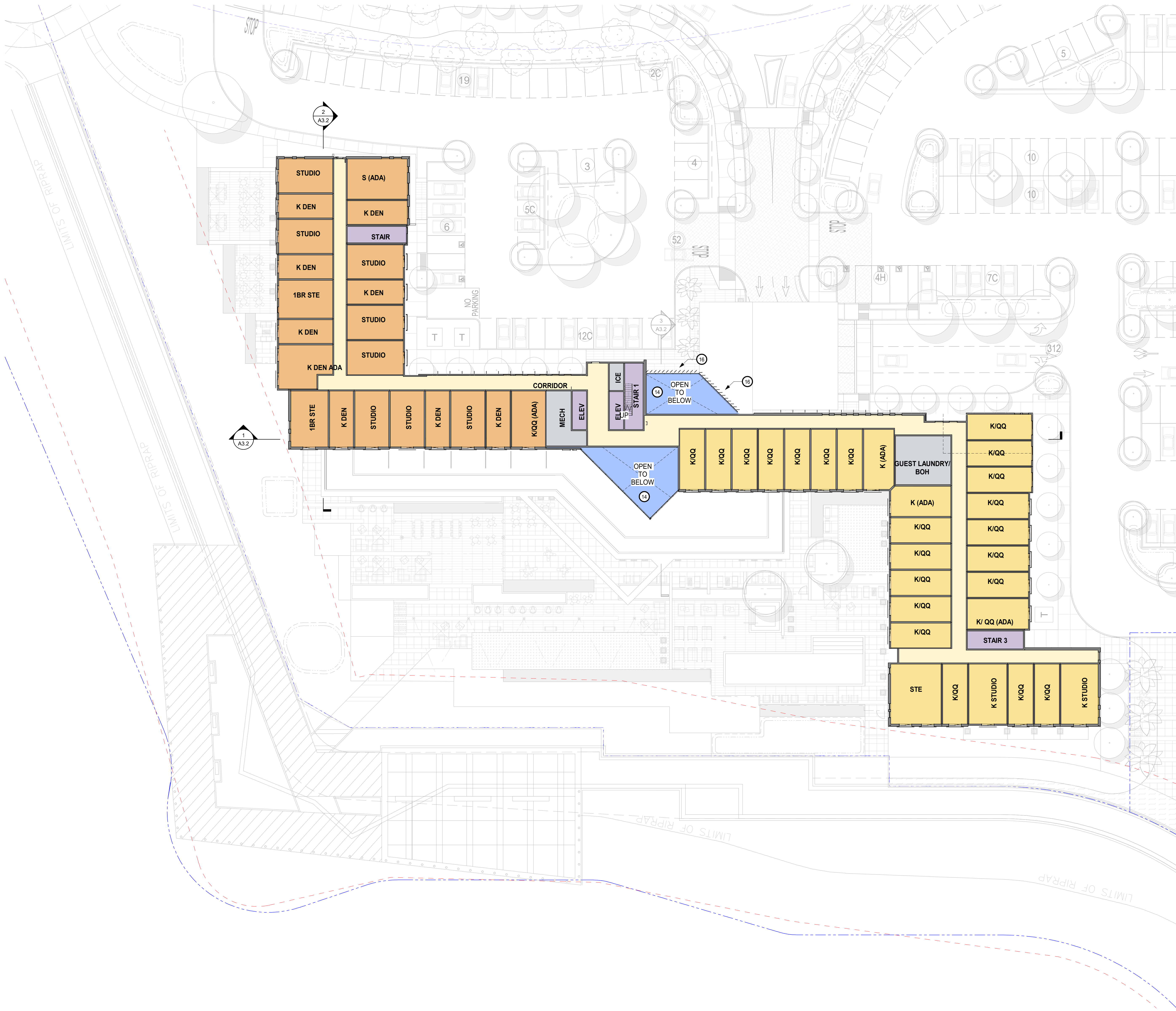
#### PLAN COLOR LEGEND

COMMON AREA
VERTICAL CIRCULATION / CORES
GROSS BUILDING AREA
LONG TERM STAY
SHORT TERM STAY
BUILDING UTILITIES "MEP"

#### SHEET NOTES

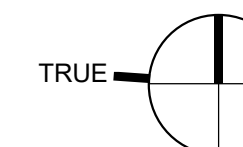
NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- PROPERTY LINE
- BCDC 100' SHORELINE BAND
- BUILDING ENTRY
- PARKING, S.C.D.
- OUTDOOR SEATING, S.L.D., S.C.D.
- LANDSCAPING, S.L.D., S.C.D.
- WALKWAY, S.L.D., S.C.D.
- PASSENGER PICKUP/DROP-OFF
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- ROLL-UP DOOR
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- GUARDRAIL
- TRELLIS BELOW
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- GREEN ROOF
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- ROOF DECK
- UNOCCUPIED ROOF
- STAIR AND ELEVATOR TOWER
- ROOFTOP MEP EQUIPMENTS TO BE SCREENED FROM STREET
- SOLAR READY AREA (15% OF TOTAL ROOF AREA)
- ROOF BELOW



PLANNING - HOTEL - BUILDING PLAN - FLOOR 4 1

1" = 20'-0"



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ARCHITECTURE

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3	PLANNING	
4	SUBMISSION 02	

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HOTEL - LEVEL  
4 FLOOR PLAN

SHEET TITLE

SCALE As indicated

PROJ. # 2024 DRAWN BY CWC

SHEET SIZE: 30 x 42

A2.4



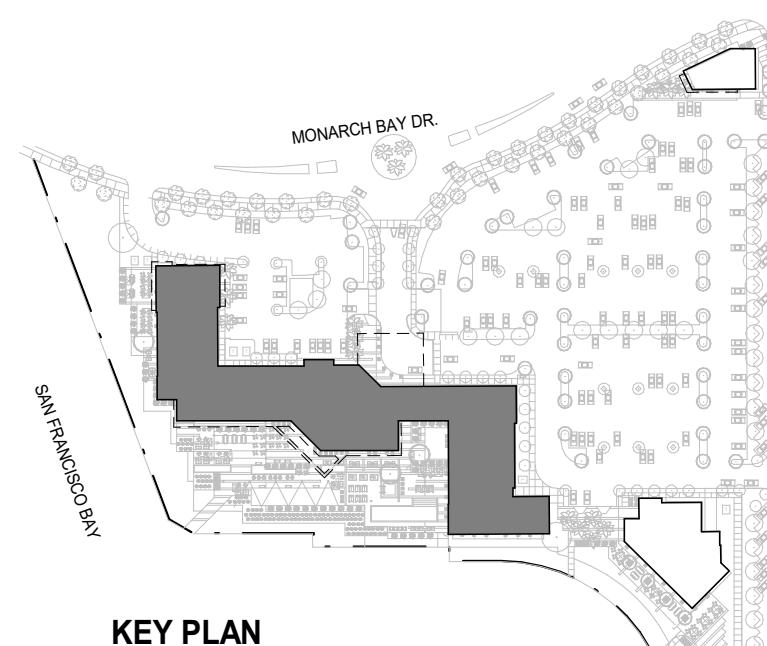
## PLAN COLOR LEGEND

	VERTICAL CIRCULATION / CORES
	GROSS BUILDING AREA
	LONG TERM STAY
	OPEN SPACE
	SHORT TERM STAY
	BUILDING UTILITIES "MEP"

## SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

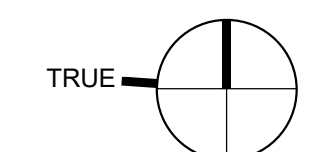
- PROPERTY LINE
- BCDC 100' SHORELINE BAND
- BUILDING ENTRY
- PARKING, S.C.D.
- OUTDOOR SEATING, S.L.D., S.C.D.
- LANDSCAPING, S.L.D., S.C.D.
- WALKWAY, S.L.D., S.C.D.
- PASSENGER PICKUP/DROP-OFF
- POOL & SPA, S.L.D.
- LOADING
- PAD MOUNTED TRANSFORMER, S.C.D. & S.E.D.
- BAY TRAIL (N.I.C.)
- BUILDING STRUCTURE ABOVE
- HIGH CEILING ABOVE
- STAIRS WITH ROOF ACCESS
- ARCHITECTURAL VERTICAL FIN SHADE SYSTEM
- MOVABLE PARTITION
- ROLL-UP DOOR
- FOLDING GLASS DOOR
- GUARDRAIL
- TRELLIS BELOW
- CANOPY BELOW
- GREEN ROOF
- PRIVATE TERRACE W/ DIVIDER
- ROOF DECK
- UNOCCUPIED ROOF
- STAIR AND ELEVATOR TOWER
- ROOFTOP MEP EQUIPMENTS TO BE SCREENED FROM STREET
- SOLAR READY AREA (15% OF TOTAL ROOF AREA)
- ROOF BELOW



KEY PLAN

PLANNING - HOTEL - BUILDING PLAN - FLOOR 5 1

1" = 20'-0"





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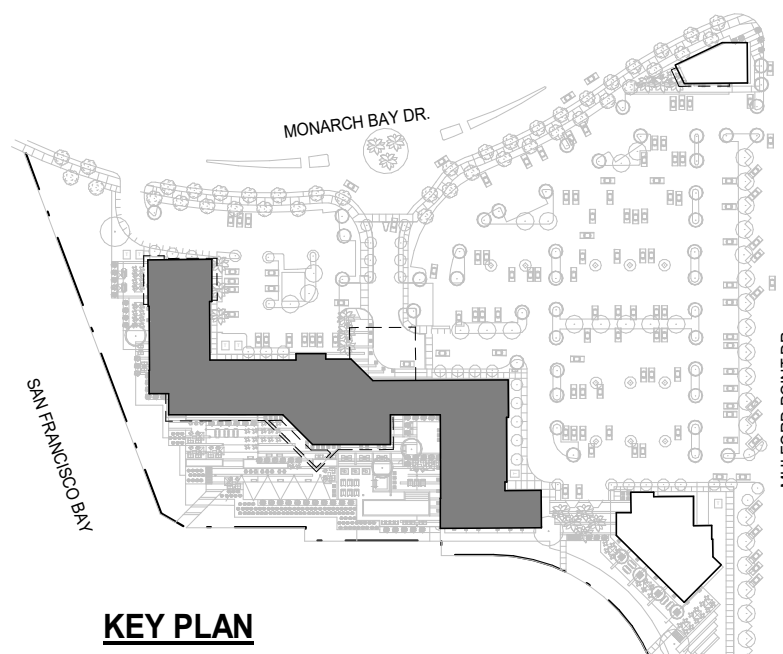
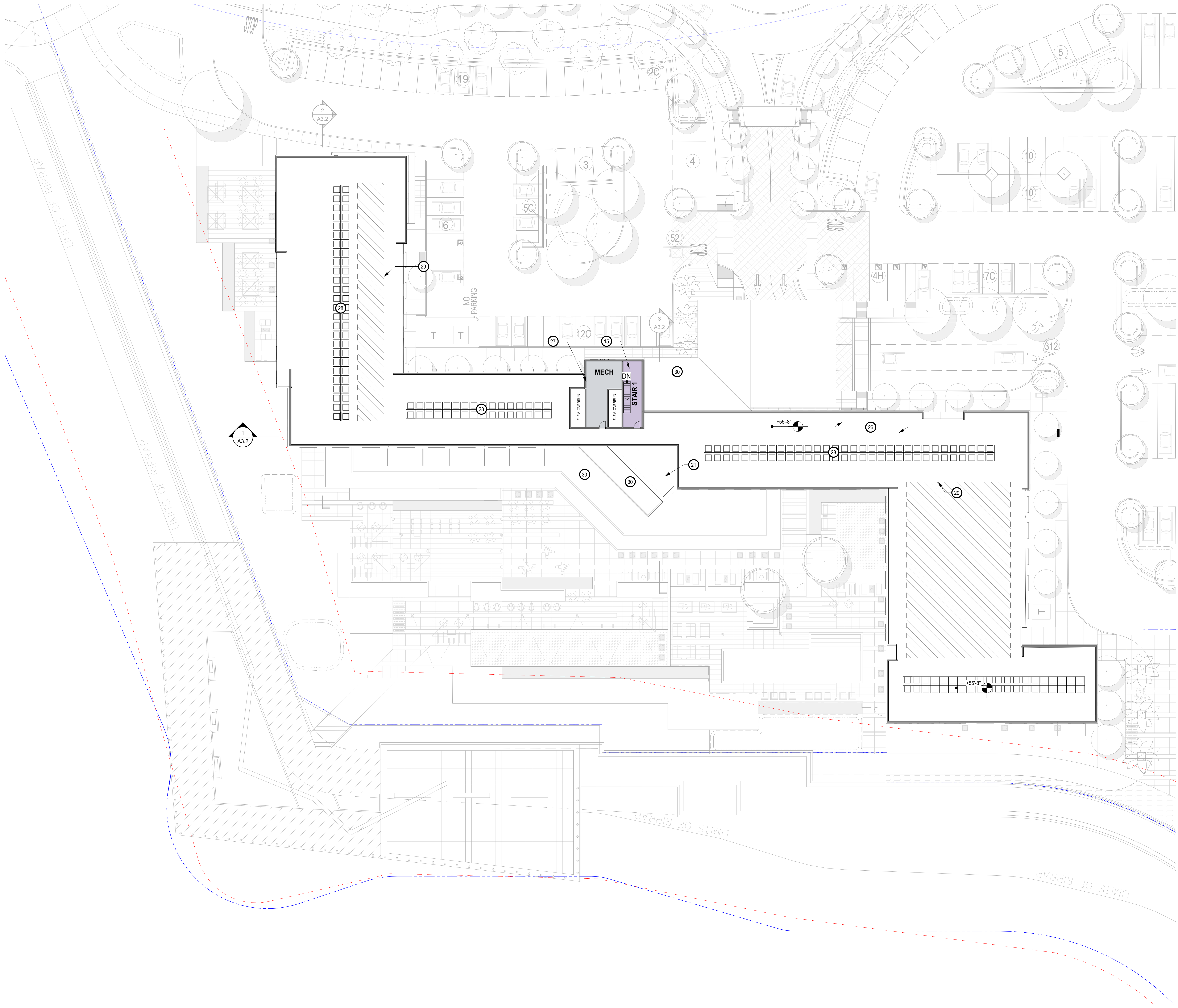
#### PLAN COLOR LEGEND

- VERTICAL CIRCULATION / CORES
- BUILDING UTILITIES "MEP"

#### SHEET NOTES

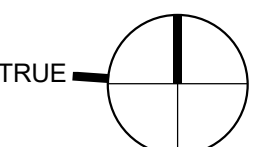
NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- PROPERTY LINE
- BCDC 100' SHORELINE BAND
- BUILDING ENTRY
- PARKING, S.C.D.
- OUTDOOR SEATING, S.L.D., S.C.D.
- LANDSCAPING, S.L.D., S.C.D.
- WALKWAY, S.L.D., S.C.D.
- PASSENGER PICKUP/DROP-OFF
- POOL & SPA, S.L.D.
- LOADING
- PAD MOUNTED TRANSFORMER, S.C.D. & S.E.D.
- BAY TRAIL (N.I.C.)
- BUILDING STRUCTURE ABOVE
- HIGH CEILING ABOVE
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- MOVABLE PARTITION
- ROLL-UP DOOR
- FOLDING GLASS DOOR
- GUARDRAIL
- TRELLIS BELOW
- CANOPY BELOW
- GREEN ROOF
- PRIVATE TERRACE W/ DIVIDER
- ROOF DECK
- UNOCCUPIED ROOF
- STAIR AND ELEVATOR TOWER
- ROOFTOP MEP EQUIPMENTS TO BE SCREENED FROM STREET
- SOLAR READY AREA (15% OF TOTAL ROOF AREA)
- ROOF BELOW



#### PLANNING - HOTEL - BUILDING PLAN - ROOF 1

1" = 20'-0"



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#### HOTEL - ROOF PLAN

SHEET TITLE	
SCALE	As indicated
PROJ. #	2024 DRAWN BY C
SHEET SIZE	30 x 42



11/02/2024 8:01:37 PM

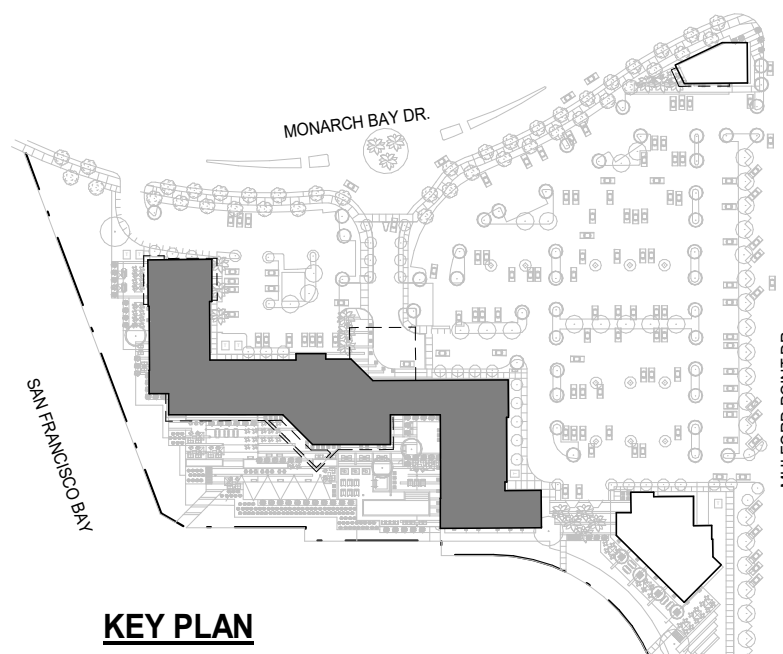
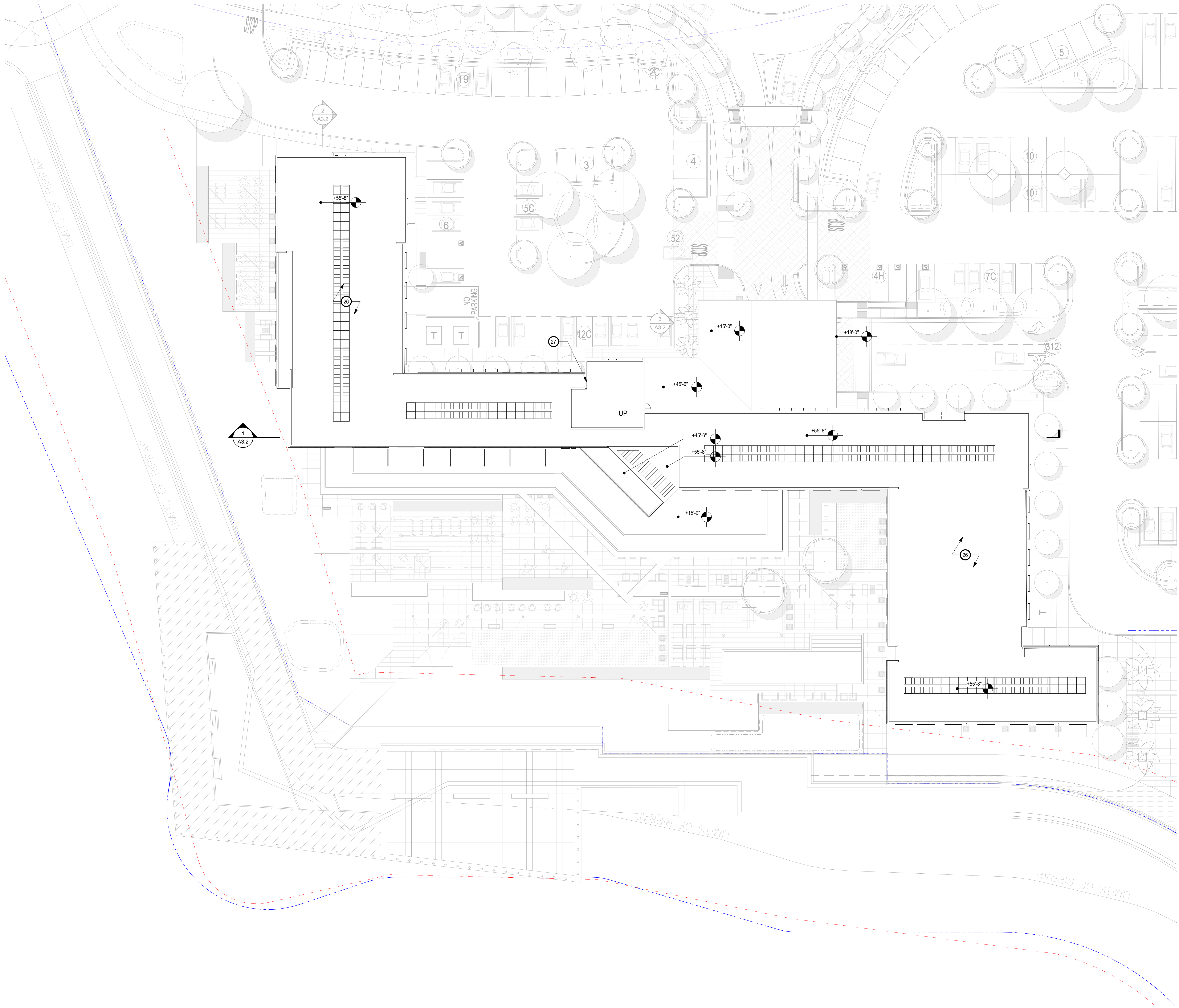
PLAN COLOR LEGEND

No colors defined

SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

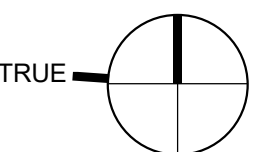
- PROPERTY LINE
- BCDC 100' SHORELINE BAND
- BUILDING ENTRY
- PARKING, S.C.D.
- OUTDOOR SEATING, S.L.D., S.C.D.
- LANDSCAPING, S.L.D., S.C.D.
- WALKWAY, S.L.D., S.C.D.
- PASSENGER PICKUP/DROP-OFF
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- ROOF DECK
- UNOCCUPIED ROOF
- STAIR AND ELEVATOR TOWER
- ROOFTOP MEP EQUIPMENTS TO BE SCREENED FROM STREET
- SOLAR READY AREA (15% OF TOTAL ROOF AREA)
- ROOF BELOW



KEY PLAN

PLANNING - HOTEL - BUILDING PLAN - UPPER ROOF 1

1" = 20'-0"



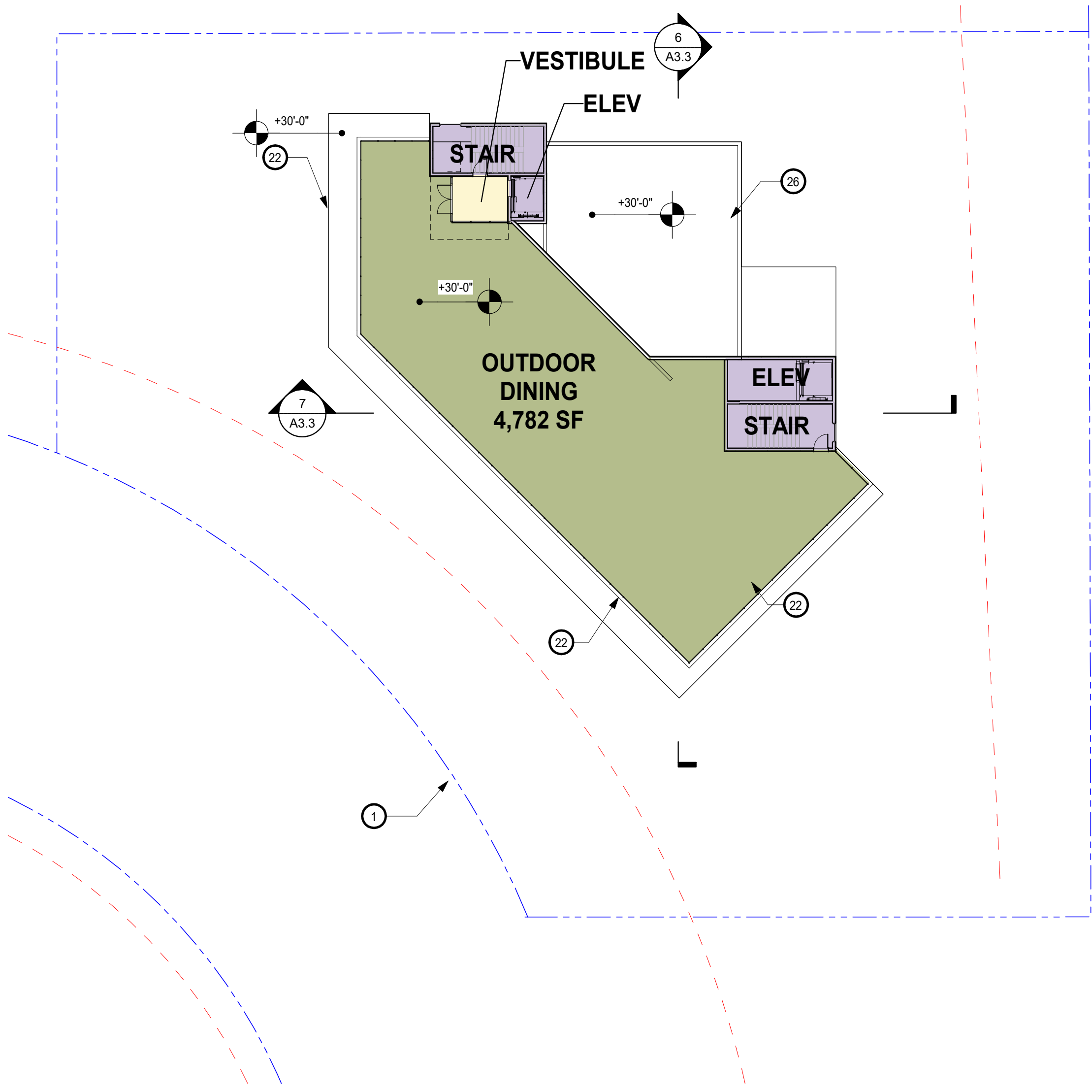
REV.	ISSUE	DATE
	PLANNING	05.24.21
	SUBMISSION 01	
	PLANNING	11.17.21
	SUBMISSION 02	

STAMP  
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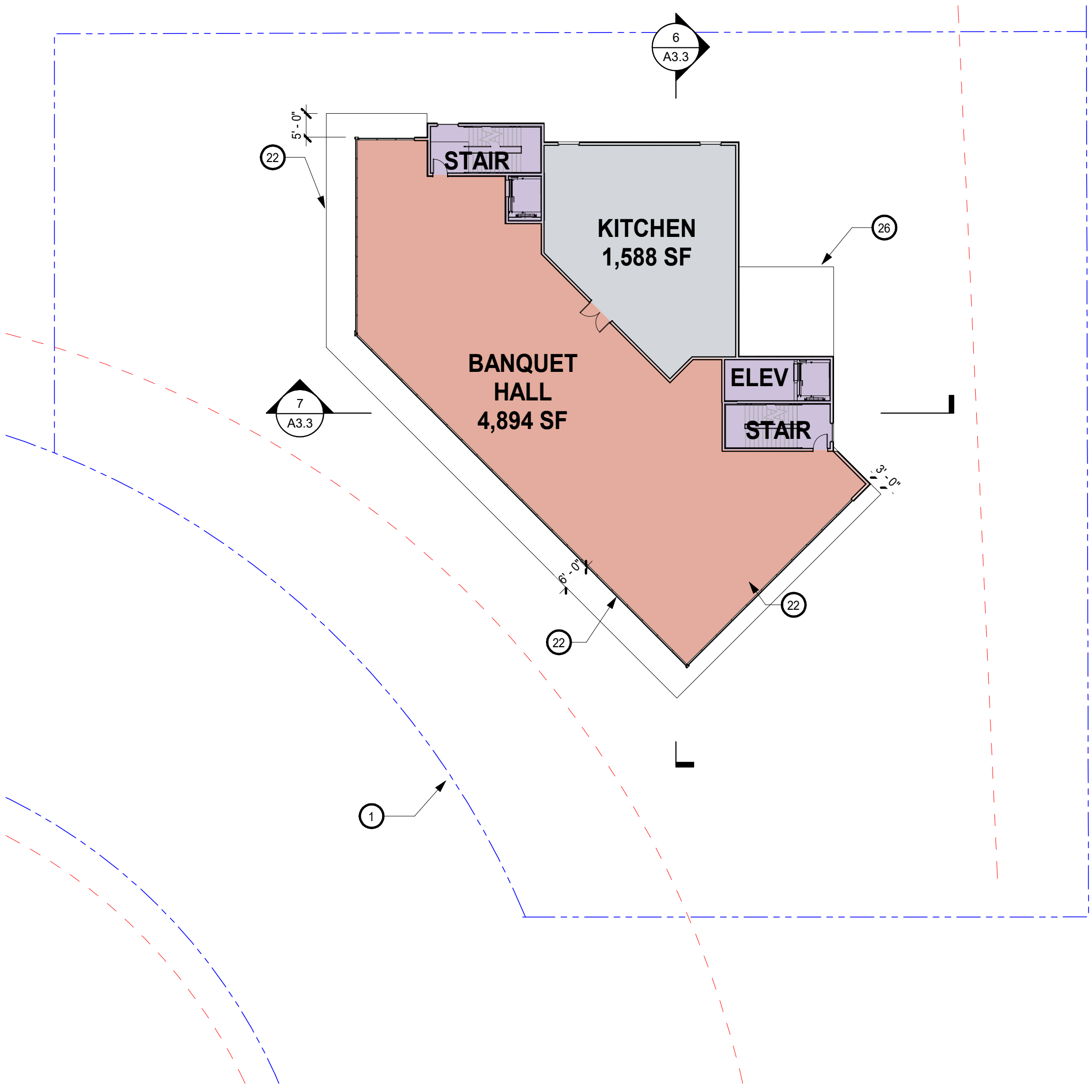
HOTEL - UPPER  
ROOF PLAN

SHEET TITLE  
SCALE As indicated  
PROJ. # 2024 DRAWN BY CWC  
SHEET SIZE: 30 x 42

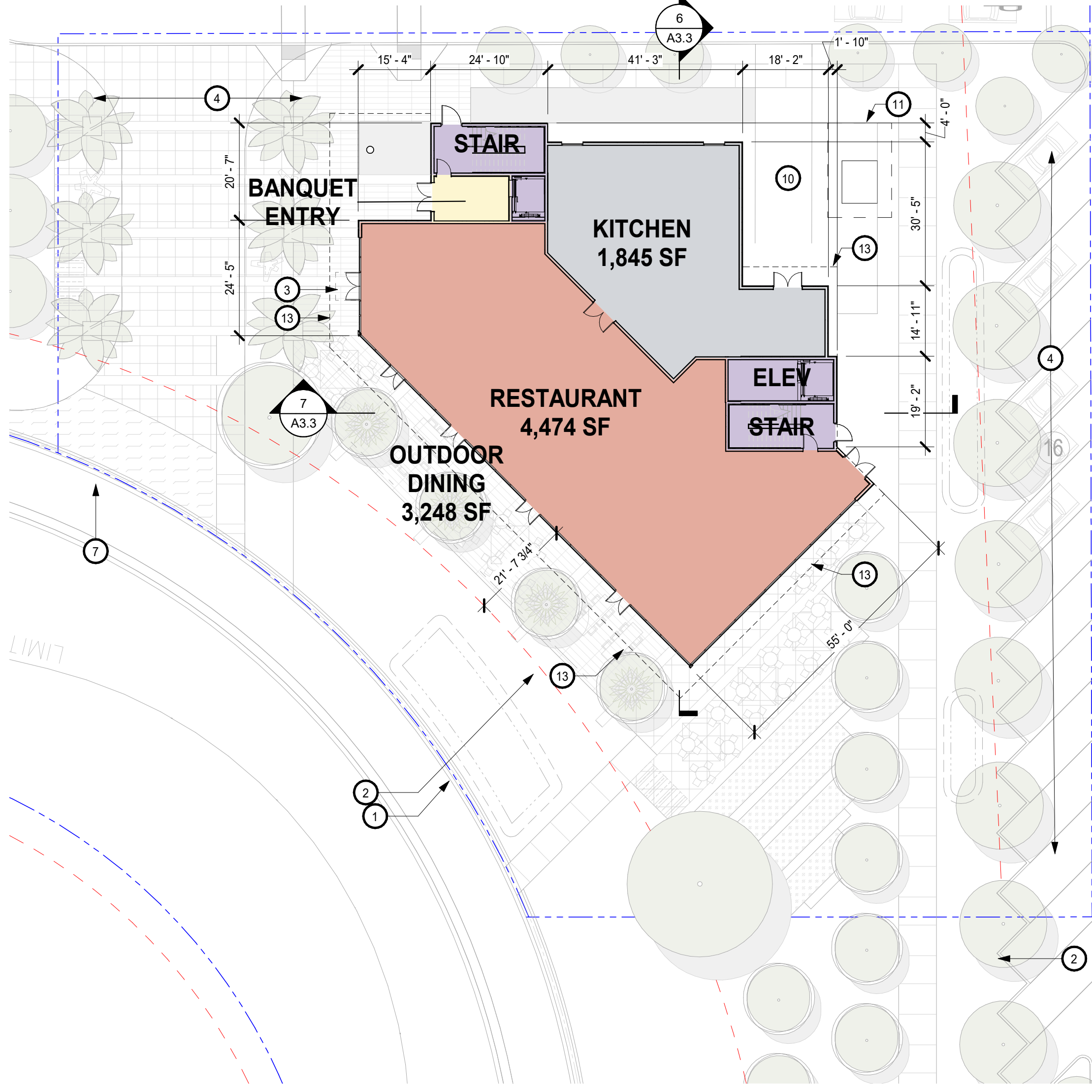




BUILDING PLAN - RESTAURANT - ROOF PLAN 3  
1" = 20'-0"



BUILDING PLAN - RESTAURANT - FLOOR 2 2  
1" = 20'-0"



BUILDING PLAN - RESTAURANT - FLOOR 1 1  
1" = 20'-0"

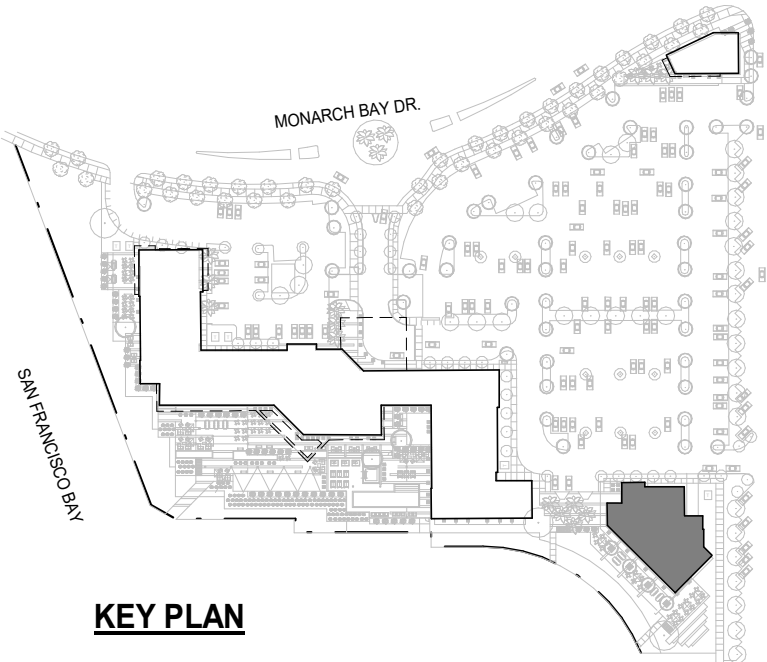
PLAN COLOR LEGEND

- MARKET RATE RESIDENTIAL GROSS
- VERTICAL CIRCULATION / CORES
- COMMERCIAL RETAIL RESTAURANT
- BUILDING UTILITIES "MEP"

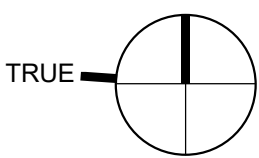
SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- 1 PROPERTY LINE
- 2 BCDC 100' SHORELINE BAND
- 3 BUILDING ENTRY
- 4 PARKING, S.C.D.
- 5 OUTDOOR SEATING, S.L.D., S.C.D.
- 6 LANDSCAPING, S.L.D., S.C.D.
- 7 WALKWAY, S.L.D., S.C.D.
- 8 PASSENGER PICKUP/DROP-OFF
- 9 POOL & SPA, S.L.D.
- 10 LOADING
- 11 PAD MOUNTED TRANSFORMER, S.C.D. & S.E.D.
- 12 BAY TRAIL (N.I.C.)
- 13 BUILDING STRUCTURE ABOVE
- 14 HIGH CEILING ABOVE
- 15 STAIRS WITH ROOF ACCESS
- 16 ARCHITECTURAL VERTICAL FIN SHADE SYSTEM
- 17 MOVABLE PARTITION
- 18 ROLL-UP DOOR
- 19 FOLDING GLASS DOOR
- 20 GUARDRAIL
- 21 TRELLIS BELOW
- 22 CANOPY BELOW
- 23 GREEN ROOF
- 24 PRIVATE TERRACE W/ DIVIDER
- 25 ROOF DECK
- 26 UNOCCUPIED ROOF
- 27 STAIR AND ELEVATOR TOWER



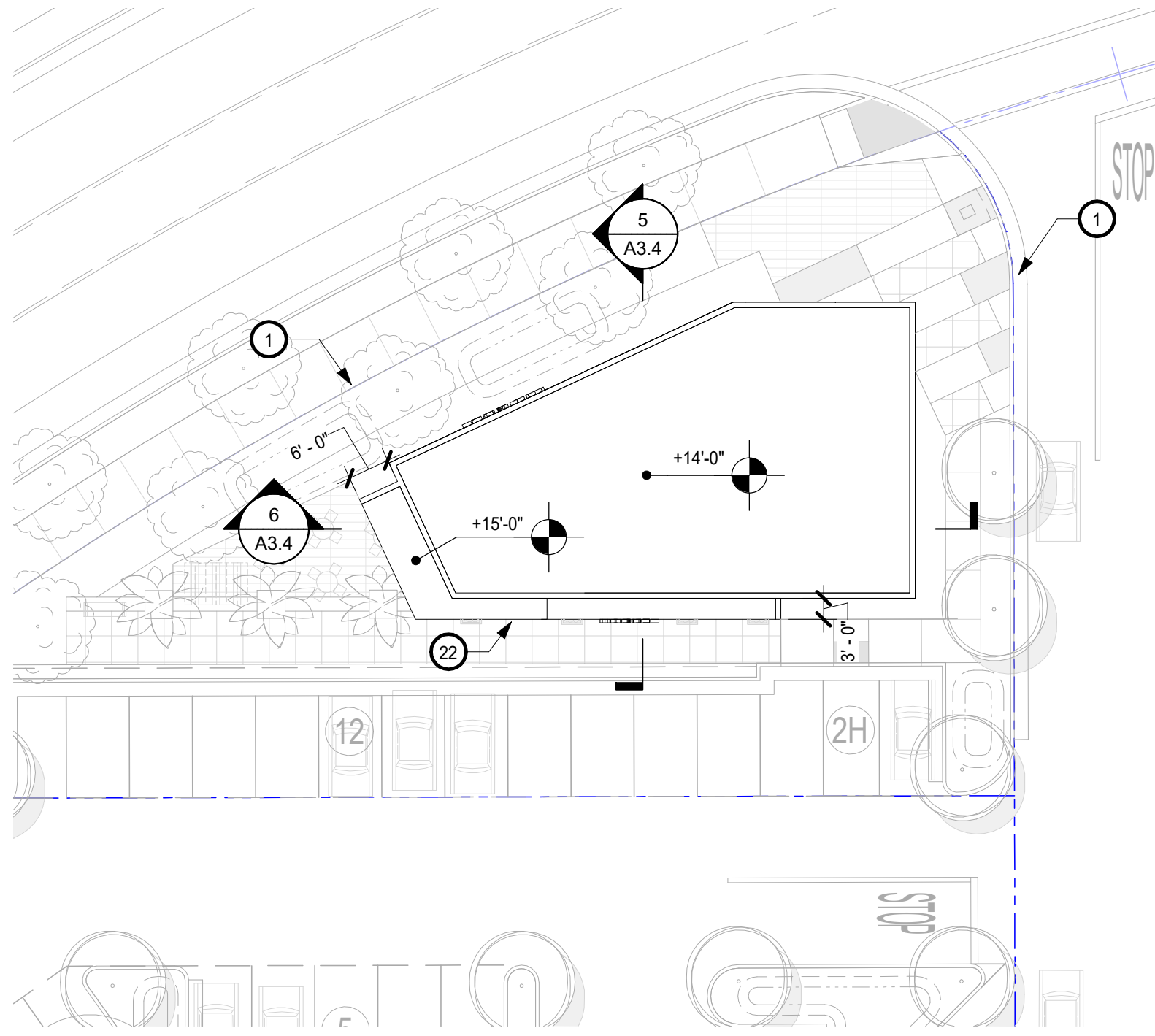
KEY PLAN



REV.	ISSUE	DATE
1	PLANNING	05.24.21
2	SUBMISSION 01	
3	PLANNING	11.17.21
4	SUBMISSION 02	

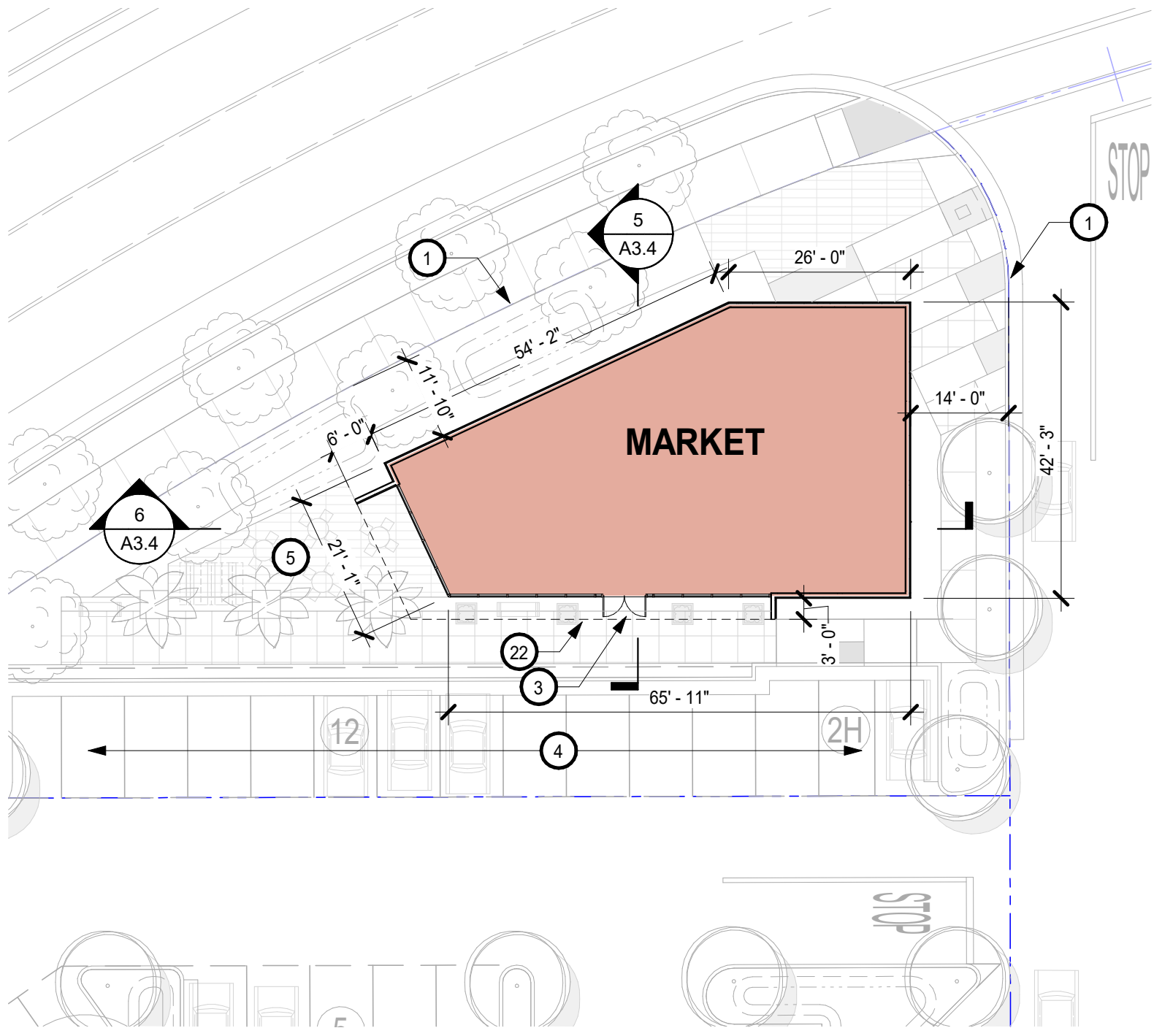


11/09/2024 5:55:26 PM



PLANNING - BUILDING PLAN - MARKET - ROOF 2

1" = 20'-0"



PLANNING - BUILDING PLAN - MARKET - FLOOR 1 1

1" = 20'-0"

SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- 1 PROPERTY LINE
- 2 BDC 100' SHORELINE BAND
- 3 BUILDING ENTRY
- 4 PARKING, S.C.D.
- 5 OUTDOOR SEATING, S.L.D., S.C.D.
- 6 LANDSCAPING, S.L.D., S.C.D.
- 7 WALKWAY, S.L.D., S.C.D.
- 8 PASSENGER PICKUP/DROP-OFF
- 9 POOL & SPA, S.L.D.
- 10 LOADING
- 11 PAD MOUNTED TRANSFORMER, S.C.D. & S.E.D.
- 12 BAY TRAIL (N.I.C.)
- 13 BUILDING STRUCTURE ABOVE
- 14 HIGH CEILING ABOVE
- 15 STAIRS WITH ROOF ACCESS
- 16 ARCHITECTURAL VERTICAL FIN SHADE SYSTEM
- 17 MOVABLE PARTITION
- 18 ROLL-UP DOOR
- 19 FOLDING GLASS DOOR
- 20 GUARDRAIL
- 21 TRELLIS BELOW
- 22 CANOPY BELOW
- 23 GREEN ROOF
- 24 PRIVATE TERRACE W/ DIVIDER
- 25 ROOF DECK
- 26 UNOCCUPIED ROOF
- 27 STAIR AND ELEVATOR TOWER

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REV.	ISSUE	DATE
1	PLANNING	05.24.21
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3	PLANNING	
4	SUBMISSION 02	

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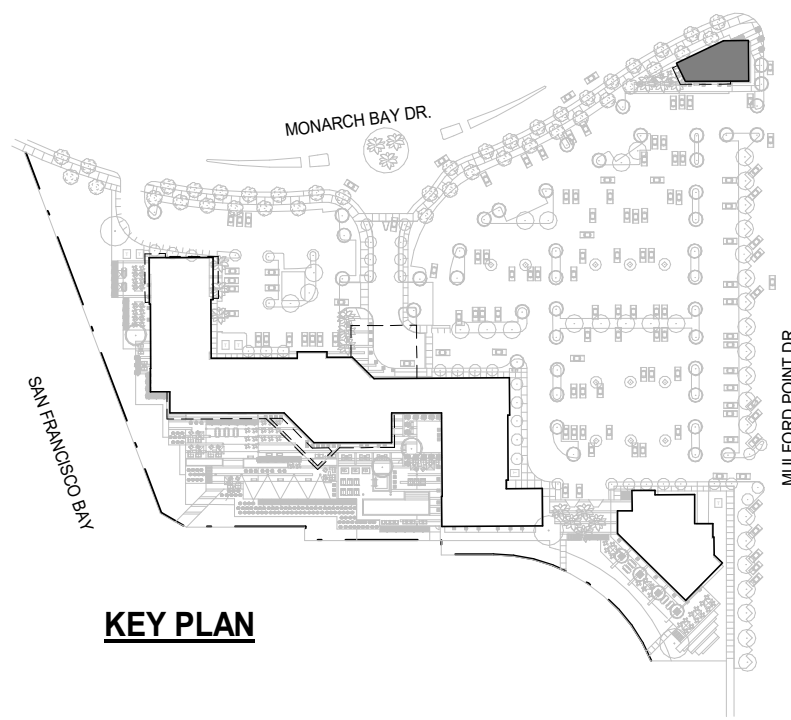
MARKET -  
FLOOR PLANS

SHEET TITLE

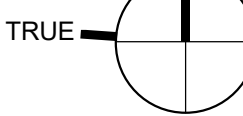
SCALE As indicated

PROJ. # 2024 DRAWN BY

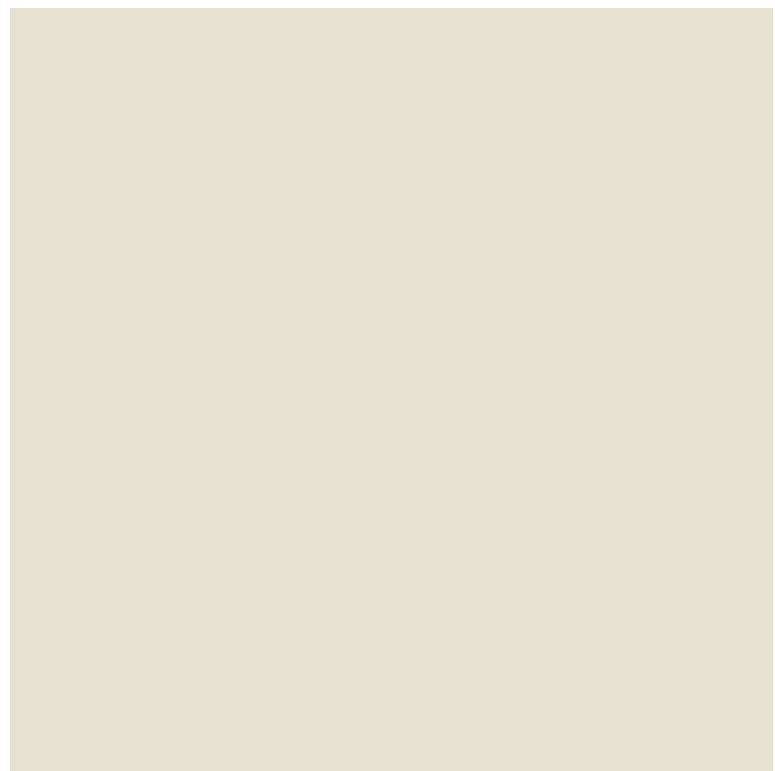
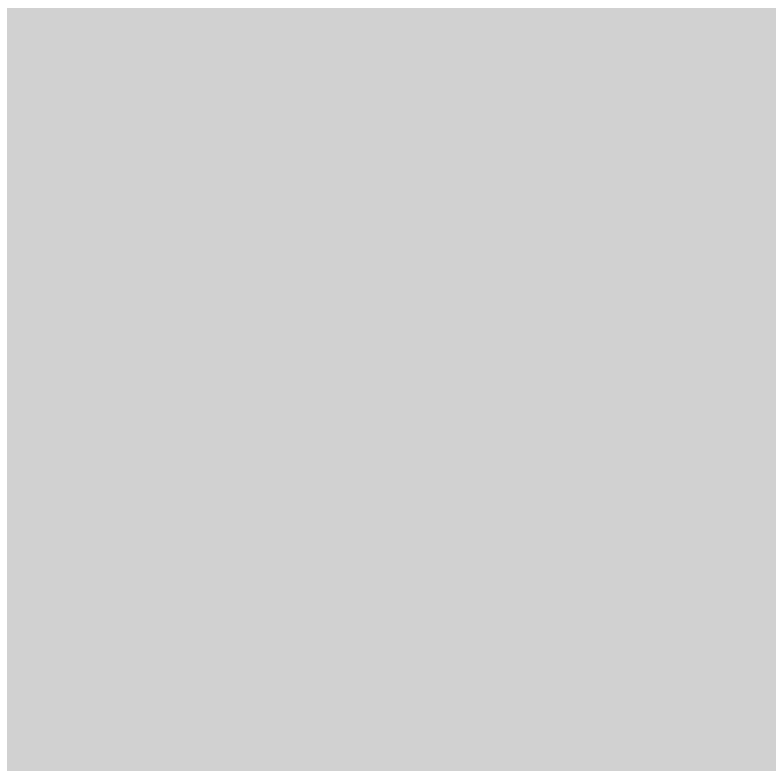
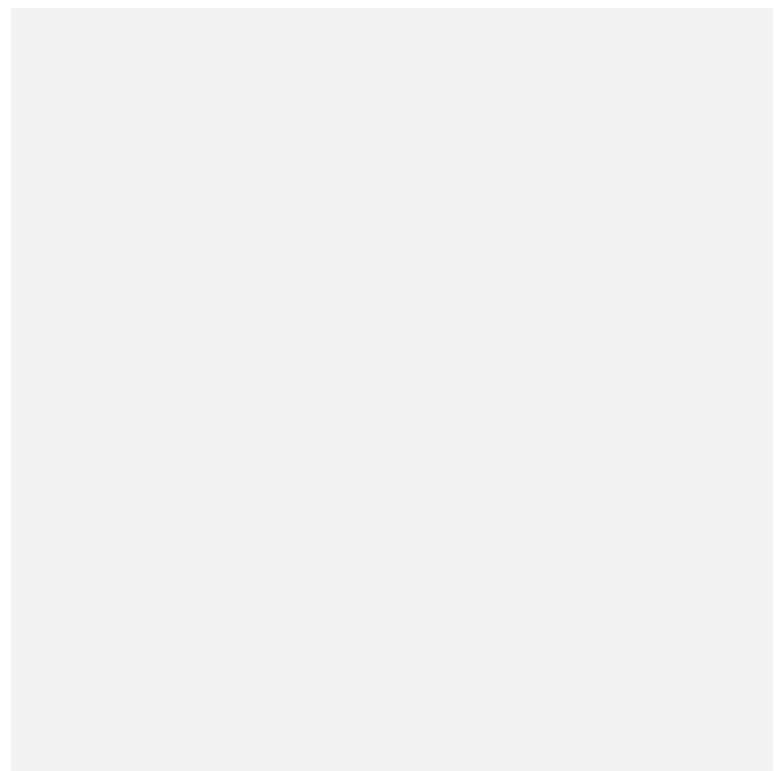
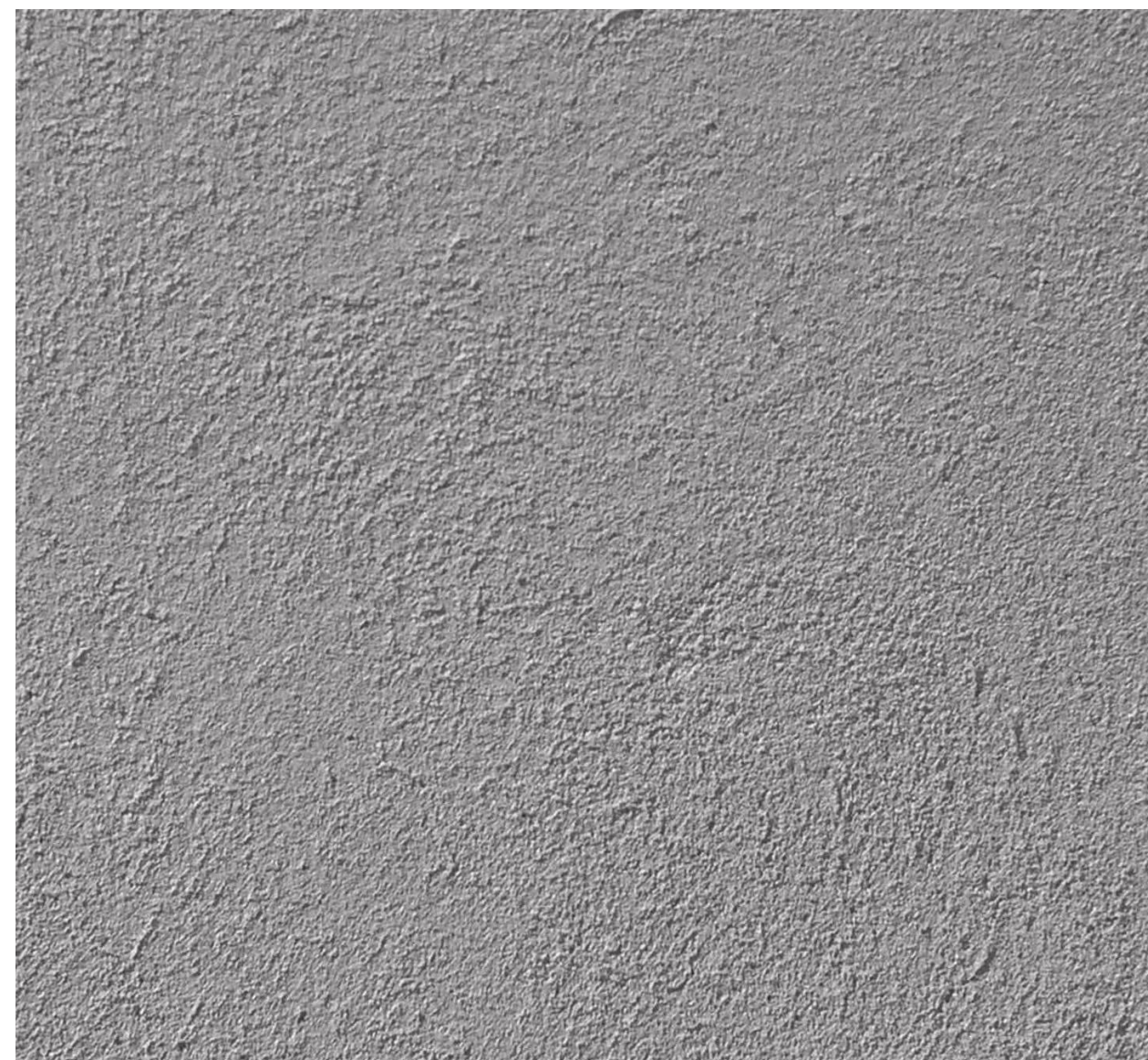
SHEET SIZE: 30 x 42



KEY PLAN







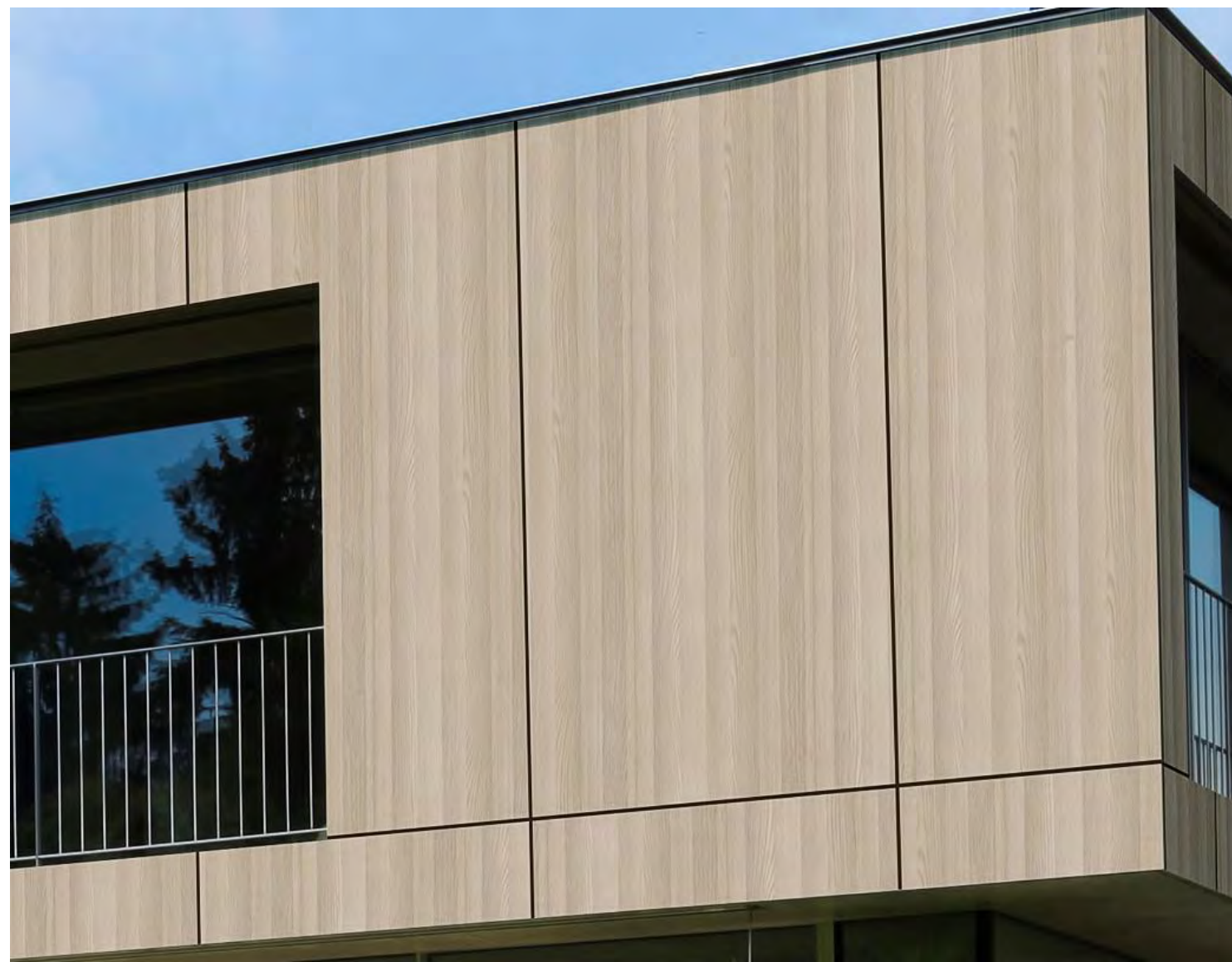
1 EXTERIOR STUCCO  
TEXTURE SAMPLE (APPLIES TO ALL COLORS)

1A EXTERIOR STUCCO  
COLOR: BRIGHT WHITE

1B EXTERIOR STUCCO  
COLOR: OFF-WHITE

1C EXTERIOR STUCCO  
COLOR: MEDIUM GREY

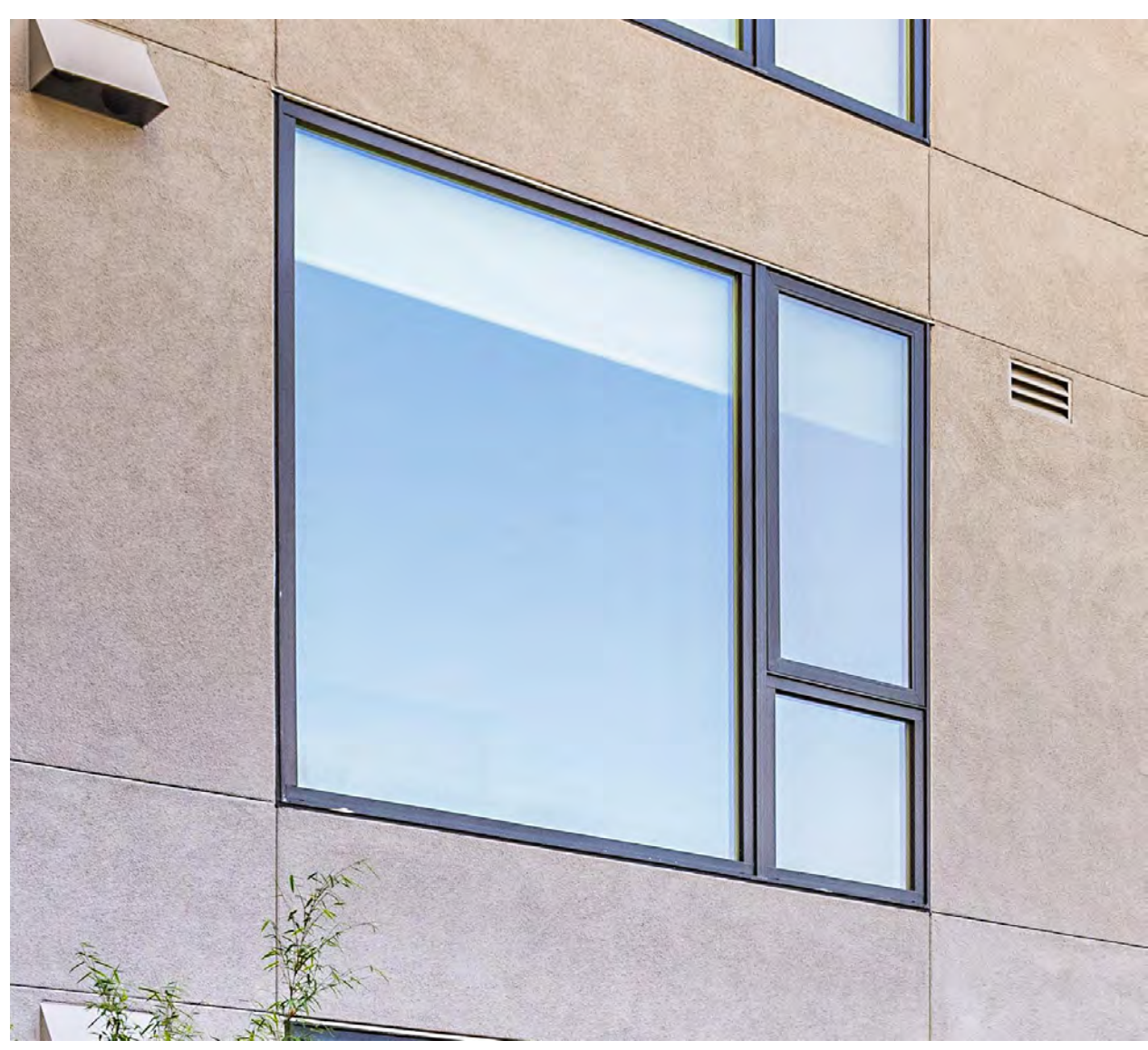
1D EXTERIOR STUCCO  
COLOR: DARK GREY



2 WOOD LOOK RAINSCREEN



3 AWNING



4 VINYL WINDOW



5 ALUMINUM STOREFRONT



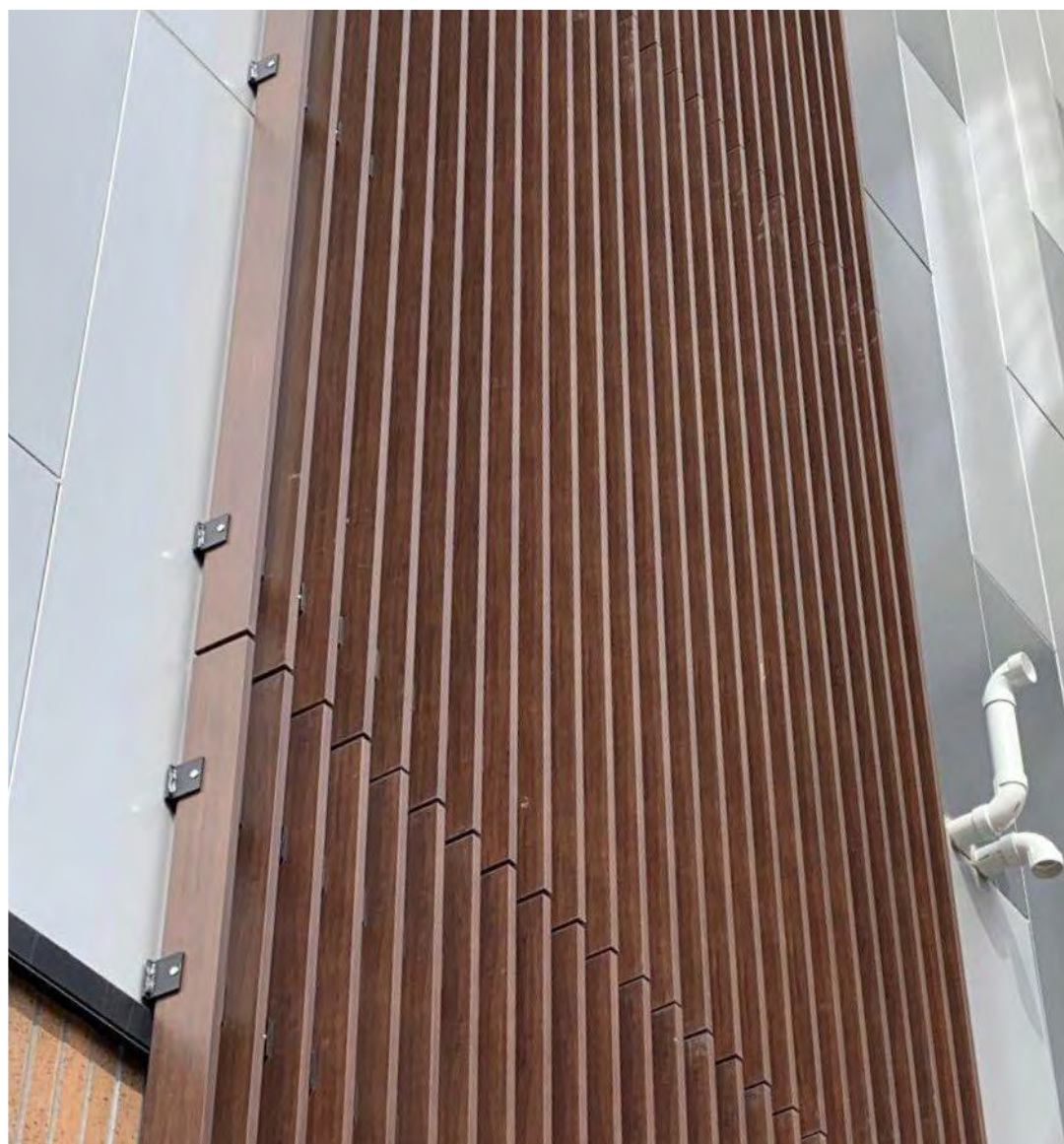
6 JULIET BALCONY WITH GLASS RAILING



7 JULIET BALCONY WITH METAL RAILING



8 GLASS GUARDRAIL



9 VERTICAL WOOD FINIS



10 VERTICAL METAL FINIS



14 RAINSCREEN PANEL



#### SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.  
NOTE: SEE SHEET G3.3 FOR MATERIAL BOARD IMAGES

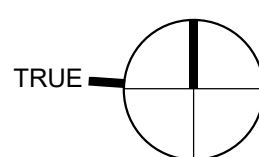
- 1 EXTERIOR STUCCO
  - 1A COLOR: BRIGHT WHITE
  - 1B COLOR: OFF-WHITE
  - 1C COLOR: TAUPE
  - 1D COLOR: DARK GREY
- 2 WOOD GRAIN RAINSCREEN PANEL
- 3 TRELLIS
- 4 VINYL WINDOW
- 5 ALUMINUM STOREFRONT
- 6 JULIET BALCONY WITH GLASS RAILING
- 7 JULIET BALCONY WITH METAL RAILING
- 8 GLASS RAILING
- 9 VERTICAL WOOD FINIS
- 10 VERTICAL METAL FINIS
- 11 PORTE-COCHERE
- 12 SIGNAGE
- 13 CANOPY
- 14 RAINSCREEN PANELS

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REV.	ISSUE	DATE
	PLANNING	05.24.21
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	SUBMISSION 02	

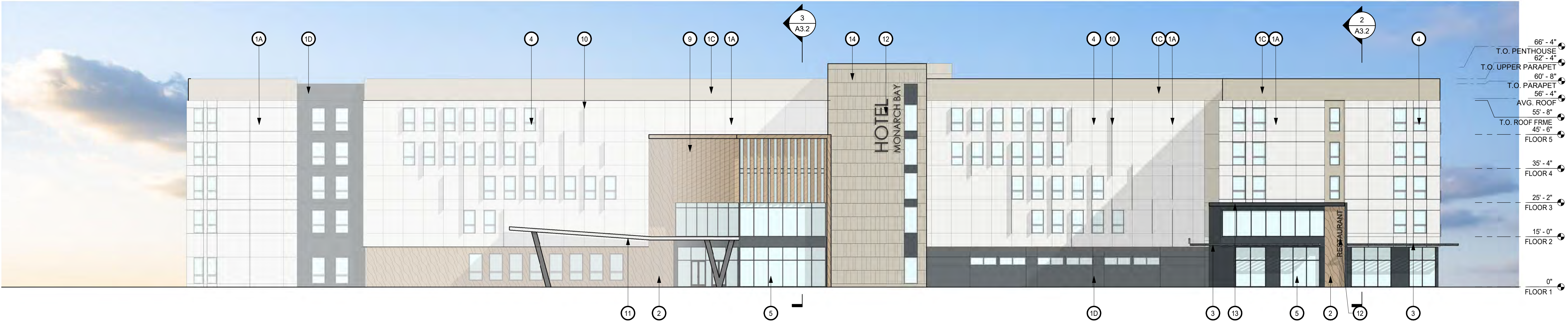
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#### MATERIAL BOARD

SHEET TITLE  
SCALE 12" = 1'-0"  
PROJ. # 2024 DRAWN BY JC  
SHEET SIZE: 30 x 42

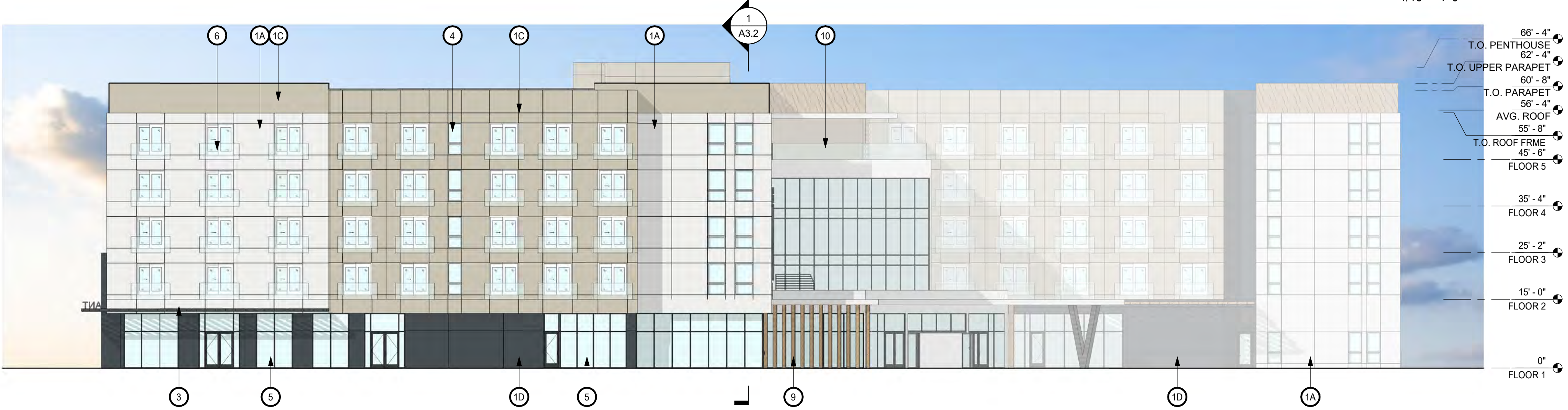






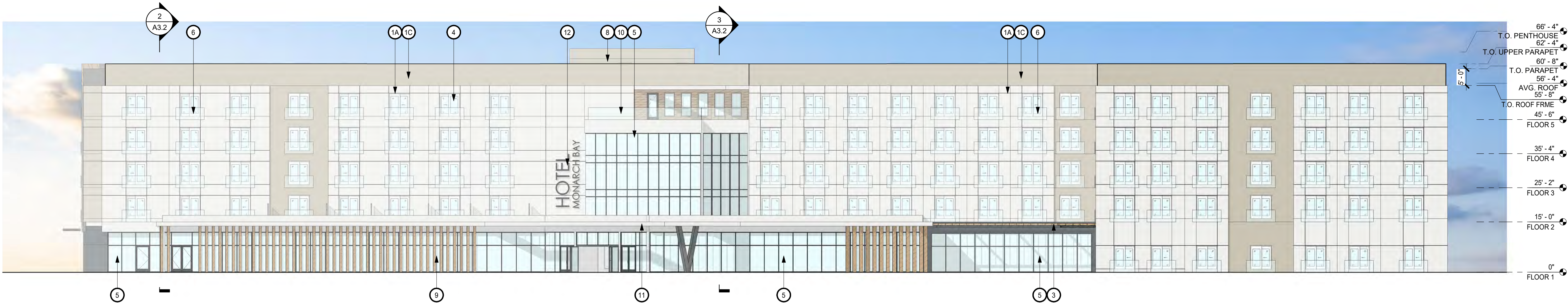
BUILDING ELEVATION - HOTEL - EAST 1

1/16" = 1'-0"



BUILDING ELEVATION - HOTEL - NORTH 2

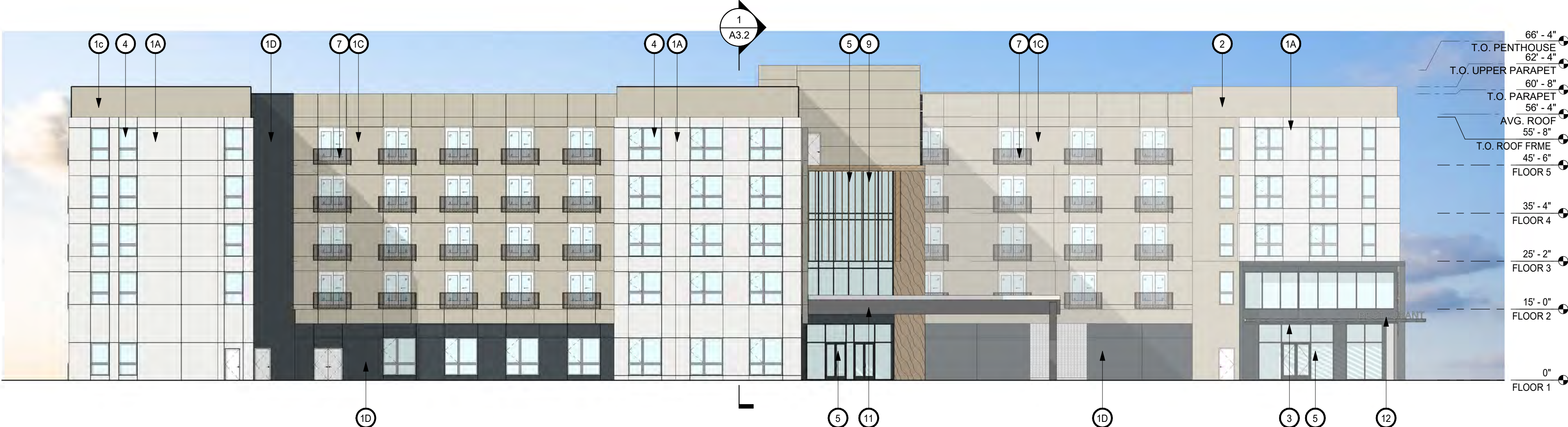
1/16" = 1'-0"



BUILDING ELEVATION - HOTEL - WEST 3

1/16" = 1'-0"

- SHEET NOTES**
- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- NOTE: SEE SHEET G3.3 FOR MATERIAL BOARD IMAGES
- 1 EXTERIOR STUCCO
  - 1A COLOR: BRIGHT WHITE
  - 1B COLOR: OFF-WHITE
  - 1C COLOR: TAUPE
  - 1D COLOR: DARK GREY
  - 2 WOOD GRAIN RAINSCREEN PANEL
  - 3 TRELLIS
  - 4 VINYL WINDOW
  - 5 ALUMINUM STOREFRONT
  - 6 JULIET BALCONY WITH GLASS RAILING
  - 7 JULIET BALCONY WITH METAL RAILING
  - 8 GLASS RAILING
  - 9 VERTICAL WOOD FINIS
  - 10 VERTICAL METAL FINIS
  - 11 PORTE-COCHERE
  - 12 SIGNAGE
  - 13 CANOPY
  - 14 RAINSCREEN PANELS

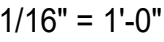
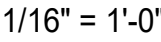
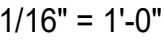


BUILDING ELEVATION - HOTEL - SOUTH 4

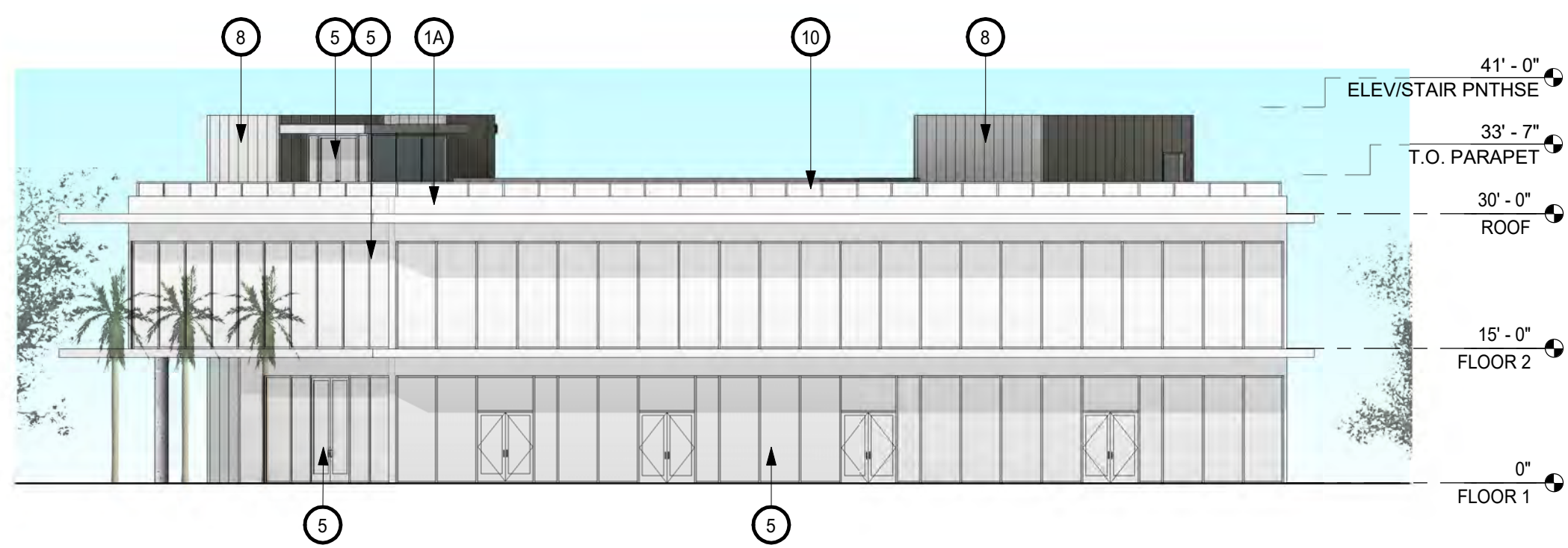
1/16" = 1'-0"

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REV.	ISSUE	DATE
1	PLANNING SUBMISSION 01	05.24.21
2	PLANNING SUBMISSION 02	11.17.21



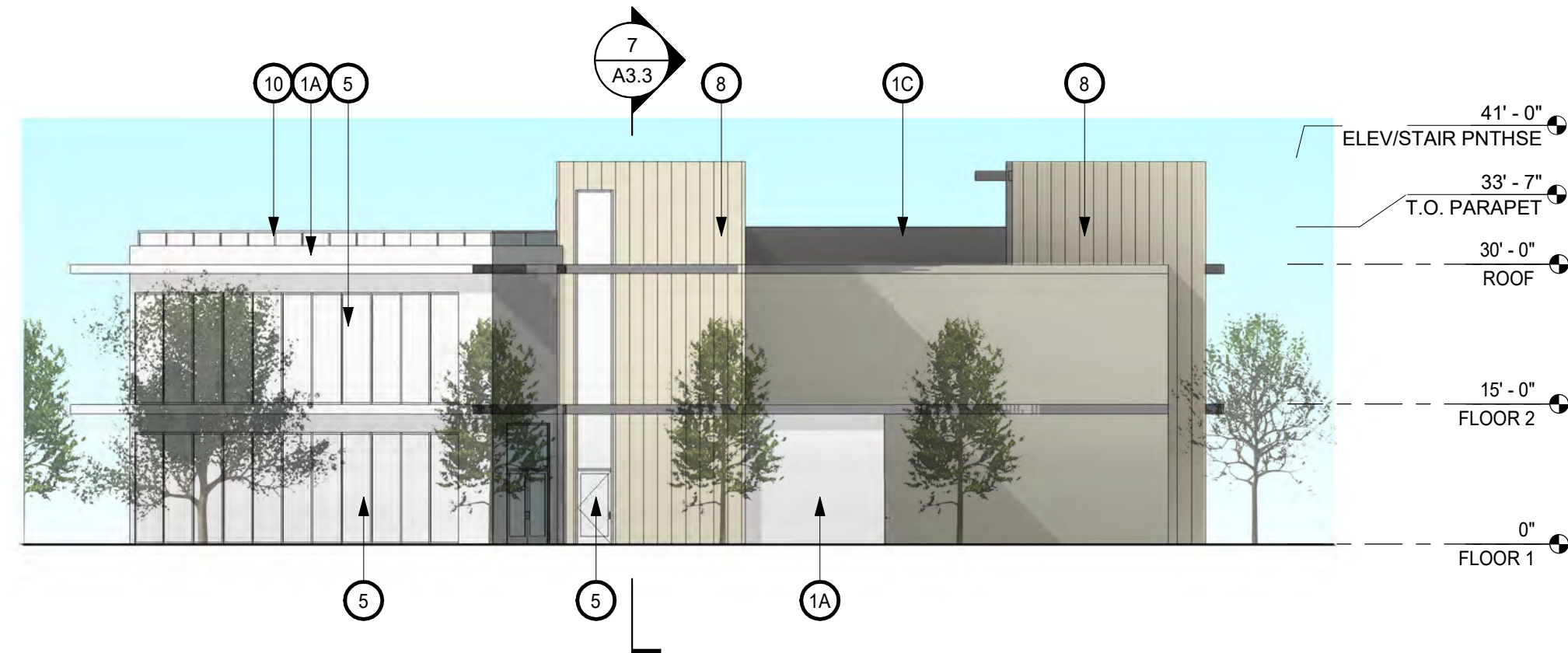






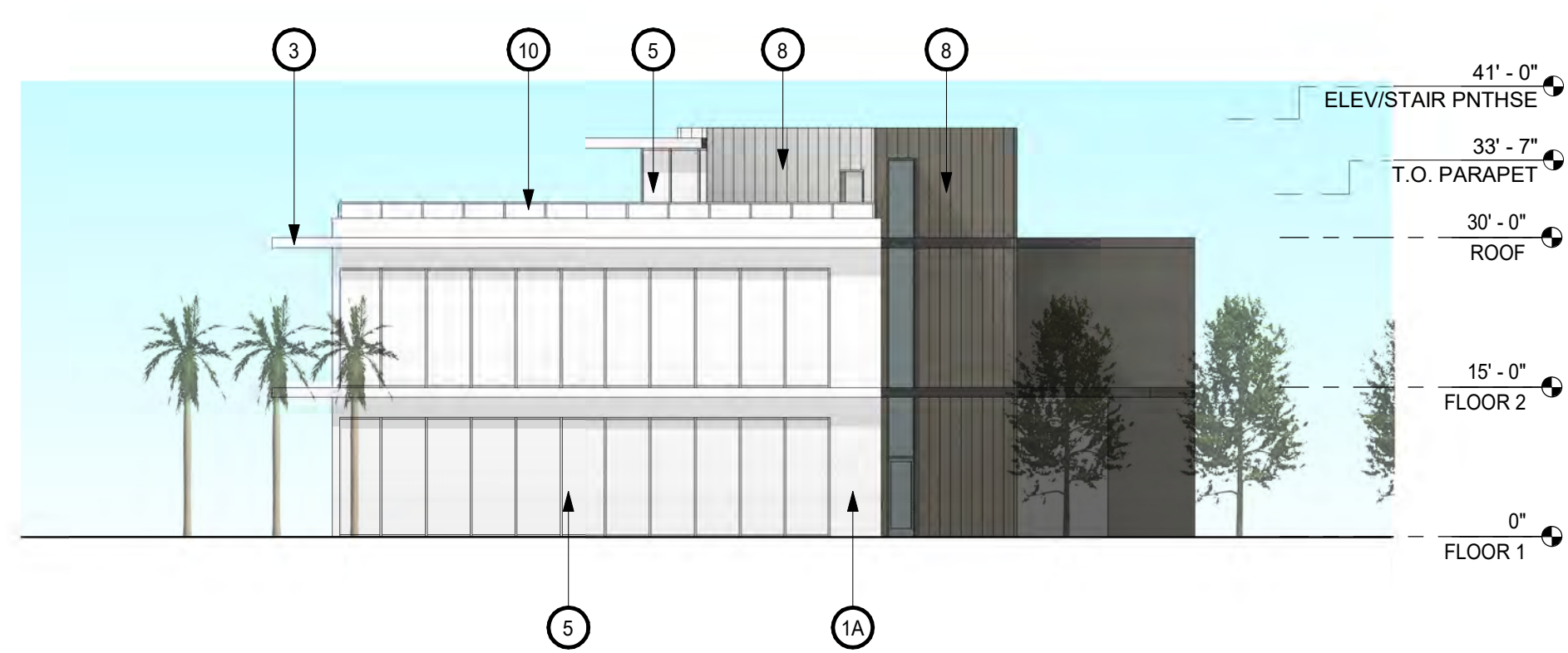
BUILDING ELEVATION - RESTAURANT - NORTHWEST ELEVATION 1

1/16" = 1'-0"



BUILDING ELEVATION - RESTAURANT - SOUTH ELEVATION 3

1/16" = 1'-0"



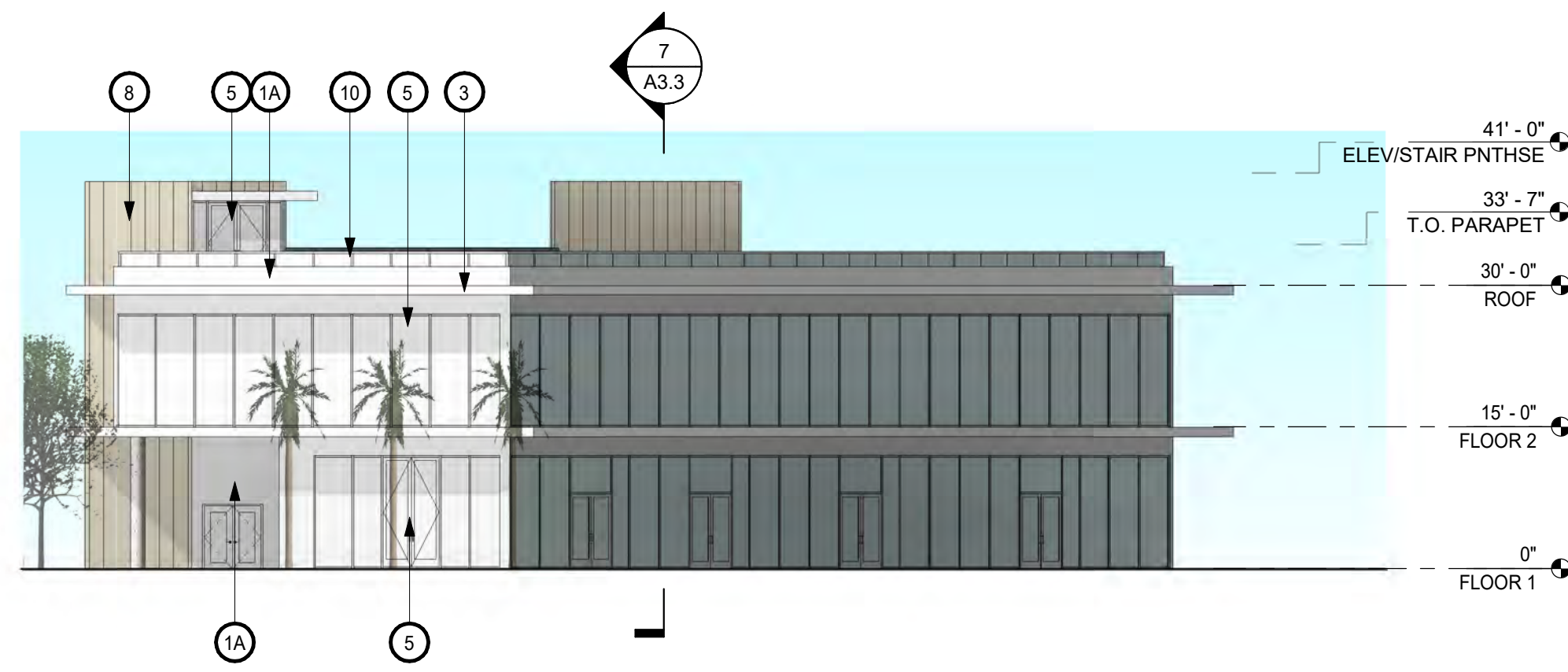
BUILDING ELEVATION - RESTAURANT - SOUTHWEST ELEVATION 2

1/16" = 1'-0"



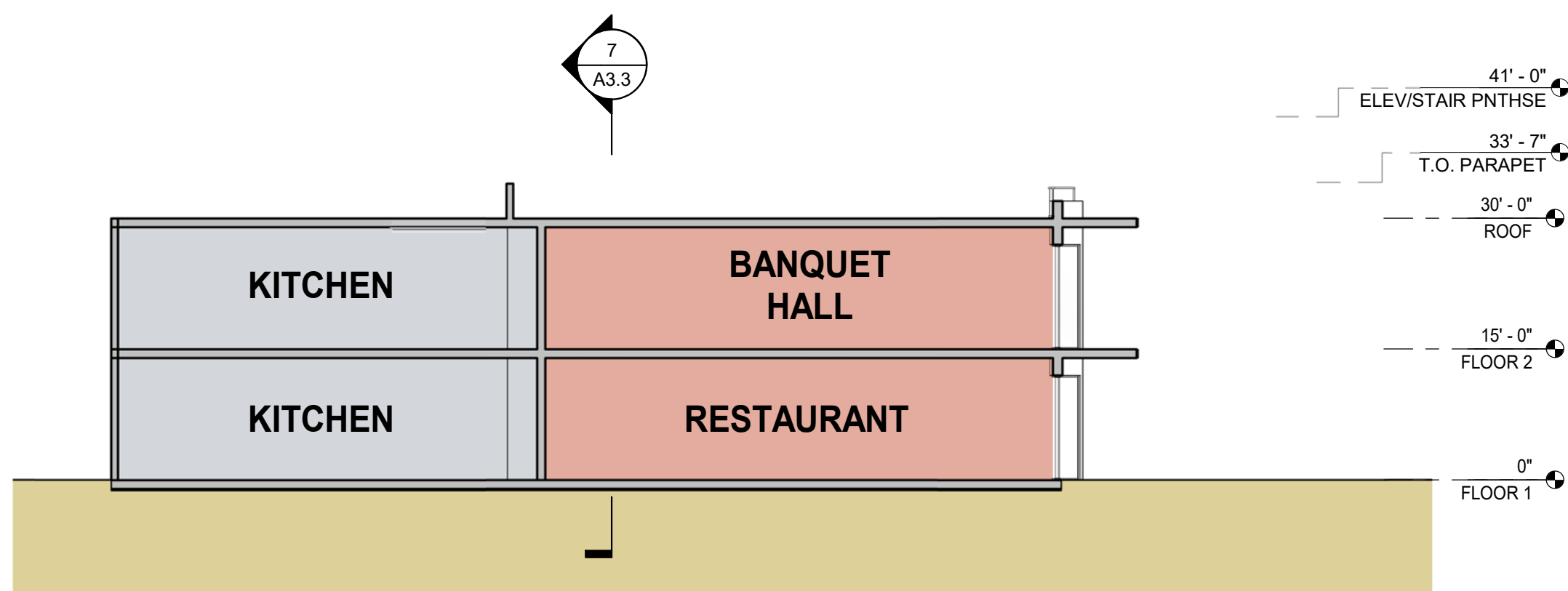
BUILDING ELEVATION - RESTAURANT - EAST ELEVATION 4

1/16" = 1'-0"



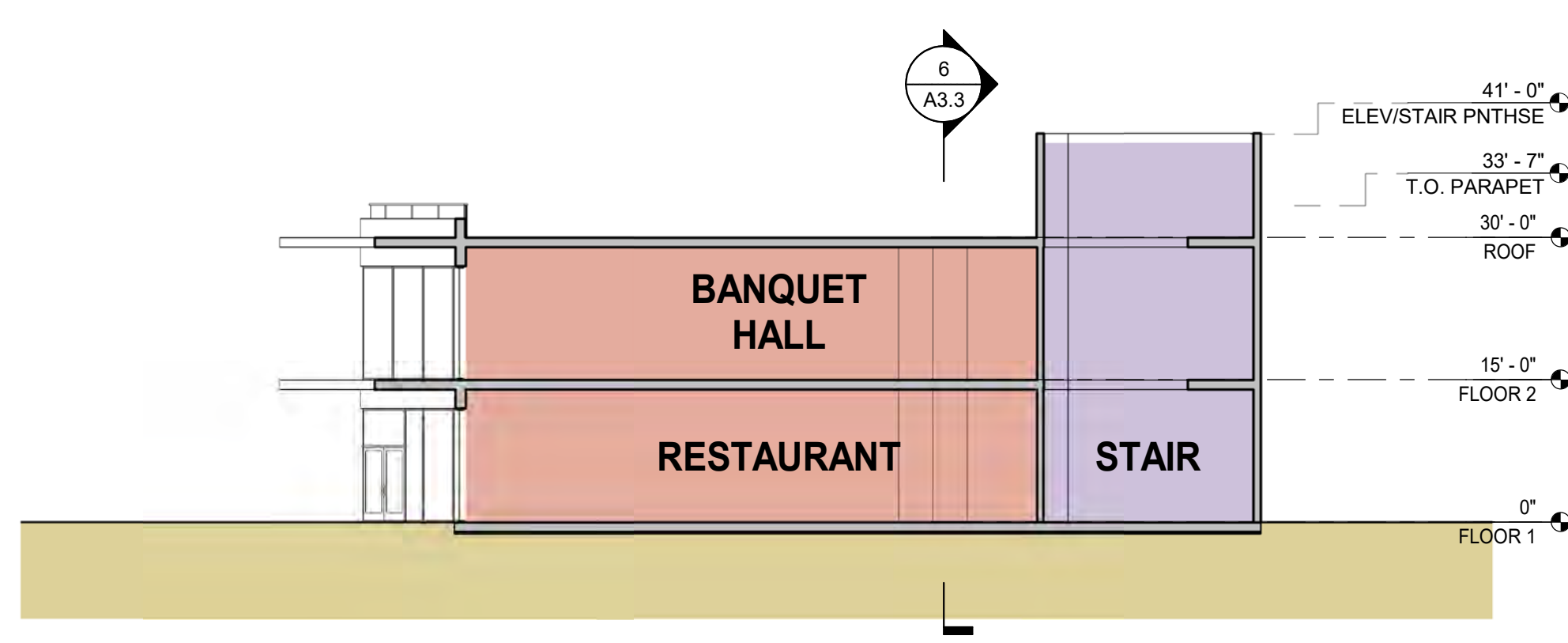
BUILDING ELEVATION - RESTAURANT - NORTH ELEVATION 5

1/16" = 1'-0"



BUILDING SECTION - RESTAURANT - E/W 6

1/16" = 1'-0"



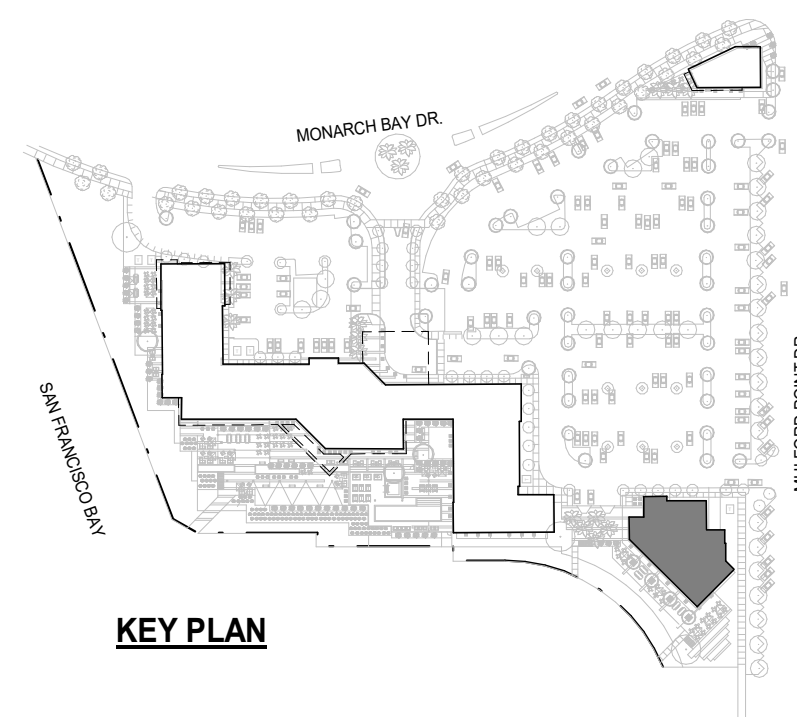
BUILDING SECTION - RESTAURANT - N/S 7

1/16" = 1'-0"

SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.  
NOTE: SEE SHEET G3.3 FOR MATERIAL BOARD IMAGES

- 1 EXTERIOR STUCCO
- 1A COLOR: BRIGHT WHITE
- 1B COLOR: OFF-WHITE
- 1C COLOR: TAUPE
- 1D COLOR: DARK GREY
- 2 WOOD GRAIN RAINSCREEN PANEL
- 3 AWNING
- 4 VINYL WINDOW
- 5 ALUMINUM STOREFRONT
- 6 JULIET BALCONY WITH GLASS RAILING
- 7 JULIET BALCONY WITH METAL RAILING
- 8 RAINSCREEN PANEL
- 9 VERTICAL WOOD FINS
- 10 GLASS RAILING
- 11 PORTE-COCHERE
- 12 SIGNAGE



KEY PLAN

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1	PLANNING	05.24.21
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RESTAURANT -  
ELEVATIONS &  
SECTIONS

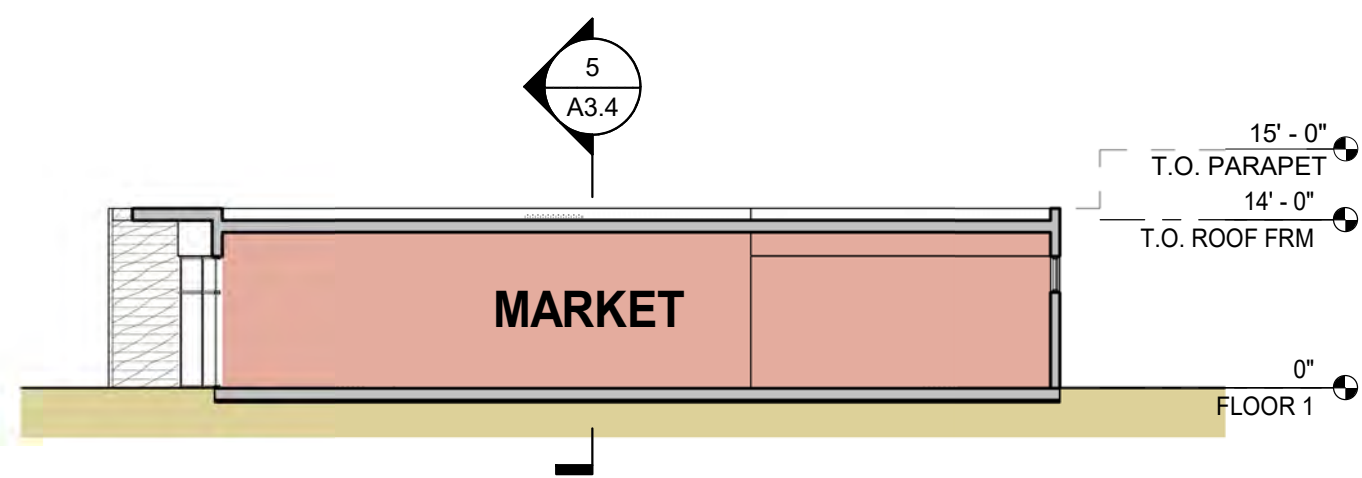
SHEET TITLE

SCALE As indicated

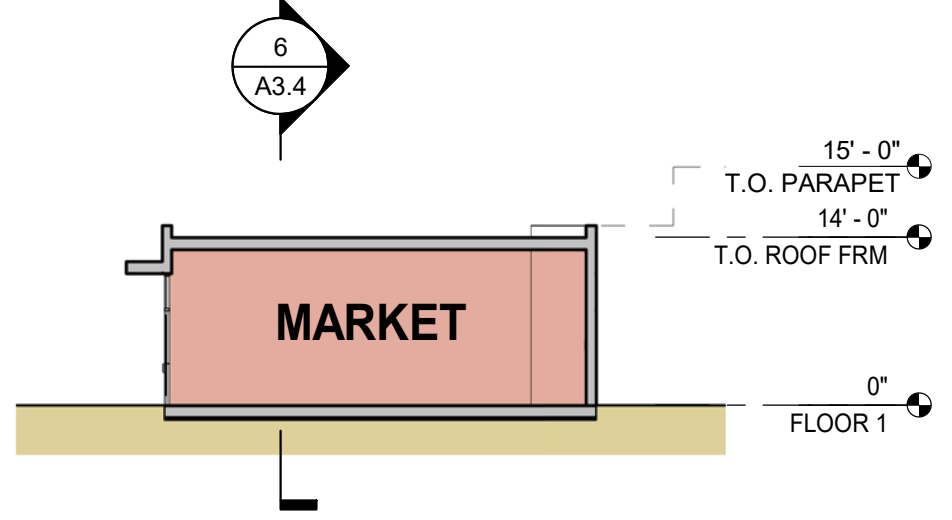
PROJ. # 2024 DRAWN BY

SHEET SIZE: 30 x 42

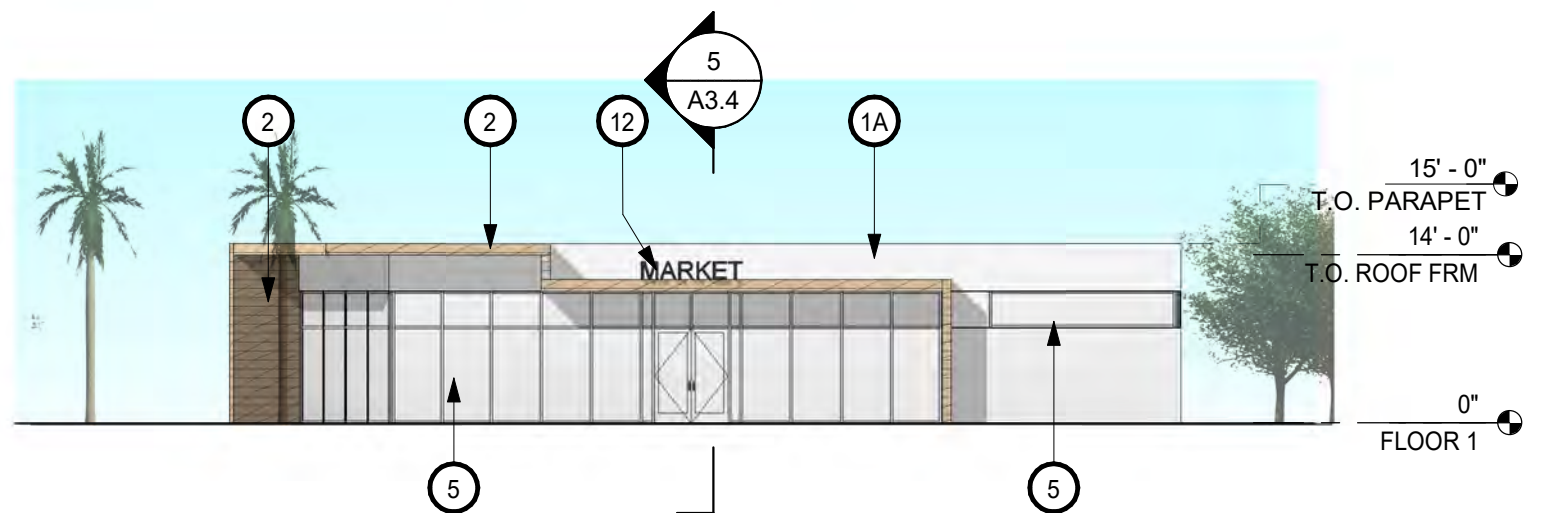




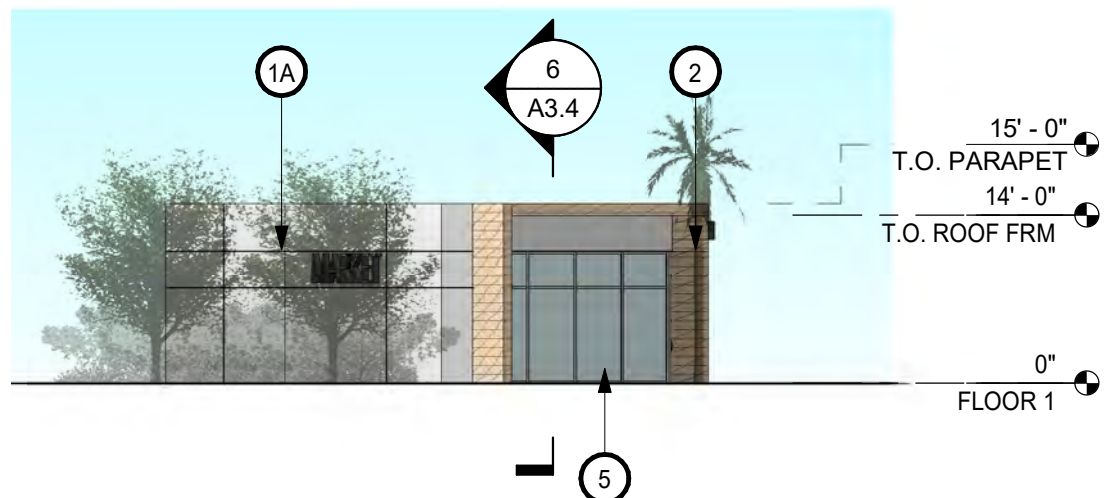
BUILDING SECTION - MARKET - N/S 6  
1/16" = 1'-0"



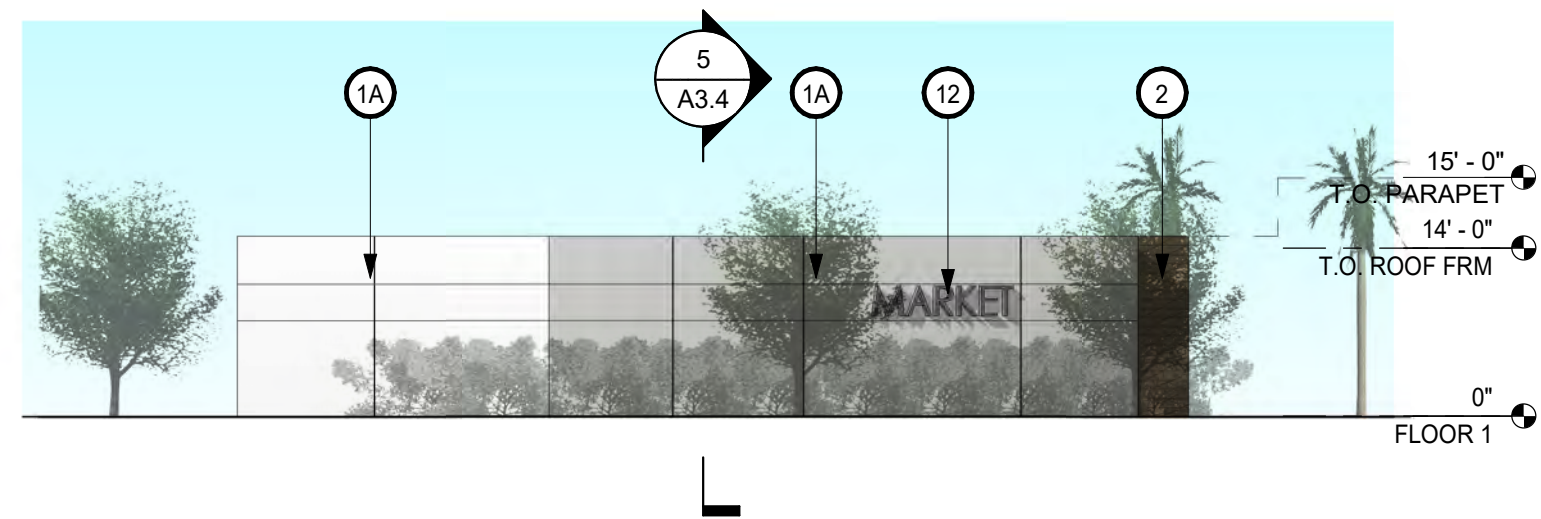
BUILDING SECTION - MARKET - E/W 5  
1/16" = 1'-0"



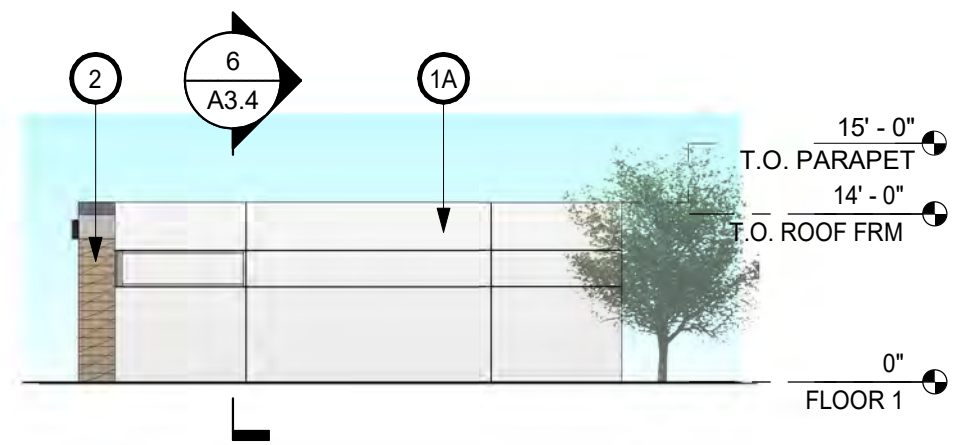
BUILDING ELEVATION - MARKET - WEST 1  
1/16" = 1'-0"



BUILDING ELEVATION - MARKET - NORTH 2  
1/16" = 1'-0"



BUILDING ELEVATION - MARKET - EAST 3  
1/16" = 1'-0"

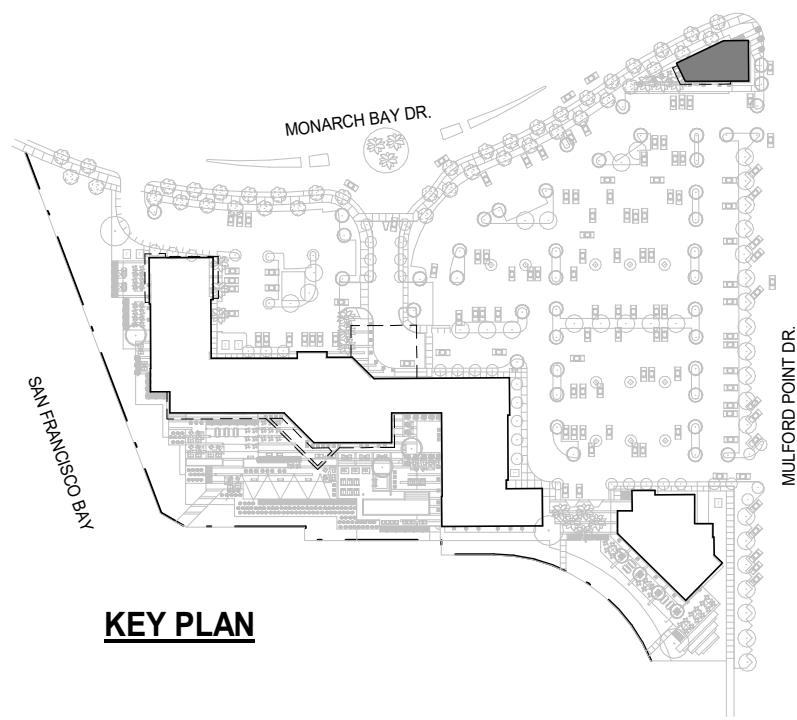


BUILDING ELEVATION - MARKET - SOUTH 4  
1/16" = 1'-0"

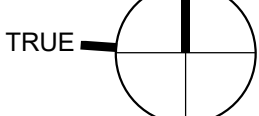
SHEET NOTES

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NOTE: SEE SHEET G3.3 FOR MATERIAL BOARD IMAGES

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- 8 RAINSCREEN PANEL
- 9 VERTICAL WOOD FINIS
- 10 GLASS RAILING
- 11 PORTE-COCHERE
- 12 SIGNAGE



KEY PLAN



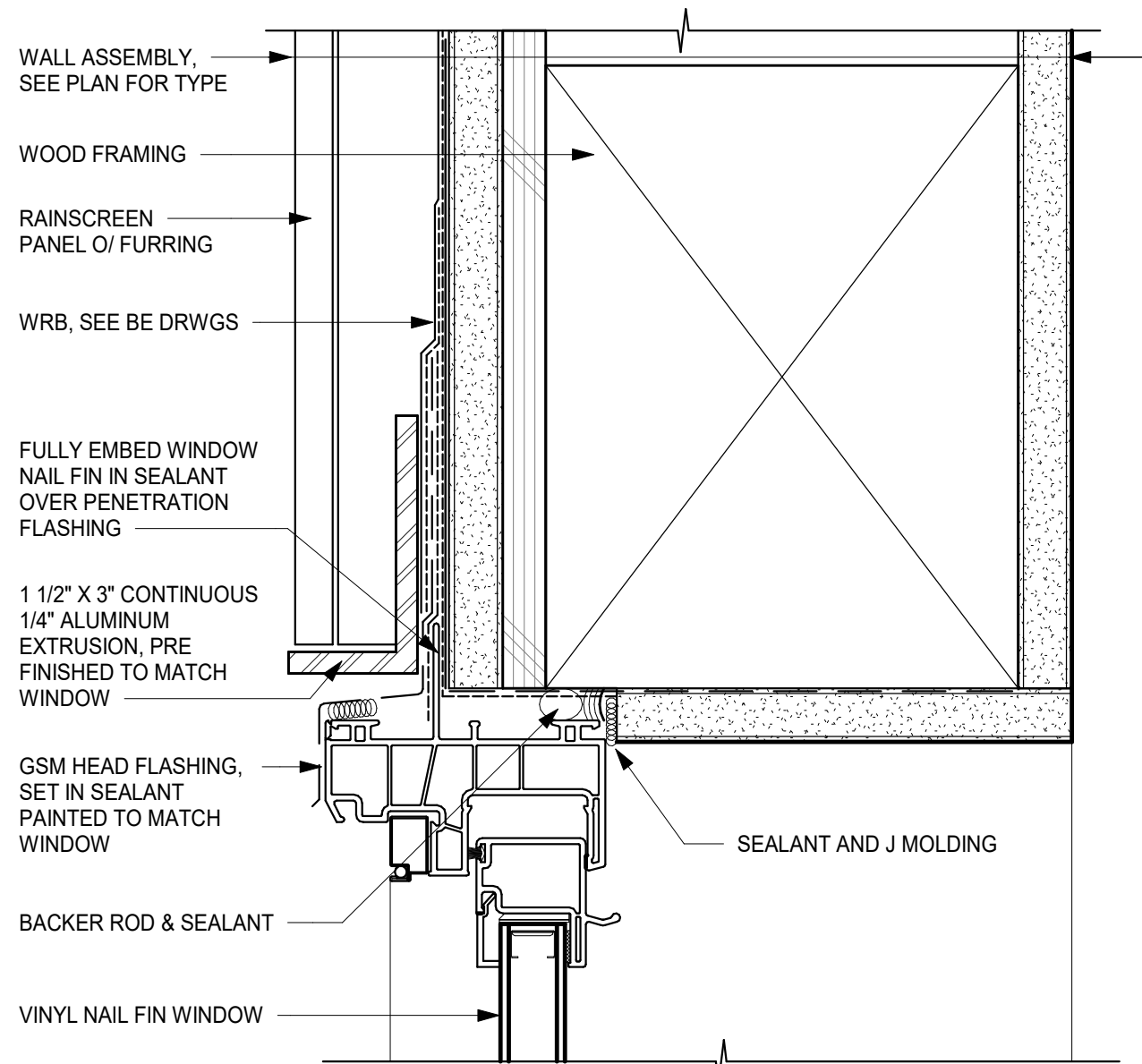
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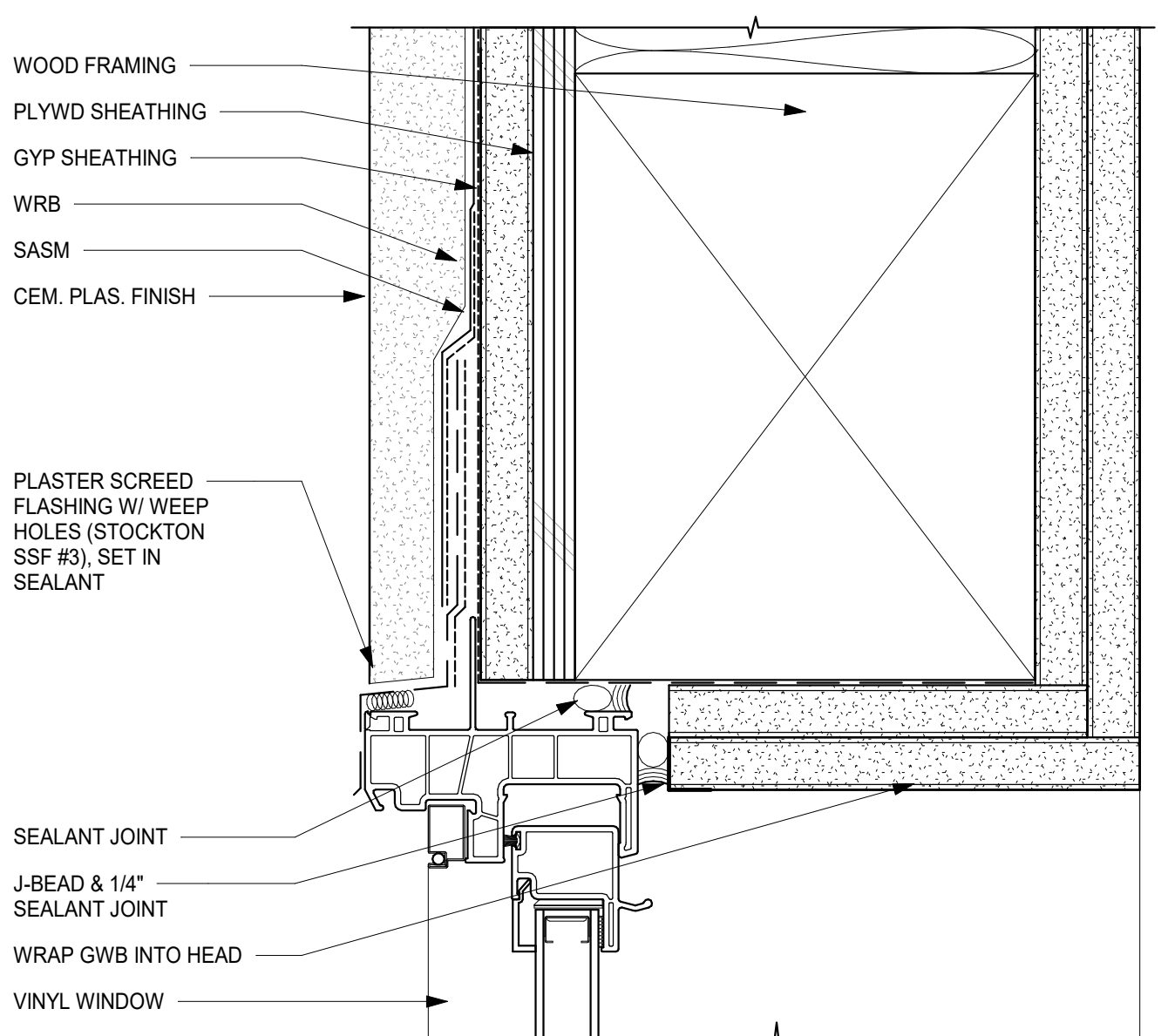
MARKET -  
ELEVATIONS &  
SECTIONS

SHEET TITLE	As indicated
SCALE	
PROJ. #	2024
DRAWN BY	
SHEET SIZE	30 x 42

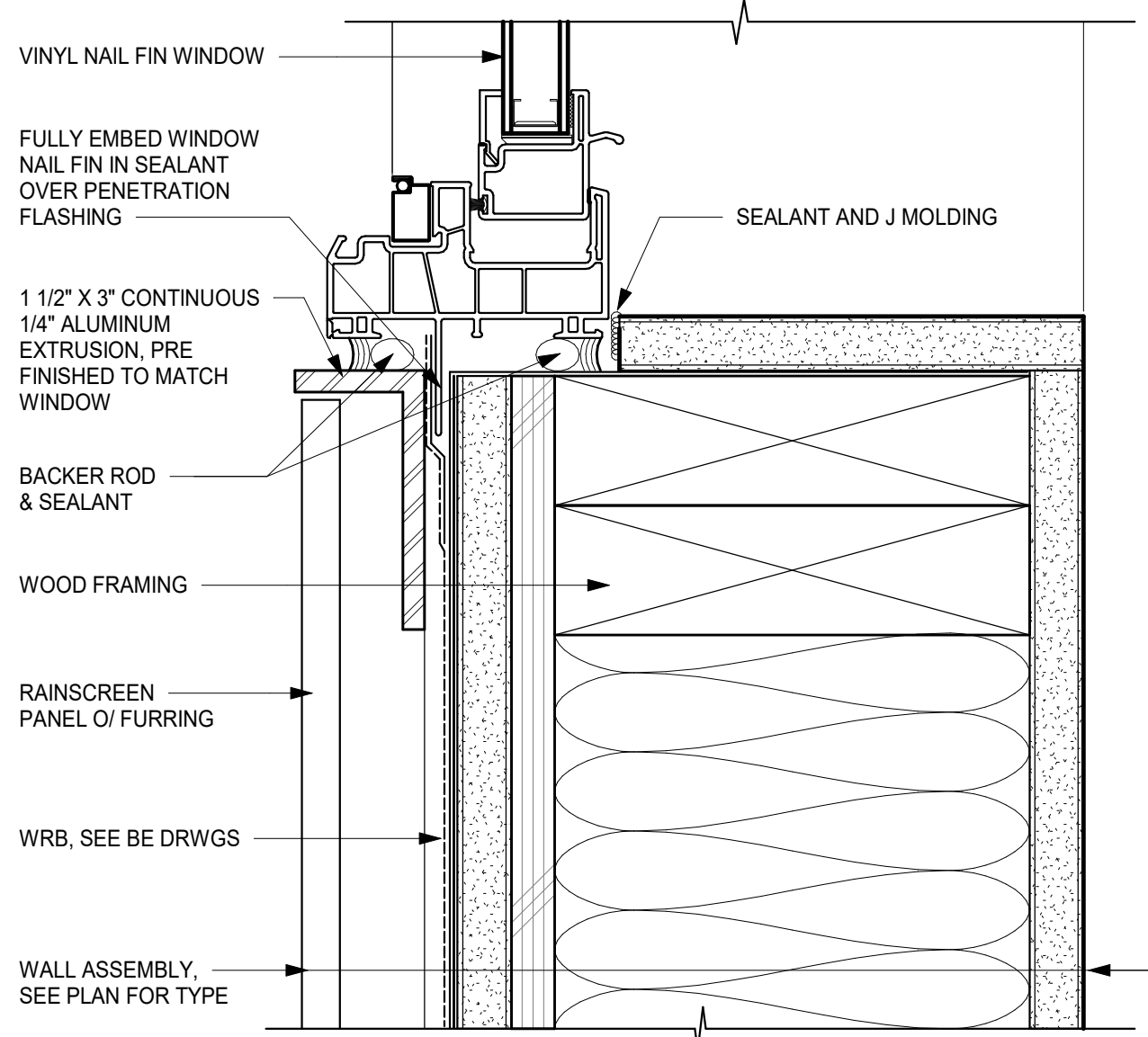




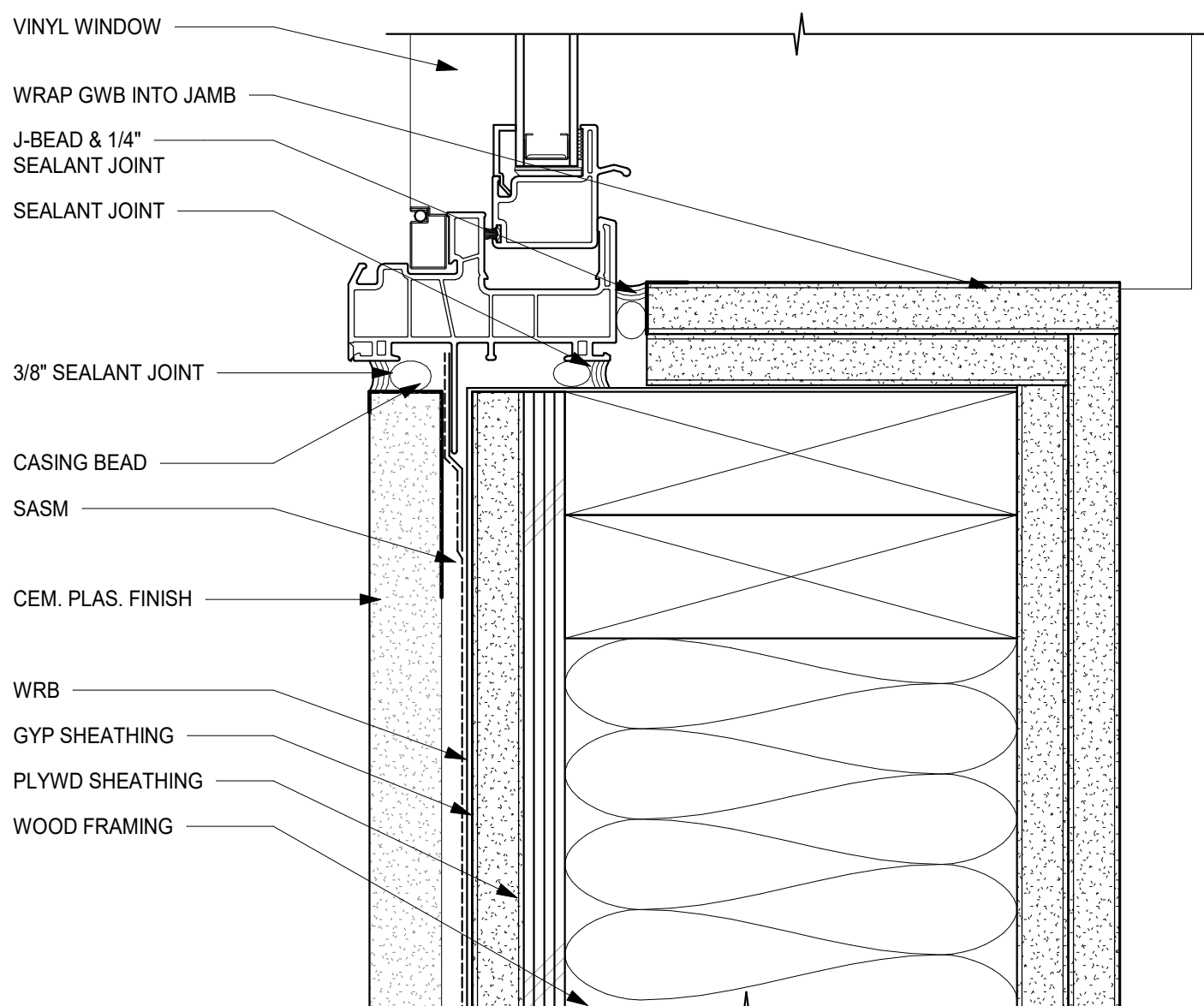
WINDOW HEAD @ RAINSCREEN 9  
6" = 1'-0"



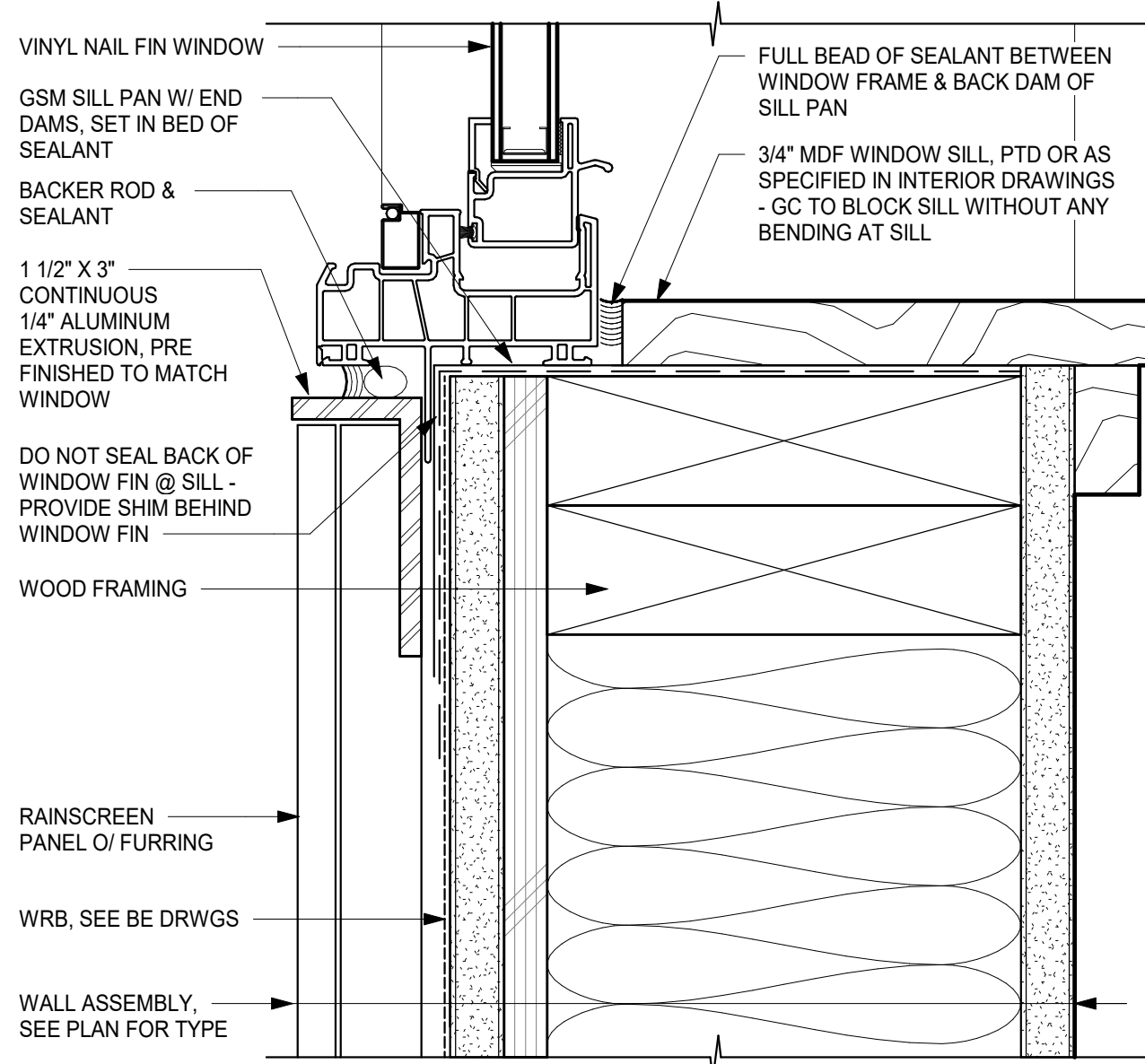
VINYL WINDOW HEAD @ CEMENT PLASTER 3  
6" = 1'-0"



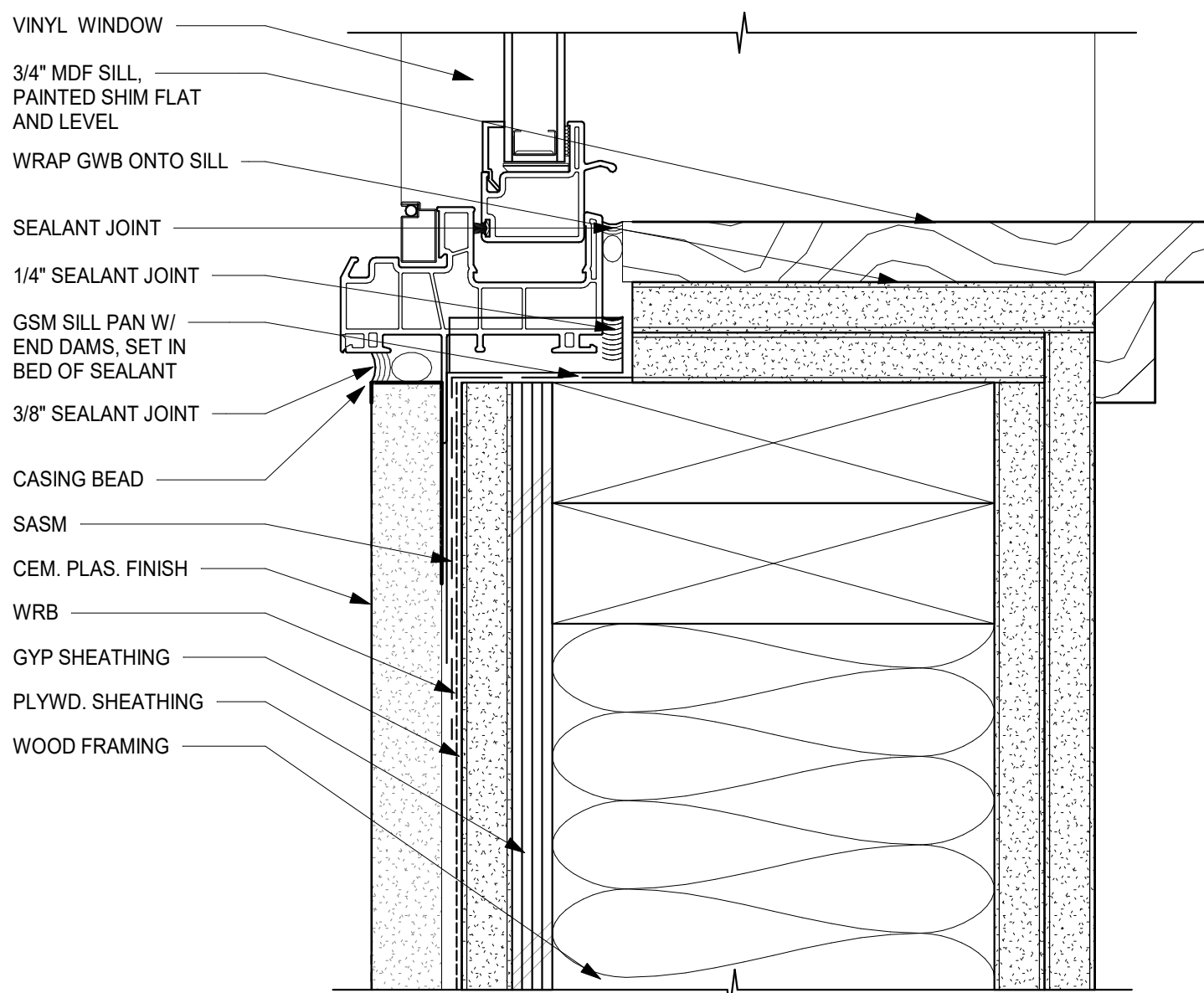
WINDOW JAMB @ RAINSCREEN 8  
6" = 1'-0"



VINYL WINDOW JAMB @ CEMENT PLASTER 2  
6" = 1'-0"



WINDOW SILL @ RAINSCREEN 7  
6" = 1'-0"



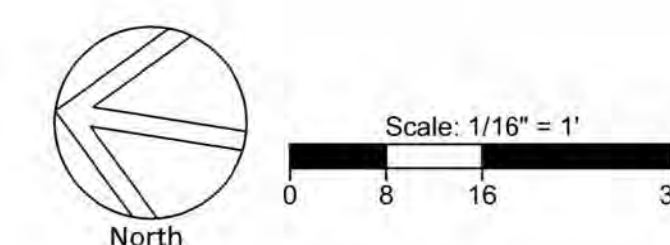
VINYL WINDOW SILL @ CEMENT PLASTER 1  
6" = 1'-0"



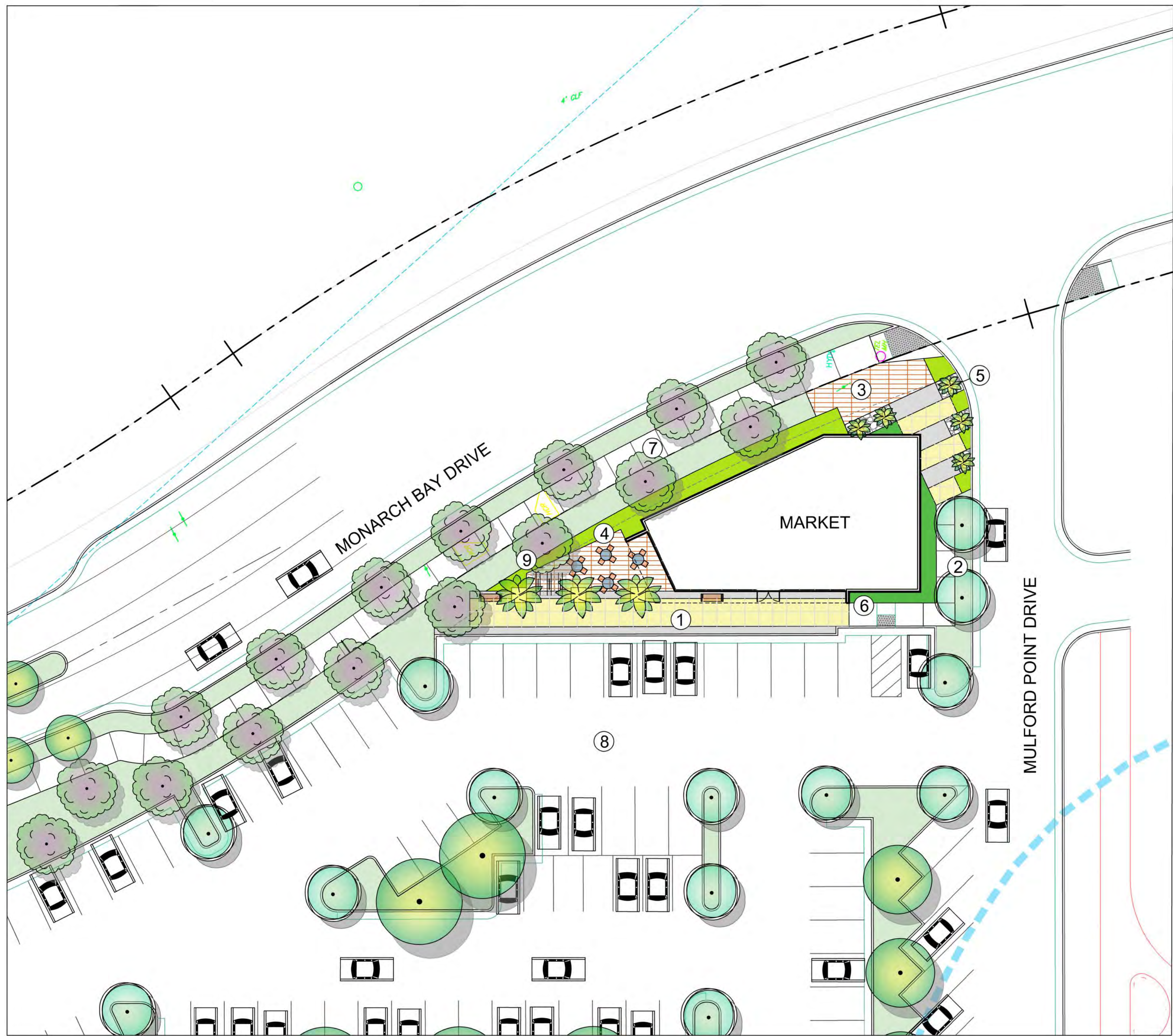


## LEGEND:

- ① ARRIVAL PLAZA: PALM GROVE, ACCENT PAVING, PLANTER POTS, SEATING
- ② ACCESS WALK
- ③ DINING PLAZA: ACCENT PAVING & SEATING
- ④ OUTDOOR RESTAURANT VENUE: OPEN LAWN W/ ACCENT PAVING BANDS
- ⑤ EVA ACCESS (VEHICULAR ACCENT PAVING)
- ⑥ PLANTING WITHIN LIMIT OF WORK
- ⑦ EXISTING PEDESTRIAN PATHWAY BY THE BAY
- ⑧ EXISTING TREES TO REMAIN; NEW PLANTING AT PARKING
- ⑨ TRANSFORMER W/ PLANTING SCREENING
- ⑩ BIKE PARKING (18 spaces)
- ⑪ SPECIMEN TREE

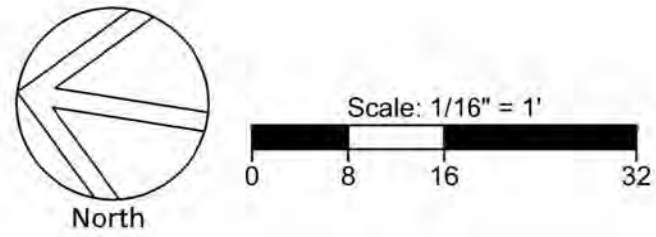






LEGEND:

- ① ARRIVAL PLAZA: PALM GROVE, ACCENT PAVING, PLANTER POTS, SEATING
- ② ACCESS WALK
- ③ ARRIVAL PLAZA: PUBLIC SIDEWALK ACCESS, ACCENT PAVING
- ④ DINING PLAZA: ACCENT PAVING & SEATING
- ⑤ ACCENT PLANTING BANDS W/ GRAVEL MULCH
- ⑥ ACCENT PLANTING BY THE MARKET: EDIBLE PLANTS ARRANGEMENTS
- ⑦ PUBLIC SIDEWALK
- ⑧ PARKING LOT
- ⑨ BIKE PARKING (6 spaces)

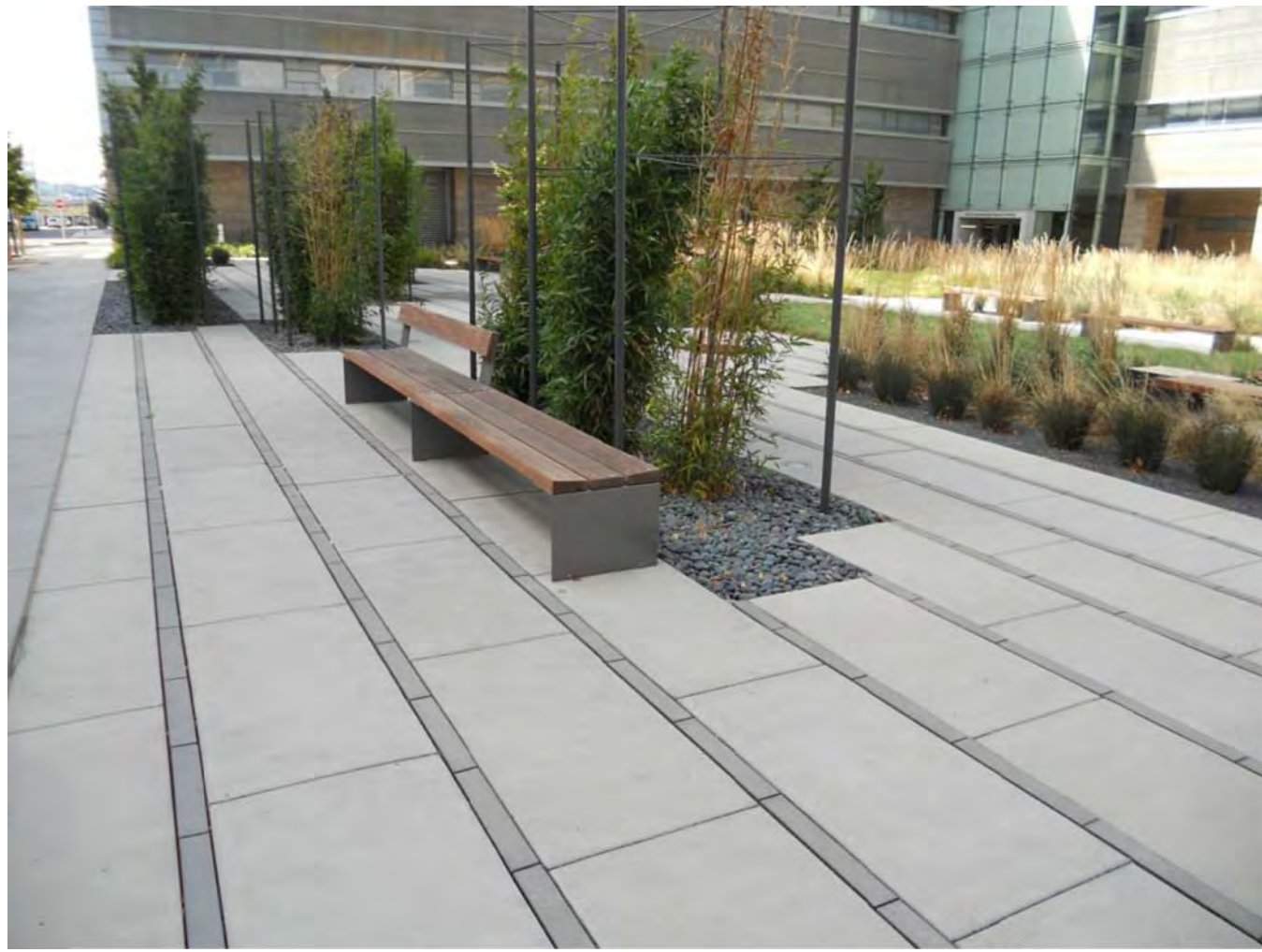


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2	PLANNING SUBMITTED	11.17.21





PAVING IDEAS



PALM GROVE



ACCENT PLANTING IN GRAVEL



HOTEL DINING



RESTAURANT / MARKET DINING



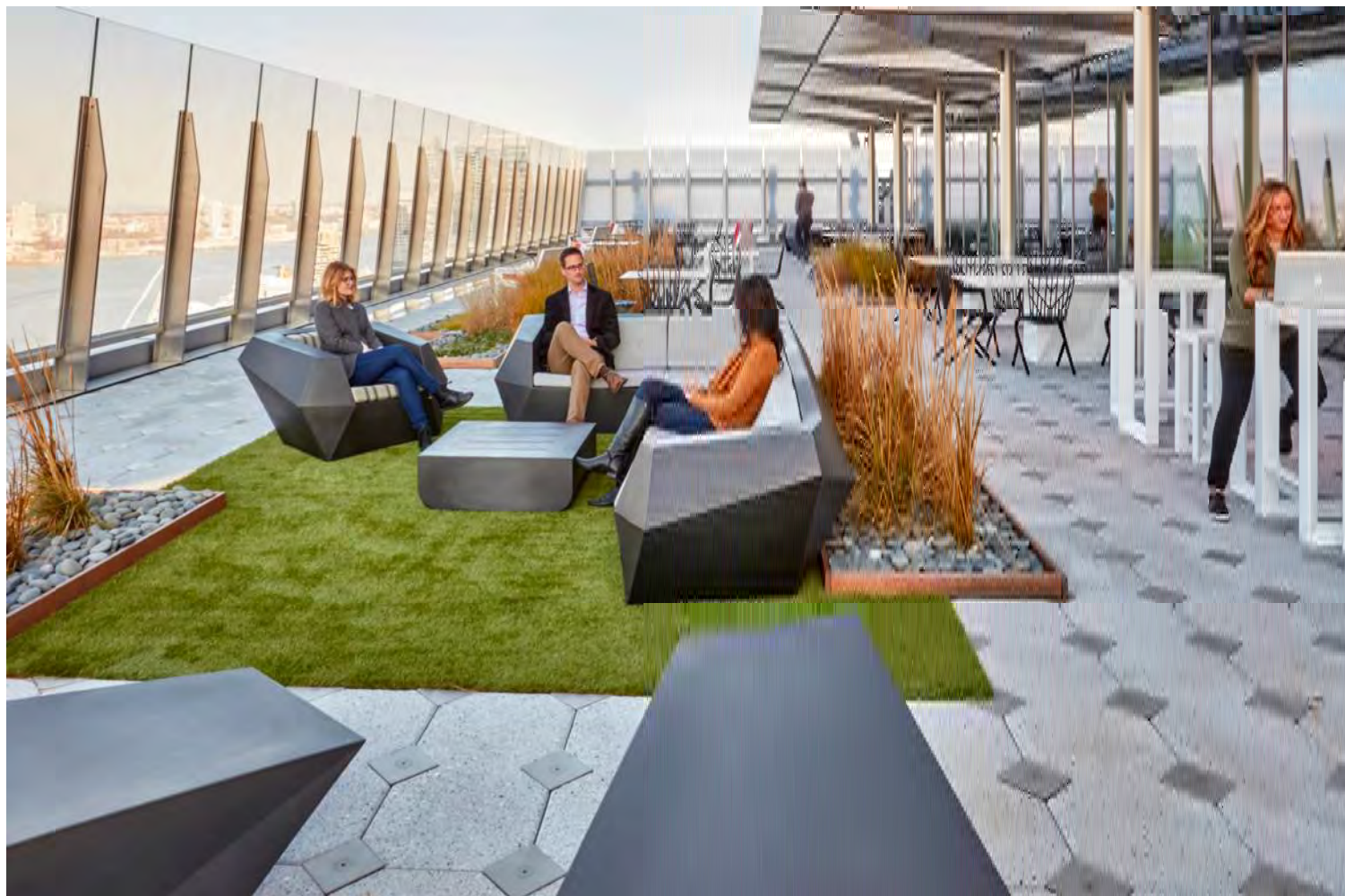
RAISED PLANTERS



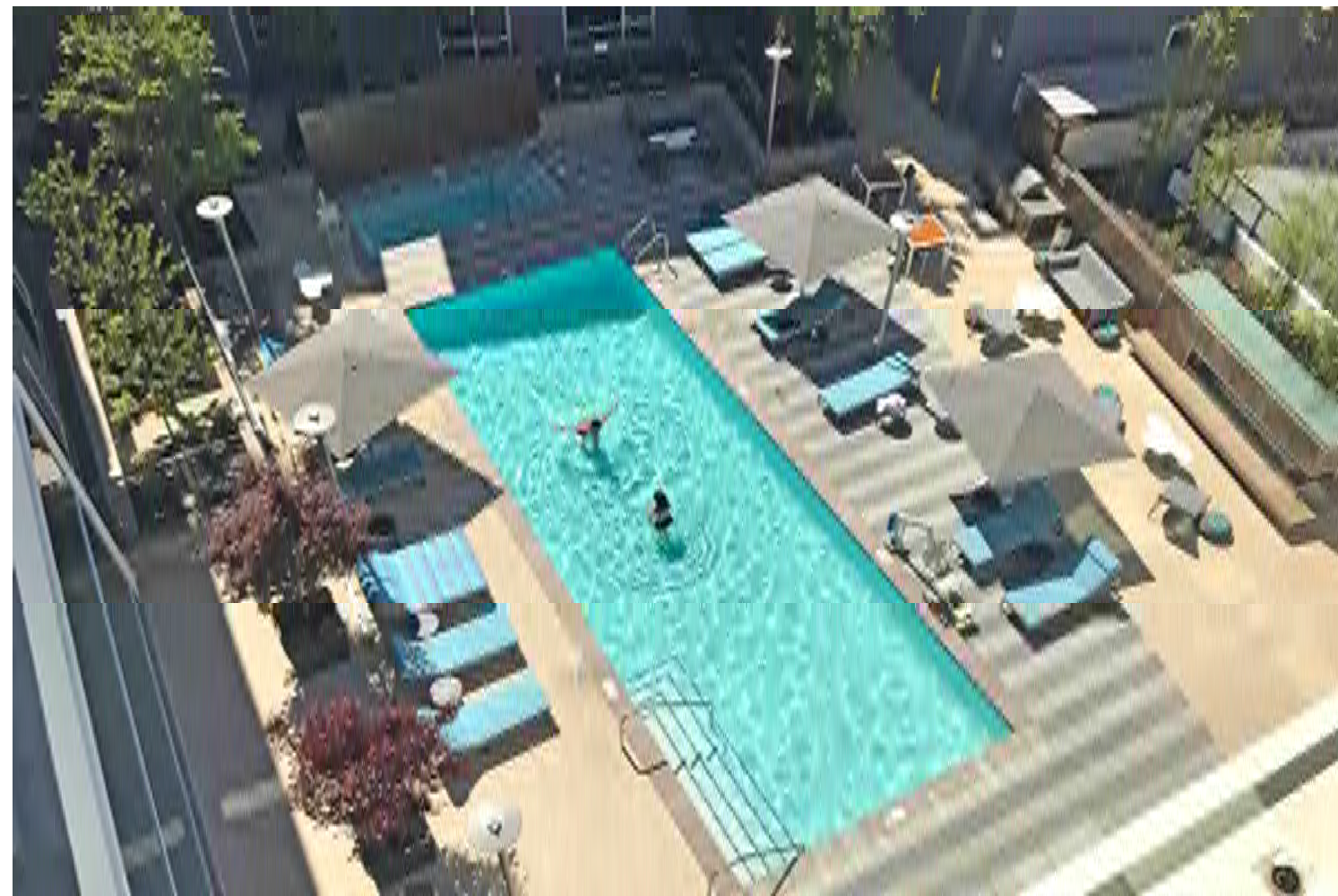
HOTEL & RESTAURANT GLASS FENCE / WIND SCREEN



HOTEL WORK ZONE



HOTEL LOUNGE ZONE



HOTEL POOL & SPA



HOTEL OUTDOOR FITNESS AREA



HOTEL MINI GOLF / OPEN LAWN FOR GAMES



RESTAURANT OPEN LAWN



MARKET ORNAMENTAL VEGETABLE GARDEN DISPLAY

REV.	ISSUE	DATE
1	DESIGNED	05/24/21
2	DESIGNED	05/24/21
3	PLANNING	11/17/21







PLANT LIST

TREES				
KEY	SIZE*	BOTANICAL NAME	COMMON NAME	COMMENTS
CER OCC		Cercis occidentalis	Western Redbud	Multi Trunk
MEL NES		Melaleuca nesophila	Pink Melaleuca	
MEL QUI		Melaleuca quiquenervia	Cajuput Tree	
MET EXC		Metrosideros excelsus	New Zealand Christmas Tree	
OLE EUR		Olea europaea 'Swan Hill'	Fruitless Olive Tree	
QUE SUB		Quercus suber	Cork Oak	
QUE VIR		Quercus virginiana	Southern Live Oak	
LOP CON		Lophostemon confertus	Brisbane Box	
TRI LAU		Tristaniaopsis laurina 'Elegant'	Water Gum	
WAS FIL	15' BTH	Washingtonia filifera	California Fan Palm	
* 24" Box standard unless otherwise noted				
SHRUBS				
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS/SPACING**
1	5 Gal	Agave attenuata	Foxtail Agave	24" O.C.
2	5 Gal	Arbutus unedo 'Compacta'	Strawberry Tree	36" O.C.
3	5 Gal	Arctostaphylos 'Howard McMin'	Manzanita	48" O.C.
4	5 Gal	Atriplex lentiformis breveri	Brewer Saltbush	48" O.C.
5	10 Gal	Baccharis pilularis	Coyote Brush	36" O.C.
6	5 Gal	Calycanthus occidentalis	Spice Bush	30" O.C.
7	5 Gal	Carpenteria californica 'Elizabeth'	Elizabeth Bush Anemone	36" O.C.
8	5 Gal	Ceanothus 'Concha' *	Wild Lilac	72" O.C.
9	5 Gal	Ceanothus 'Skyland' *	Skyland California Lilac	42" O.C.
10	5 Gal	Cistus purpureus *	Orchid Rock Rose	36" O.C.
11	5 Gal	Cistus salvifolius *	Sageleaf Rock Rose	30" O.C.
12	5 Gal	Coleonema p. 'Sunset Gold'	Golden Breath of Heaven	36" O.C.
13	5 Gal	Cornus stolonifera	Red-Stem Dogwood	60" O.C.
14	5 Gal	Cotoneaster microphyllus	Rockspray Cotoneaster	60" O.C.
15	5 Gal	Dietes vegeta	Fortnight Lily	30" O.C.
16	5 Gal	Escallonia 'Newport Dwarf'	Escallonia	36" O.C.
17	5 Gal	Euphorbia characias wulfenii	Euphorbia	30" O.C.
18	10 Gal	Hemerocallis hybrids	Evergreen Daylily	24" O.C.
19	5 Gal	Heteromeles arbutifolia	Toyon	72" O.C.
20	10 Gal	Heuchera maxima	Island Alum Root	18" O.C.
21	15 Gal	Loropetalum chinense	Fringe Flower	36" O.C.
22	5 Gal	Lavandula intermedia	English Lavender	24" O.C.
23	20 Gal	Limonium californicum	Sea Lavender	24" O.C.
24	5 Gal	Myrica californica	Pacific Wax Myrtle	60" O.C.
25	5 Gal	Phlomis frutescens	Jerusalem Sage	36" O.C.
26	5 Gal	Phormium 'Monrovia Red'	New Zealand Flax	60" O.C.
27	5 Gal	Phormium 'Sea Jade'	New Zealand Flax	42" O.C.
28	5 Gal	Phormium tenax	New Zealand Flax	36" O.C.
29	5 Gal	Pittosporum crassifolium 'Nana'	Pittosporum	36" O.C.
30	5 Gal	Pittosporum tenuifolium	Pittosporum	36" O.C.
31	5 Gal	Pittosporum tobira	Tobira	48" O.C.
32	5 Gal	Plumbago auriculata	Cape Plumbago	48" O.C.
33	5 Gal	Prunus ilicifolia	Hollyleaf Cherry	60" O.C.
34	5 Gal	Raphiolepis l. 'Clara'	India Hawthorn	30" O.C.
35	5 Gal	Rhamnus c. 'Mound San Bruno'	Mound San Bruno Coffeeberry	42" O.C.
36	5 Gal	Rhamnus alaternus	Italian Buckthorn	60" O.C.
37	5 Gal	Rhus integrifolia	Lemonade Berry	60" O.C.
38	5 Gal	Ribes viburnifolium	Catalina Perfume	60" O.C.
39	5 Gal	Rosa californica	California Rose	48" O.C.
40	5 Gal	Rosa rugosa 'Alba'	Ramanas Rose	42" O.C.
41	5 Gal	Rosmarinus o. 'Blue Spires'	Upright Rosemary	42" O.C.
42	5 Gal	Salvia c. 'Winnifred Gilman' *	Cleveland Sage	30" O.C.
43	5 Gal	Senecio greyi *	Senecio	30" O.C.
44	5 Gal	Teucrium fruticans	Germander	42" O.C.
45	5 Gal	Westringia fruticosa	Coast Rosemary	48" O.C.
46	5 Gal	Yucca aloifolia	Spanish Bayonet	30" O.C.
**If used as or noted on plants as shrub mass/groundcover				

PERENNIALS and GRASSES				
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS
CD	1 Gal	Carex divulsa	Berkeley Sedge	24" O.C.
CP	1 Gal	Carex pansa	California Field Sedge	24" O.C.
CA	1 Gal	Calamagrostis acutifolia 'Stricta'	Feather Reed Grass	36" O.C.
CF	1 Gal	Calamagrostis foliosus	Mendocino Reed Grass	36" O.C.
CT	5 Gal	Chondropetalum tectorum	Cape Rush	36" O.C.
DC	1 Gal	Deschampsia c. holciformis	Pacific Hair Grass	24" O.C.
EA	1 Gal	Elymus arenarius 'Glaucus'	Blue Lyme Grass	24" O.C.
FC	1 Gal	Festuca californica	California Fescue	24" O.C.
HS	1 Gal	Helictotrichon sempervirens *	Blue Oat Grass	24" O.C.
JE	1 Gal	Juncus patens 'Elk Blue'	California Gray Rush	24" O.C.
KU	1 Gal	Kniphofia uvaria 'Little Maid'	Dwarf Poker Plant	24" O.C.
LC	1 Gal	Leymus c. 'Canyon Prince'	California Gray Rush	30" O.C.
MS	5 Gal	Miscanthus 'Morning Light'	Maiden Grass	48" O.C.
MT	5 Gal	Miscanthus transmontionensis	Evergreen Maiden Grass	42" O.C.
MR	1 Gal	Muhlenbergia rigens	Deer Grass	36" O.C.
MU	1 Gal	Muhlenbergia 'Regal Mist'	Purple Deer Grass	30" O.C.
PO	1 Gal	Pennisetum orientale	Fountain Grass	24" O.C.
RN	1 Gal	Rhynchoselytrum nerviglume	Natal Ruby Grass	24" O.C.
SC	1 Gal	Styrrinchium californicum	Yellow-eyed Grass	24" O.C.
SG	1 Gal	Stipa gigantea	Giant Feather Grass	30" O.C.
GROUNDCOVERS				
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS
AE	5 Gal	Arctostaphylos 'Emerald Carpet'	Bearberry	36" O.C.
AM	1 Gal	Asteriscus maritimus 'Compacta'	Compacta Beach Daisy	18" O.C.
CG	1 Gal	Ceanothus gloriosus 'Emily Brown'	Point Reyes Ceanothus	36" O.C.
CT	1 Gal	Cerastium tomentosum	Snow-in-summer	24" O.C.
CP	1 Gal	Cerastostigma plumbaginoides	Blue Plumbago	24" O.C.
CM	1 Gal	Convolvulus mauritanicus	Ground Morning Glory	24" O.C.
CK	1 Gal	Coprosma kirkii	Creeping coprosma	24" O.C.
EG	1 Gal	Erigeron glaucus	Beach Aster	18" O.C.
EC	1 Gal	Eschscholzia californica	California Poppy	18" O.C.
FC	flats	Fragaria chiloensis	Beach Strawberry	18" O.C.
ID	1 Gal	Iris douglasiana 'P. Coast Hybrids'	Pacific Coast Hybrid Iris	18" O.C.
JC	5 Gal	Juniperus horiz. 'Vibration Gold'	Juniper Good Vibrations	48" O.C.
LJ	1 Gal	Lonicera j. 'Halliana'	Japanese Honeysuckle	60" O.C.
MP	1 Gal	Myoporum 'Pacificum'	Myoporum	48" O.C.
OF	1 Gal	Osteospermum fruticosum *	Freeway Daisy	18" O.C.
RO	1 Gal	Rosmarinus officinalis 'Irene'	Rosemary	24" O.C.
SM	1 Gal	Senecio mandraliscae	NCN	18" O.C.
TJ	1 Gal	Trachelospermum jasminoides	Star Jasmine	30" O.C.
TC	1 Gal	Teucrium chamadrys	Germander	24" O.C.
Sod	Lawn		See Planting Notes #16	
		Native Erosion Control Seed Mix		
VINES				
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS
CC	5 Gal	Clystoma callistegoides	Lavender Trumpet Vine	
GO	5 Gal	Grewia occidentalis	Lavender Starflower	

NATIVE EROSION CONTROL SEED MIX

BOTANICAL NAME	COMMON NAME	RATE ( p ls#/ acre)
Atriplex triangularis	Spear Leaved Saltbrush	1.75
Bromus c. 'Maritimus'	Maritime Brome	10
Elymus glauca	Blue Wild Rye	8
Frankenia salina	Alkalai Heath	0.25
Grindelia stricta	Marsh Gum Plant	1
Hordeum depressum	Alkalai Barley	4
Leymus triticoideis	Creeping Wild Rye	6
TOTAL		31

NOTE:  
\* Short-lived plants for seasonal color attraction; Replacement is advisable every 3 to 5 years as needed.

STORMWATER TREATMENT PLANT LIST

KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	COMMENTS	BASIN	BANK	UPLAND
AR	5 Gal	Arctostaphylos 'Emerald Carpet'	Emerald Carpet Manzanita	30" O.C.	Native/Low Water Use		●	●
CV	5 Gal	Callistemon viminalis 'Little John'	Dwarf Bottlebrush	24" O.C.	Native/Low Water Use		●	●
CD	5 Gal	Carex divulsa c. tumidicola	Berkeley Sedge	24" O.C.	Low Water Use		●	●
CP	5 Gal	Carex pansa	Dune Sedge	24" O.C.	Native/Low Water Use		●	●
CE	5 Gal	Chondropetalum elephantinum	Large Cape Reed	36" O.C.	Low Water Use		●	●
CT	5 Gal	Chondropetalum tectorum	Small Cape Rush	36" O.C.	Low Water Use		●	●
ER	1 Gal	Erigeron glaucus 'Wayne Roderick'	Beach Aster	18" O.C.	Native/Low Water Use		●	●
GR	5 Gal	Grevillea spp.	Grevillea	36" O.C.	Low Water Use		●	●
FC	1 Gal	Festuca californica	California Fescue	12" O.C.	Native/Low Water Use		●	●
JP	5 Gal	Juncus patens	California Gray Rush	24" O.C.	Native/Low Water Use		●	●
MA	5 Gal	Mahonia repens	Creeping Mahonia	24" O.C.	Native/Low Water Use		●	●
MC	5 Gal	Muhlenbergia capillaris	Pink Muhly Grass	30" O.C.	Native/Low Water Use		●	●
MR	5 Gal	Muhlenbergia rigens	Deer Grass	30" O.C.	Native/Low Water Use		●	●
PH	5 Gal	Penstemon heterophyllus 'Blue Springs'	Foothill Penstemon	24" O.C.	Native/Low Water Use		●	●
RC	5 Gal	Rhamnus californica 'Little Sur'	Little Sur Coffeeberry	36" O.C.	Native/Low Water Use		●	●
RS	5 Gal	Ribes sanguineum	Red-Flowering Currant	60" O.C.	Native/Low Water Use		●	●
SA	5 Gal	Stipa arundinacea	New Zealand Wind Grass	36" O.C.	Medium Water Use		●	●

PLANTING NOTES:

The above plants have been selected as being representative of the overall planting design intent. The landscape palette should incorporate plants that will tie into the native character of the region. These plants are found throughout the community, along the streets, open space areas, and around the adjacent marina. It is desirable that individual property owners continue with this type of planting to add to the ambience of the new community. This plant palette, in conjunction with the plant palette on L-1,2 is suggested for use, but should not preclude use of other appropriate plant material. Native plants and other compatible varieties of trees, shrubs and ground covers should be selected to complement the character of the project.

The rear and side yard planting schemes are meant for illustrative purposes only. It is not the responsibility of the Developer or the Landscape Architect to design or install these planting schemes.

All trees shall be a minimum of 24" box size. All shrubs shall be a minimum of 5 gallon size.

The minimum slope in all planting areas shall be 2%. The minimum slope on paving shall be 3/4" typically.

All planted areas are to be watered with an approved automatic underground irrigation system. The system shall be designed to make efficient use of water through conservation techniques. All planting and irrigation shall conform to all EBMUD standards.



NEW ZEALAND CHRISTMAS TREE



SOUTHERN OAK



CALIFORNIA FAN PALM



WATER GUM



CORK OAK



BRISBANE BOX



CAJUPUT TREE



PINK MELALEUCA



FRUITLESS OLIVE

TREES  
IMAGERY

PLANTING SCHEME IMAGERY







**WATER USE HYDROZONE LEGEND**

- WUCOLS Low: 70,418 SF
- WUCOLS Moderate: 9,430 SF
- WUCOLS High: 0 SF
- Water Features: 0 SF
- Special Landscape Area: 1473 SF (pool + spa)

\* Based upon total landscape area of 79,848 SF



NOTES OF DESIGN / BUILD INTENT		PROPOSED EQUIPMENT LIST	
1. IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE.		DOMESTIC WATER METER -2"	-BY OTHER SECTION OF CONTRACT
2. IRRIGATION CONTROLLER SHALL BE "SMART" SELF ADJUSTING BASED ON DAILY ET REQUIREMENTS OF THE PLANT MATERIAL.		IRRIGATION BACKFLOW PREVENTION DEVICE	-WILKINS-975-XLU-2"
3. DEDICATED IRRIGATION SYSTEM WATER METER SHALL CONNECT TO A LOOPED IRRIGATION SYSTEM SUPPLYLINE.		MASTER CONTROL VALVE	-TORO-220-27-09 -2"
4. LOW PRECIPITATION RATE IRRIGATION SPRAY HEADS SHALL BE USED WHEREVER PLANTING MATERIAL AND WATER EFFICIENT LANDSCAPE ORDINANCE WILL ALLOW.		FLOW SENSOR	-DATA INDUSTRIAL-2P20-1"
5. HIGH EFFICIENCY DRIP IRRIGATION SHALL BE USED WHEREVER PRACTICABLE WITHIN GROUNDCOVER AND SHRUB AREAS.		ELECTRIC CONTROLLER ASSEMBLIES	-HUNTER ACC WITH SOLAR SYNC
6. DEDICATED IRRIGATION ZONES FOR TREES SHALL BE DESIGNED WITH BUBBLER IRRIGATION.		REMOTE CONTROL VALVES	-RAINBIRD ECV SERIES, ANTI-SIPHON
7. VALVE BOX LOCATIONS SHALL BE IN GROUNDCOVER AREAS WHEREVER POSSIBLE.		DRIP REMOTE CONTROL VALVES	-RAINBIRD ECV SERIES, ANTI-SIPHON
		QUICK COUPLING VALVES	-RAINBIRD-33DRK
		GATE VALVES -LINE SIZE	
		DIGITAL SOIL MOISTURE SENSOR	-BASELINE-BL BISENSOR
		RAIN SENSOR	-HUNTER SOLAR SYNC
		FLUSH VALVE	
		PLANTER POT IRRIGATION	
		TREE BUBBLERS	-TORO-FB-100-PC
		IRRIGATION SUPPLYLINE -DOMESTIC SYSTEM	-1120/SCHEDULE 40 PVC PIPE -24" COVER
		IRRIGATION LATERAL LINE	-1120/SCHEDULE 40 PVC PIPE -12" COVER
		ELECTRICAL CONDUIT--SIZE AS INDICATED	-1120/SCHEDULE 40 PVC PIPE -24" COVER
		SLEEVING--SIZE AS INDICATED	-1120/SCHEDULE 40 PVC PIPE -24" COVER
		IRRIGATION SUBSURFACE EMITTERLINE	-NETAFIM-TLCV4-12 -4" COVER

Base Schedule																										
STA							PRECIP	Ks	Kd	Kmc	AKC	RUN TIME	CYC	CYC TIME	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Spray Turf		1.80	0.70	0.83	1.20	0.70	19	4	5	0	0	3	5	9	9	11	10	8	5	1	0					
Rotor Turf		0.55	0.50	0.83	1.20	0.50	58	4	16	0	0	2	4	6	7	8	7	6	3	1	0					
Spray GC/Shrub		1.80	0.30	0.83	1.20	0.30	57	11	5	0	0	0	1	1	2	1	1	1	1	0	0					
Rotor GC/Shrub		0.55	0.30	0.83	1.20	0.30	175	11	16	0	0	0	1	1	1	2	1	1	1	0	0					
Subsurface-GC/shrubs		1.10	0.30	0.83	1.20	0.30	97	12	8	0	0	1	1	1	1	1	1	1	0	0	0					
Bub-Trees in planting		8.00	0.50	0.83	1.20	0.50	35	31	1	0	0	0	0	1	1	1	1	1	0	0	0					
Bub-Trees in wells		12.00	0.30	0.83	1.20	0.30	35	47	1	0	0	0	0	0	0	0	0	0	0	0	0					

**WATER EFFICIENT LANDSCAPE WORKSHEET**

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) <span style="background-color: yellow; padding: 0 5px;">45.3</span>							
Hydrozone # /Planting Description*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)*	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*
<b>Regular Landscape Areas</b>							
Low Water-Use Plants	0.30	Drip	0.81	0.37	70,418	26,055	731,771
Moderate Water- Use Plants	0.50	Drip	0.81	0.62	9,430	5,847	164,208
High Water-Use Plants	0.80	Drip	0.81	0.99	0	0	0
Moderate Water-Use Turf EVA	0.50	Spray	0.75	0.67	0	0	0
				Totals	79,848	31,901	895,979
<b>Special Landscape Areas</b>							
Pool + spa					1,473		
					(C)	(D)	
				Totals	0	0	
						ETWU Total	895,979
						<b>Maximum Allowed Water Allowance (MAWA)</b>	1,009,175

\*Hydrozone #/Planting Description  
E.g  
1.) front lawn  
2.) low water use plantings  
3.) medium water use planting

\*Irrigation Method  
overhead spray  
or drip

\*Irrigation Efficiency  
0.75 for spray head  
0.81 for drip

**ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area**  
where 0.62 is a conversion factor that converts acre- inches per acre per year to gallons per square foot per year.

**MAWA (Annual Gallons Allowed) = (Eto) ( 0.62) [ (ETAF x LA) + ((1-ETAF) x SLA)]**  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations**  
Regular Landscape Areas

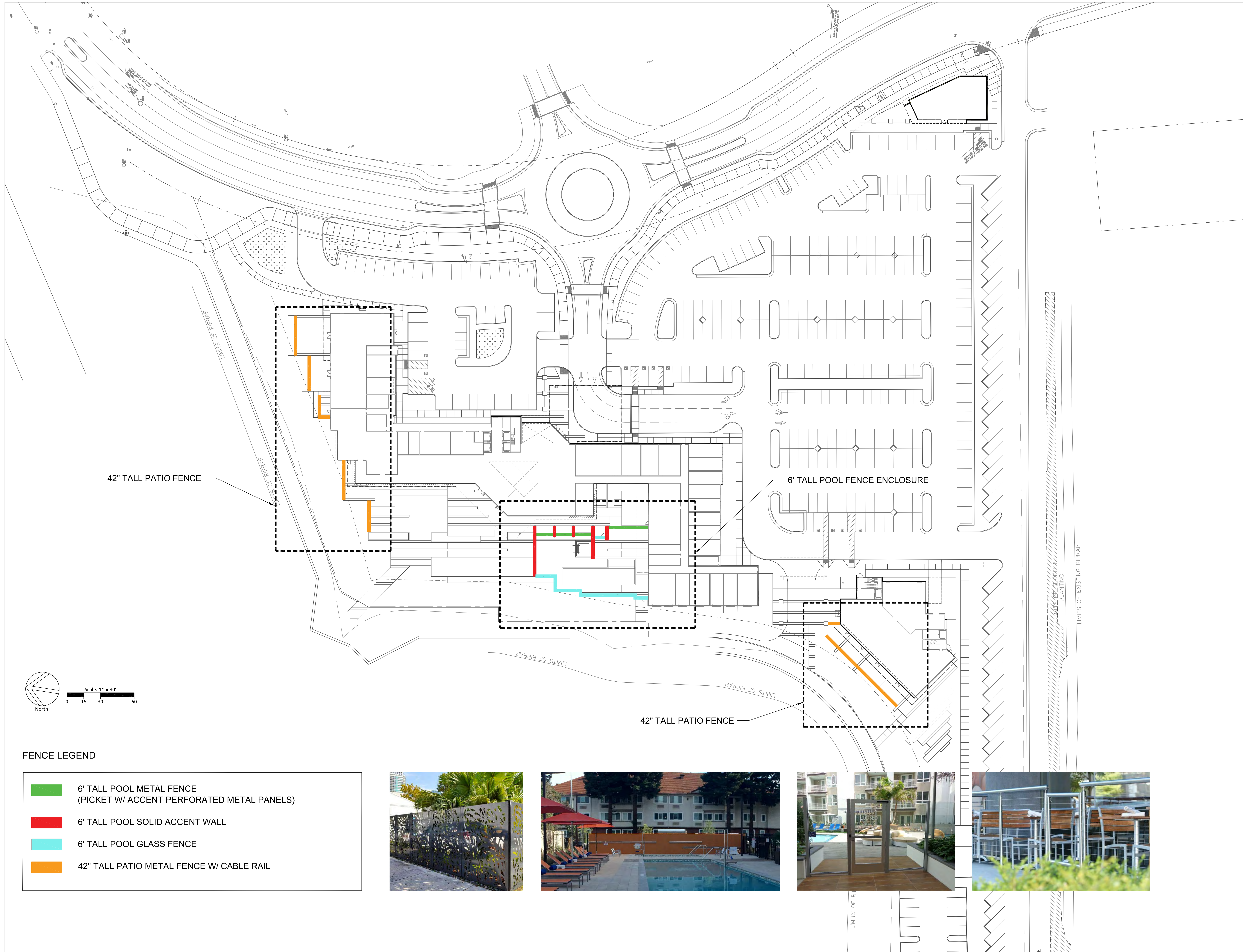
**Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.**

Total ETAF x Area (B)	31,901
Total Area (A)	79,848
<b>Average ETAF</b>	<b>0.399524847209698</b>

<b>All Landscape Areas</b>	
Total ETAF x Area (B+D)	31,901
Total Area (A+C)	79,848
<b>Sitewide ETAF (B+D) ÷ (A+C)</b>	<b>0.399524847209698</b>

1. All planting areas are to be irrigated with an approved automatic underground irrigation system, utilizing a dedicated irrigation water meter, backflow devices, point source irrigation emitters, in accordance with the City of San Leandro Landscape Outdoor Water Use Efficiency Checklist. Potable irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261, as required by the State of California.
2. An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the city's Water Efficient Landscape Ordinance.
3. Irrigation Controllers shall use weather sensing technology to automatically adjust the irrigation system operation in response to real-time landscape planting demands and daily changes in weather conditions.
4. Irrigation Valves shall be aligned with planting types, sun exposure and soil conditions to allow for efficient use of irrigation water in accordance with plant material irrigation requirements, as reflected in the High Water requirements.
5. Landscape Trees, Shrubs, Groundcovers have been selected to include Native California Plants, and Mediterranean Climate drought tolerant plant species for the project.
6. Landscape and Irrigation Plans, with a Project Compliance Checklist, will be submitted with the Building Permit Application, which will document the landscape and planting design specifications in compliance with the City Ordinances.
7. The contractor shall be responsible for the protection of the design intent for the maintenance of the planting areas for the life of the project, including care and pruning of the site. The maintenance contractor shall furnish all labor, equipments, materials and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.





FENCE LEGEND

	6' TALL POOL METAL FENCE (PICKET W/ ACCENT PERFORATED METAL PANELS)
	6' TALL POOL SOLID ACCENT WALL
	6' TALL POOL GLASS FENCE
	42" TALL PATIO METAL FENCE W/ CABLE RAIL

