



City of San Leandro

Meeting Date: May 7, 2015

Staff Report

File Number: 15-269

Agenda Section: PUBLIC HEARINGS

Agenda Number: 6.A.

TO: Board of Zoning Adjustments

BY: Anjana Mepani
Planner II

FINANCE REVIEW: Not Applicable

TITLE: PLN2014-00063; Conditional Use Permit; for assembly use for the Ming Dang Center, a religious institution/prayer center, at 2015 Laura Avenue; Alameda County Assessor's Parcel Number 77A-655-144-1; Chien-Wang Chiang - Ming Dang Temple (applicant/property owner); RS Single-Family District.

SUMMARY AND RECOMMENDATION

The proposal is for assembly use to allow the Ming Dang Center (Center), a religious institution/prayer center, at 2015 Laura Avenue. Section 1-304 of the Zoning Code defines facilities for religious worship and incidental religious education as Assembly Uses. Since the property is zoned RS Residential Single-Family District, the San Leandro Zoning Code Section 2-506.B.2 stipulates that Assembly Uses in the RS zoning district require approval of a Conditional Use Permit.

The proposed exterior renovations of new paint, canopy, landscaping, and fencing at the site are designed to integrate into the surrounding neighborhood context, and is not likely to have impacts on neighboring properties. With the implementation of the recommended Conditions of Approval, the applicant/property owner will operate and maintain the Center in an orderly manner, without significant detriment or burden to the immediate area, as it relates to the proposed use. Staff recommends that the Board of Zoning Adjustments A) adopt the California Environmental Quality Act categorical exemption, B) adopt the recommended Findings of Fact, and C) approve Conditional Use Permit PLN2014-00063 subject to the attached recommended Conditions of Approval.

APPLICANT'S SUPPORTING STATEMENT

See attached statement.

RELATIONSHIP TO SURROUNDING AREA AND BACKGROUND

The subject property is located in the middle of the block on Laura Avenue near Melcher

Street and encompasses an area of approximately 16,598 square feet (0.38 acre). The site contains an existing one-story building that is approximately 5,890 square feet, built in 1955. The building has been vacant for a number of years and was previously used as an office, bakery, market, and unpermitted laundry.

The property falls within the Davis West neighborhood, near Interstate 880 and Davis Street. Surrounding properties include single-family homes and are similarly zoned RS Residential Single-Family District. Nearby uses along Davis Street include Westgate, Costco, and a Shell gas station.

DETAILS OF PROPOSAL

The applicant is proposing a religious institution/prayer (spiritual) center at 2015 Laura Avenue. The use of the Center would include prayers, meditation, religious studies, discussions, lectures, classes, and meetings. The Center would generally be open on Saturdays and Sundays. Assembly use hours would be Saturday from 7:00 p.m. to 9:30 p.m. and Sunday from 10:00 a.m. to 1:00 p.m., with approximately 10 to 25 members in attendance. After prayers services, lunch or dinner prepared by Center's staff or members would be served to the members in the dining room. The Center would be staffed by two full time staff/caretakers that will live at the facility. The proposed floor plan of the Center includes two bedrooms, each with a private bathroom for the caretakers.

The Center will not hold any kid's activities, daycare, or weddings. However, on certain holidays or special dates, such as Chinese Lunar New Year, Mid-Autumn Moon Festival, or the Center's anniversary there would be additional visitors to the Center. There would be no more than 45 occupants in the entire building at any one time or during any of the Center's events.

The project proposal includes interior and exterior improvements to the site. The existing parking lot would be restriped with a total of 21 parking spaces after the removal of the existing storage sheds at the site. The existing iron fence and gate at the front of the property would be removed and new landscaping would be added along the front of the property and near the building. New wood fencing would be added along the side property lines. The exterior of the building would be refreshed with new cement plaster and stucco, paint on the stone veneer, new canopy, and new windows and doors. A new trash and recycle enclosure would be added to the rear of the lot. Inside, tenant improvements would include a prayer/meditation area, library, classroom, offices, conference room, restrooms, lockers, storage, kitchen, and bedrooms with bathrooms for the two live-in caretakers.

STAFF ANALYSIS

The Zoning Code defines Assembly Uses as meeting, recreational, social facilities of a private or non-profit organization primarily for use by member or guests, or facilities for religious worship and incidental religious education (but not including schools as defined in Section 1-304 of the Zoning Code). This classification includes union halls, social clubs, fraternal organizations, and youth centers. The proposed religious institution/prayer center is in accordance with the objectives of the Zoning Code, which are to foster convenient, harmonious, and workable relationships among land uses.

The subject property is located within the RS Residential Single-Family District and nearby properties are also zoned as RS District. The surrounding area contains single-family homes built on lots that are approximately 5,000 square feet in size, which is the minimum lot size required in the RS District. The subject property is approximately 16,598 square feet, about three times larger than the nearby lots in the neighborhood.

The existing one-story building on the subject property, built in 1955 will not be expanded upon and will remain the existing size of approximately 5,890 square feet. Since the building would remain the same size, it would only be able to accommodate a small congregation/membership, as proposed by the Center. The occupancy of the space would not be exceeded since spaces such as the classroom and prayer/meditation room would not be used at the same time or concurrently. All of the activities associated with the Center will occur inside the building. The Center's anticipated meditation, prayers, and activities are low noise and would be contained inside the building. The proposed new landscaping for the site will enhance the property frontage and will help the Center fit in with surrounding residential landscaping on Laura Avenue and Melcher Street. Further, no outdoor signage is proposed for the Center.

There would be adequate on-site parking for members and staff, provided by the proposed 21 parking spaces in the parking lot that is located next to the existing building. The proposed 21 on-site parking spaces at the subject property satisfy the Zoning Code parking requirement (Zoning Code Section 4-1704; Assembly Use requires one space per 50 square feet used for assembly purposes). The proposed use does not appear to be a high traffic or parking generator due to the limited nature of the Center and the low number of members on-site at any one time. Further, Engineering and Transportation Department staff has reviewed the circulation and parking layout for the site and has found it adequate.

The proposed use would be subject to certain limitations to avoid adverse effects on adjacent uses and properties. Recommended Conditions of Approval requirements for the proposed project include:

- The Center shall not be utilized to generate revenue by renting it out to outside non-members as a convention hall, special events center, or for other purposes.
- Any use of the Center as a homeless shelter, food distribution center, or other social service use shall require either approval of the Community Development Director or an amendment to this Conditional Use Permit.
- No more than two persons shall stay or live in the building as caretakers or staff.
- No commercial weekday childcare or private school activities shall occur on property.
- All landscaping improvements shall be maintained in a healthy, growing condition at all times.
- The property shall be well maintained and shall be kept free of litter, debris and weeds at all times and during construction. During the Center's operation hours and on certain holidays, special dates, and/or events the caretakers and/or staff shall patrol the property and perimeter of the property to pick up any trash or litter attributable to the Center and sweep street gutters.
- Center's members, staff, and caretakers shall be instructed by the applicant and/or property owner not to park on the street in front of nearby residences.
- All vehicle parking on the property shall be undertaken in a neat and orderly manner at

all times.

- All uses and activities shall comply with the provisions of the San Leandro Noise Regulations (Title IV, Chapter 1 of the Municipal Code).

Moreover, the main purpose for a conditional use permit review is to ensure that the subject use will not have an adverse impact on a particular neighborhood. Such a review must determine whether the proposed use and the existing neighborhood are compatible. Staff has visited the site and surrounding neighborhood, reviewed the exhibits and description of the proposed religious institution/prayer center and believes that, with the recommended Conditions of Approval, the proposed use will be compatible with the existing residential uses along Laura Avenue and the immediate area. The Center will be required to operate in a well-ordered manner within the site and noise impacts will be minimal as the use will be subject to the City's noise ordinance. The recommended Conditions of Approval will maintain the character of the area, promote the acceptable reuse of the vacant building, and prevent impacts to the adjacent uses.

GENERAL PLAN CONFORMITY

The property is designated as Low Density Residential in the City's General Plan Land Use Map. Low Density Residential is "intended for detached single family homes and is characterized by lots of 5,000 to 10,000 square feet" (General Plan page 3-11). The property is also in the Davis Corridor residential neighborhood where the General Plan states that "additional opportunities for [n]eighborhood-serving commercial uses, services, parks, and other amenities should be pursued in this area" (General Plan page 3-22), therefore, the proposed religious institution/prayer center use will be consistent with the City of San Leandro General Plan for this land use designation. In addition, the following General Plan policies would apply:

Policy 1.04 Front Yards - Encourage the attractive treatment of front yards and other areas in residential neighborhoods that are visible from the street. Establish limits on the paving of front yard areas.

Policy 1.07 Fences - Require that any fencing in residential neighborhoods meets high aesthetic and safety standards. Residential fencing should not obstruct vehicle sight lines, should be compatible with the architectural design of nearby structures and should make a positive contribution to the character of the neighborhood.

Policy 1.11 Encroachment of Incompatible Uses - Protect residential neighborhoods from the encroachment of incompatible non-residential uses and disruptive traffic, to the extent possible. Zoning and design review should ensure that compatibility issues are fully addressed when non-residential development is proposed near or within residential areas.

Policy 2.05 Alterations, Additions, and Infill - Ensure that alterations, additions and infill development are compatible with existing homes and maintain aesthetically pleasing neighborhoods.

ENVIRONMENTAL REVIEW

This item is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines, Article 19, Section 15301 (a) as it is an Existing Facility that involves no expansion; interior and exterior alterations; and is not located in an environmentally sensitive area.

PUBLIC OUTREACH

A notice of the May 7, 2015 public hearing was sent to property owners and businesses within 500 feet of the subject property. A legal advertisement was published in the Daily Review and the property was posted with placards 10 days prior to the Board of Zoning Adjustments meeting. Further, the property owner conducted a neighborhood visit on October 12, 2014 and documented responses and comments from the neighbors (see attached 2015 Laura Ave Neighborhood Visit).

RECOMMENDATION

The use as proposed conforms both to the City Zoning Code and to the General Plan. Any planning issues associated with this application will be mitigated by the implementation of the proposed conditions of approval. Staff therefore recommends that the Board of Zoning Adjustments:

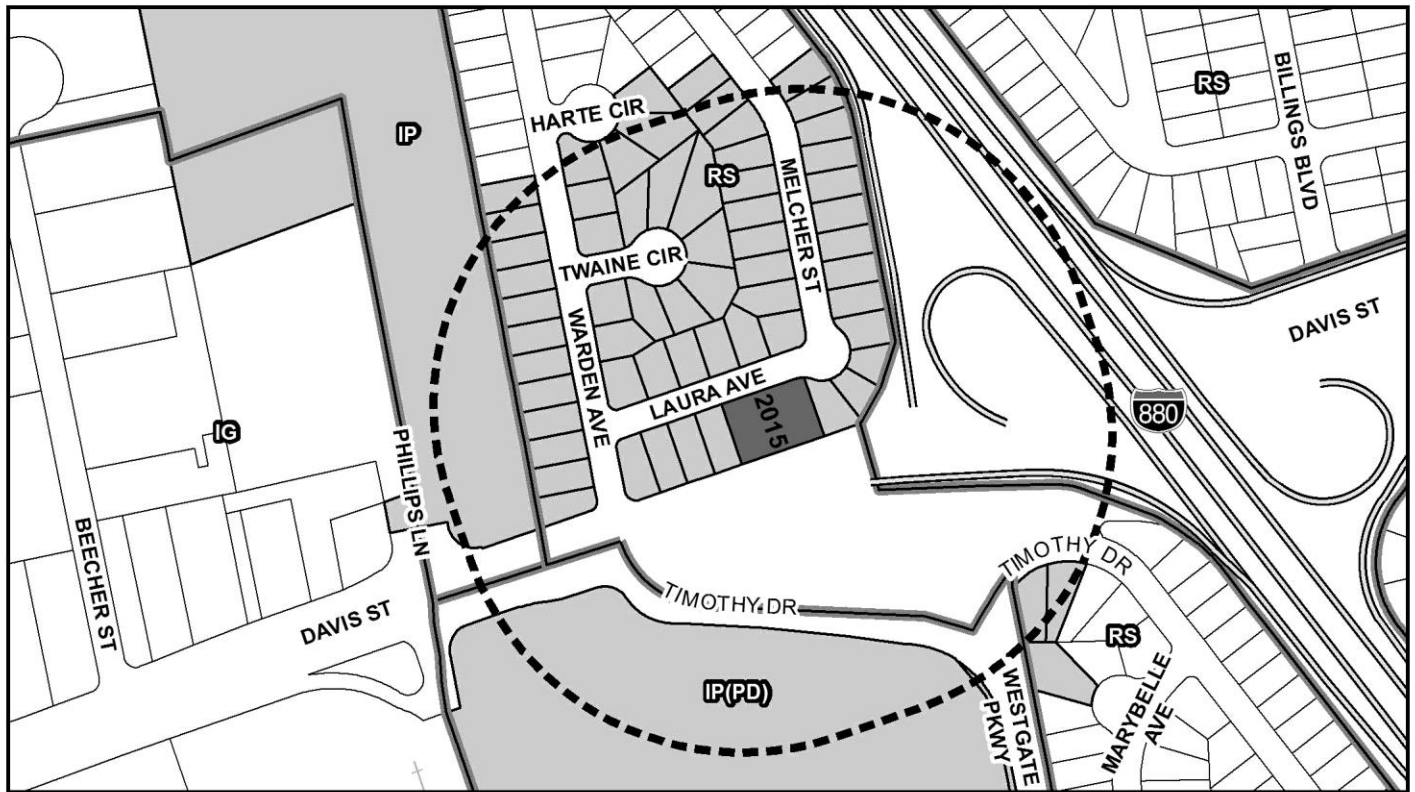
- A. Adopt the findings that this project is exempt under the California Environmental Quality Act (CEQA) per CEQA Guidelines, Article 19, Section 15301 (a) for Existing Facilities with no expansion;
- B. Approve the attached Recommended Findings of Fact for a Conditional Use Permit for PLN2014-00063; and
- C. Approve Conditional Use Permit PLN2014-00063 subject to the Recommended Conditions of Approval.

ATTACHMENTS

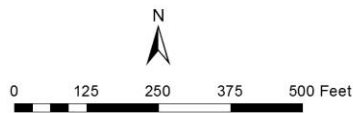
Vicinity Map
Applicant's Supporting Statement
2015 Laura Ave Neighborhood Visit
Pictures
Recommended Findings of Fact
Recommended Conditions of Approval
Exhibit A - Title Sheet
Exhibit B - Existing Site Plan with Demolition
Exhibit C - Proposed Site Plan
Exhibit D - Demolition Plan & Proposed Floor Plan
Exhibit E - Existing Plan & Occupant Load
Exhibit F - Existing Exterior Elevations
Exhibit G - Proposed Exterior Elevations
Exhibit H - Topographic Map


Exhibit I - Landscape Plan
Exhibit J - Planting Details & Schedule
Exhibit K - Irrigation Plan
Exhibit L - Irrigation Notes & Schedule

City of San Leandro
BOARD OF ZONING ADJUSTMENT
Staff Report
VICINITY MAP
Showing Existing Land Use and Zoning



2015 Laura Ave
77A-655-144-1



-  **Parcels within 500'**
of 2015 Laura Ave
-  **500' buffer around**
2015 Laura Ave

Meeting Date: May 7, 2015
File Number: PLN2014-00063
Agenda Item No.: 6.A.
Applicant/
Property Owner: Chien-Wang Chiang (Ming Dang Temple)
Address: 2015 Laura Avenue
Assessor's Parcel #: 77A-655-144-1
Project Planner: Anjana Mepani, Planner II



March 3, 2015

Planning Service Division
Community Development Department
835 East 14th Street
San Leandro, CA 94577

Re: Facility Operation & Use
Ming Dang Center
2015 Laura Avenue,
San Leandro, CA 94577

To Whom It May Concern:

The facility will generally be open on Saturdays and Sundays only. The operation hours on Saturdays are from 7:00 p.m. to 9:30 p.m (prayer from 7:00 p.m. to 7:30 p.m., dinner from 7:30 p.m. to 8:00 p.m., and other activities such as meetings and discussions from 8:00 p.m. on). Anticipated attendance is for staff and members which has approximately 10 to 20 people.

The operation hours on Sunday are from 10:00 a.m. to 1:00 p.m, which includes lectures and noon prayers, as well as other activities such as meditation. Sundays are generally for members and followers, which have approximately 15 to 25 people.

The classroom is for lectures and noon prayers, as well as religious studies. Again only 15-25 occupants are anticipated in the classroom. The dining room and kitchen will be used by the center's staff and members only. The same groups of people attending the activities and/ or events may stay for lunch or dinner.

The building will have two bedrooms, and each has its own bathroom. These bedrooms are for one or two full time staff or caretakers, who will live in the facility. There will not be any other people stay or live in the building. The reason for two caretakers bedrooms is to have one for male and another for female. The religion affiliated with this center does not allow mixed use on the bedrooms or bathrooms.

The conference room is intended for the owner, staff, and/ or members to discuss administrative and operation matters. The facility does not hold or take care of kids activities.

The lockers are for people to keep their personal belongings for security reasons. For instance, meditation attendees may want to make sure their purses, wallets, or cell phones put away securely. The two offices are for the owner and staff to do their administrative work.

There will not be any daycare or wedding activities at all. However, during certain holidays or special dates, such as Chinese Lunar New Year, Mid-Autumn Moon Festival, and the anniversary of the facility, there will be more visitors. The classroom and prayer/ meditation room will not be used concurrently. There will be no more than 45 occupants in the entire building at any time or during any events.

There shall not be any noise generated from the activities or events. All anticipated classes, meditation, prayer and meetings are low noise which shall be contained inside the building.

Garbage generated by the operation of the center will not much, since gathering and events all take place on Saturdays and Sunday only. During weekdays, there is only one or two caretakers and/ or staff on site. The center will arrange garbage pickup on Mondays. If needed, another pick up will be arranged on Thursday or Friday.

In general, this facility function and operation are very identical to those of a church. If there are still any questions, please do not hesitate to contact me. Thank you.

Regards,

A handwritten signature in black ink, appearing to read 'Mike Ma'.

Mike Ma, AIA
Architect

2015 Laura Ave Neighborhood Visit (2:00 pm to 4:00 pm, October 12th, 2014)

Address	Responses / Comments
2005 Laura Ave	The house was vacant. The previous resident just moved (we learned it from the neighbor).
2001 Laura Ave	The visitor answered the door and will pass the message to the resident.
1176 Melcher St	Mrs. Fang was concerned about the parking and the cars that may make U-turn in front of her house. We have made a note to it and will ask our visitors to be cautious about it.
1154 Melcher St	This neighbor didn't think the remodeling would bring inconvenience to him.
1132 Melcher St	This neighbor didn't have any comment.
1110 Melcher St	We couldn't visit this neighbor because there were two dogs outside.
1092 Melcher St	No one answered the door.
1097 Melcher St	This neighbor didn't have any comment.
1119 Melcher St	This neighbor asked what the remodeling is for. We told them it would be a prayer center, and they were fine with it.
2034 Laura Ave	This neighbor was happy to have a prayer center to visit near his house.
2050 Laura Ave	This neighbor was concerned about the parking. After we told them that our visitors would park in our own parking lots, they appreciated we informed them the upcoming remodeling.
2076 Laura Ave	This neighbor didn't have any comment.
2092 Laura Ave	This neighbor was happy to have a prayer (spiritual) center as the property use.
2120 Laura Ave	No one answered the door.
2136 Laura Ave	We couldn't visit this neighbor because of the fence.
2139 Laura Ave	This neighbor didn't have any comment.
2123 Laura Ave	This neighbor asked what kind of remodeling, and if we would have enough parking space. We explained to her that the remodeling would mostly be the interior and some landscape outside, and we would remove the extra storage space built by previous owner, so the parking would be enough. She was happy to know that we were going to make the property prettier, and she liked the idea of prayer center as the property use.
2107 Laura Ave	This neighbor didn't have any comment.
2095 Laura Ave	This neighbor asked what the remodeling is for. We told him it would be a prayer center, and he didn't have any comment.







RECOMMENDED FINDINGS OF FACT

PLN2014-00063

2015 Laura Avenue

Chien-Wang Chiang – Ming Dang Temple (Applicant/Property Owner)

The Board of Zoning Adjustments hereby approves the Conditional Use Permit for assembly use to allow the Ming Dang Center, a religious institution/prayer center, at 2015 Laura Avenue, and finds the project categorically exempt from CEQA subject to the following findings:

The Board of Zoning Adjustments hereby approves the Conditional Use Permit, subject to the following findings:

- 1. The proposed location of the use is in accord with the objectives of this Code and the purposes of the district in which the site is located.**

The Zoning Code allows for Assembly Uses in the RS Residential Single-Family District subject to a conditional use permit issued by the Board of Zoning Adjustments (Zoning Code Sections 2-506.B.2). A conditional use permit is discretionary and the Board of Zoning Adjustments will determine if the proposed use would be compatible with the existing and proposed uses in the general vicinity. The proposed religious institution/prayer center use is in accord with the objectives of this Code, which are to improve the design and aesthetic quality of existing development and to foster convenient, harmonious, and workable relationships among land uses, subject to the conditions of approval. The conditions of approval will maintain the character of the area and prevent significant impacts to the adjacent residential uses. Thus, the proposed Ming Dang Center (Center) would be subject to certain limitations to avoid adverse effects on adjacent uses and properties, and would be required to operate in an orderly manner with specific requirements for parking, noise, litter pick-up, hours of assembly use, and use of the property.

- 2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.**

The property is designated as Low Density Residential in the City's General Plan Land Use Map. Low Density Residential is "intended for detached single family homes and is characterized by lots of 5,000 to 10,000 square feet" (General Plan page 3-11). The property is also in the Davis Corridor residential neighborhood where the General Plan states that "additional opportunities for [n]eighborhood-serving commercial uses, services, parks, and other amenities should be pursued

in this area” (General Plan page 3-22) therefore, the proposed religious institution/prayer center use will be consistent with the City of San Leandro General Plan for this land use designation. In addition, the following General Plan policies would apply:

Policy 1.04 Front Yards – Encourage the attractive treatment of front yards and other areas in residential neighborhoods that are visible from the street. Establish limits on the paving of front yard areas.

Policy 1.07 Fences – Require that any fencing in residential neighborhoods meets high aesthetic and safety standards. Residential fencing should not obstruct vehicle sight lines, should be compatible with the architectural design of nearby structures and should make a positive contribution to the character of the neighborhood.

Policy 1.11 Encroachment of Incompatible Uses – Protect residential neighborhoods from the encroachment of incompatible non-residential uses and disruptive traffic, to the extent possible. Zoning and design review should ensure that compatibility issues are fully addressed when non-residential development is proposed near or within residential areas.

Policy 2.05 Alterations, Additions, and Infill – Ensure that alterations, additions and infill development are compatible with existing homes and maintain aesthetically pleasing neighborhoods.

The proposed use will not be materially detrimental to public health, safety or welfare of persons working in or adjacent to the area; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the City because the property and its use would be subject to the conditions of approval.

3. **The proposed use will comply with the provisions of this Code, including any specific condition required for the proposed use in the district in which it would be located.**

Assembly Uses are conditionally permitted use in the RS Residential Single-Family District. A use permit application is discretionary and the Board of Zoning Adjustments will determine if the proposed use is compatible with the existing and proposed uses in the general vicinity. The Board of Zoning Adjustments, in considering the conditional use application, will require specific conditions of approval (i.e., orderly use of the property, site maintenance, adherence to proposed plans) to ensure the proposed use will be compatible with the existing site improvements and immediate residential neighborhood.

4. **The proposed use will not create adverse impacts on traffic or create demands exceeding the capacity of public services and facilities which cannot be mitigated.**

The proposed use will not create major traffic impacts during the week, the primary impact will be on weekends during the limited hours of the Center. The existing property is adequately served by streets, utilities and other public facilities without detriment to the immediate area. The proposal will not significantly affect the public utilities and facilities already serving the existing immediate area as it involves re-use of an existing building and site. The property has adequate off-street parking for the proposed religious institution/prayer center.

California Environmental Quality Act Categorical Exemption Findings

This item is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines, Article 19, Section 15301 (a) as it is an Existing Facility that involves no expansion; interior and exterior alterations; and is not located in an environmentally sensitive area.

**RECOMMENDED
CONDITIONS OF APPROVAL**

**PLN2014-00063 - 2015 Laura Avenue
Chien-Wang Chiang – Ming Dang Temple (Applicant/Property Owner)**

I. COMPLIANCE WITH APPROVED PLANS

- A. The applicant and/or property owner shall comply with Exhibits A through L, attached to the staff report dated May 7, 2015, except as hereinafter modified. Exhibits are on file at the City of San Leandro Community Development Department, 835 East 14th Street, San Leandro, California.

Exhibit A – Title Sheet
Exhibit B – Existing Site Plan with Demolition
Exhibit C – Proposed Site Plan
Exhibit D – Demolition Plan & Proposed Floor Plan
Exhibit E – Exiting Plan & Occupant Load
Exhibit F – Existing Exterior Elevations
Exhibit G – Proposed Exterior Elevations
Exhibit H – Topographic Map
Exhibit I – Landscape Plan
Exhibit J – Planting Details & Schedule
Exhibit K – Irrigation Plan
Exhibit L – Irrigation Notes & Schedule

- B. The applicant and/or property owner shall be responsible for assuring that any successor in interest who assumes responsibility for this zoning approval is informed of its terms and conditions.
- C. Construction shall commence within one (1) year following Board of Zoning Adjustments approval of the Conditional Use Permit and shall be substantially completed one year after commencement of construction. For the purpose of compliance with this condition, commencement of construction shall be defined as the construction or reconfiguration of a substantial portion of the interior building.
- D. Prior to issuance of building permits, a final color and materials board shall be submitted for the exterior of the building for review and approval as part of the building permit to ensure the quality of the exterior design. Any changes to the approved building specifications must be made in writing to the Community Development Director, who may either administratively approve the modification or bring it back to the Board of Zoning Adjustments for review.
- E. Prior to issuance of building permits a final landscape and irrigation plan shall be submitted for review and approval as part of the building permit. The minimum size for the shrubs shall be five gallons and the ground cover shall be

one gallon or shall be from flats with the necessary spacing to cover the planting areas in one growing season. To reduce on-site water consumption and reduce the energy required for the pumping and distribution of water, drought-resistant native species shall be used for site landscaping where possible.

II. PERMITTED USES

- A. This is a conditional use permit approval for assembly use to allow for the Ming Dang Center (Center), a religious institution/prayer center, at 2015 Laura Avenue; Alameda County Assessor's Parcel Number 77A-655-144-1; Chien-Wang Chiang – Ming Dang Temple (applicant/property owner).
- B. Any change or additional occupancy deemed minor in nature may be approved by the Community Development Director. A change or additional occupancy deemed major shall be referred to the Board of Zoning Adjustments for its consideration as a modification to the Conditional Use Permit.
- C. The interior use of the building and construction of the project shall remain in substantial compliance with the approved plans and exhibits. Any change to the project design, materials or colors shall be subject to the review and approval of the Community Development Director who may administratively approve or require review by the Board of Zoning Adjustments as a modification to the Conditional Use Permit.
- D. The days and hours of assembly use shall be Saturdays from 7:00 p.m. to 9:30 p.m. and Sundays from 10:00 a.m. to 1:00 p.m. Any modification to the hours shall be subject to the review and approval of the Community Development Director.
- E. This approval is for the use of one religious institution/prayer center with related activities only and the property shall not be used by the applicant and/or property owner for any other activities or functions. The Center shall not be utilized to generate revenue by renting it out to outside non-members as a convention hall, special events center, or for other purposes.
- F. Any use of the Center as a homeless shelter, food distribution center, or other social service use shall require either approval of the Community Development Director or an amendment to this Conditional Use Permit.
- G. Any type of sub-lease of the property to another group, church, or religious institution will require a review by the Community Development Director and/or Board of Zoning Adjustments for consistency with this approval.
- H. No commercial weekday childcare or private school activities shall occur on property.
- I. No more than two persons shall stay or live in the building as caretakers or staff.

III. ALAMEDA COUNTY FIRE DEPARTMENT REQUIREMENTS

- A. At the time of building plan submittal the correct occupancy classification shall be provided on the plans.
- B. At the time of building plan submittal plans will show the ratings of all fire extinguishers (2A-10B:C).
- C. At the time of building plan submittal egress will be shown to the public way.

IV. ENGINEERING AND TRANSPORTATION DEPARTMENT REQUIREMENTS

- A. Pursuant to Government Code Section 66020, including Section 66020 (d) (1), the City HEREBY NOTIFIES the applicant for this Project that the 90-day approval period (in which the applicant may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) will begin on the date of the conditional approval of this Project. If you fail to file a protest within this 90-day period, complying with all of the requirements of Government Code Section 66020, you will be legally barred from later challenging any such fees, dedications, reservations or other exactions.
- B. The proposed development shall comply with City ordinances, policies and regulations. All improvements shall be in accordance with the City's Design Standards, Specifications and Standard Plans unless otherwise specifically approved by the City Engineer.
- C. Applicant shall pay design review fees, permit fees, inspection fees, sewer connection fees, and any other fees charged by the City or other reviewing agencies for the review, approval, permitting and inspection of the public and/or private improvements.
- D. Applicant shall have site improvements designed and stamped by a civil engineer registered to practice within the State of California. Applicant shall obtain approval of the City Engineer for all on site improvements prior to the issuance of Building Permits for the project.
- E. If the design of any site improvement requires encroachments onto neighboring properties during construction, Applicant shall submit written agreements with that property owner to the City Engineer, for review and approval, prior to issuance of the building permit.
- F. Applicant shall have public improvements designed and stamped by a civil engineer registered to practice within the State of California. Applicant shall obtain approval of the City Engineer for all public improvements prior to the issuance of Building Permits for the project.

- G. Applicant shall remove any unused driveways or damaged driveways, sidewalk, and curb and gutter along the full property frontage and shall construct new City standard driveway, sidewalk, curb and gutter in place of the removed items.
- H. Applicant shall obtain an Encroachment Permit from the Engineering and Transportation Department and pay encroachment permit fees for any work within the public right-of-way prior to the issuance of building permits for the project.
- I. Applicant shall provide the number of off street parking spaces required by the planning department, and the provided parking spaces shall conform to City standards.
- J. Applicant shall place the existing overhead utility services to the building underground from the nearest utility pole. Any new utility services for the project must be placed underground.
- K. Applicant shall install a sewer cleanout at the property line for any new sewer lateral prior to the issuance of a certificate of occupancy. If the existing sewer lateral is to be reused, the applicant shall verify there is a cleanout on the lateral, or install a cleanout at the property line if one does not exist.
- L. Applicant shall comply with the regulations and provisions contained in the City's Grading Ordinance, the City's Municipal Regional Storm Water Permit, to the satisfaction of the City Engineer.
- M. Applicant shall comply with the following high standards for sanitation during construction of improvements: Garbage cans, construction dumpsters, and debris piles shall be removed on a minimum weekly basis. All food related trash items such as wrappers, cans, bottles, and food scraps shall be disposed of in closed containers only and shall be regularly removed from the site. Inspections, conducted as part of the regular construction compliance, will be conducted to ensure compliance of the Applicant and contractors with this requirement.
- N. Applicant shall direct all roof down spouts to drain onto landscaped areas. Applicant shall construct on site impervious surfaces to drain storm water to landscaped areas.
- O. Landscaping adjacent to the parking areas and driveway shall be low growing vegetation and maintained at a height no greater than three feet tall to maintain adequate sight distance for vehicles entering and exiting the site.
- P. Applicant shall reduce storm water pollution by implementing the following pollution source control measures:

- a) Structures shall be designed to discourage the occurrence and entry of pests into buildings, thus minimizing the need for pesticides. The trash area shall be separated from the rest of the building by concrete or masonry walls so that pests that gain access to the area are less likely to access the rest of the building.
- b) All storm drains shall be marked "NO DUMPING, DRAINS TO BAY"
- c) All on-site storm drains shall be inspected and, if necessary, cleaned at least twice a year immediately prior to the rainy season.
- d) Sidewalks and parking lots shall be swept regularly to minimize the accumulation of litter and debris. Steam cleaning or low volume pressure washing may be performed only after pre-cleaning using dry methods, spot cleaning and recovery in stained areas and removal of all mobile pollutants. Debris resulting from pressure washing shall be trapped and collected to prevent entry into the storm drain system. Wash water containing any soap, cleaning agent or degreaser shall not be discharged to the storm drain.
- e) Interior floor drains and parking garage floor drains (if any) shall not be connected to the storm drain system.
- f) Air conditioning condensate shall be directed to landscaped areas. Any air conditioning condensate that discharges to land without flowing to a storm drain may be subject to the requirements of the State Water Resources Control Board's (SWRCB) Statewide General Waste Discharge Requirements (WDRs) for Discharges to Land with a Low Threat to Water Quality.
- g) Landscaping shall be designed to minimize irrigation and runoff, promote surface infiltration where appropriate, and minimize the use of fertilizers and pesticides that can contribute to storm water pollution.
- h) Where feasible, landscaping shall be designed and operated to treat storm water runoff by incorporating elements that collect, detain, and infiltrate runoff. In areas that provide detention of water, plants that are tolerant of saturated soil conditions and prolonged exposure to water shall be specified.
- i) Plant materials selected shall be appropriate to site specific characteristics such as soil type, topography, climate, amount and timing of sunlight, prevailing winds, rainfall, air movement, patterns of land use, ecological consistency and plant interactions to ensure successful establishment.
- j) Proper maintenance of landscaping, with minimal pesticide use, shall be the responsibility of the property owner.
- k) Irrigation shall be appropriate to the water requirements of the selected plants.

- l) Applicant shall select pest- and disease-resistant plants.
- m) Applicant shall plant a diversity of species to prevent a potential pest infestation from affecting the entire landscaping plan.
- n) Applicant shall plant “insectary” plants in the landscaping to attract and keep beneficial insects.

V. FENCING AND SCREENING REQUIREMENTS

- A. The existing fencing along the front property lines shall be removed no later than during installation of the approved irrigation and landscaping and prior to issuance of a Certificate of Occupancy.
- B. Prior to issuance of a building permit, details for all proposed new fencing shall be submitted for review and approval as part of the building permit. The plans shall include the design, materials, height and location of the proposed fencing and shall comply with the requirements of Zoning Code Section 4-1682 Fences, Walls and Hedges.
- C. All fencing and walls on the project site shall be structurally sound, graffiti free and well maintained at all times. Any damage to the walls or fencing shall be promptly replaced or repaired.
- D. Barbed, razor wire, or ribbon wire shall not be installed on any fence or building on the property.
- E. Prior to issuance of Certificate of Occupancy, all electrical or gas meters, utility switch boxes, telephone interface cabinets, outdoor refuse, or other utility areas shall be screened from view by a fence, wall or landscaping; details would be subject to approval of the Community Development Director.
- F. Any abandoned rooftop equipment shall be removed. All exterior rooftop mechanical equipment such as air conditioning/heating units and kitchen vents shall be screened from view so as not to be visible from adjacent properties or surrounding streets to the satisfaction of the Community Development Director. Screening, if needed, shall be installed prior to occupancy of the building.

VI. MAINTENANCE

- A. The property shall be well maintained and shall be kept free of litter, debris and weeds at all times and during construction. During the Center’s operation hours and on certain holidays, special dates, and/or events the caretakers and/or staff shall patrol the property and perimeter of the property to pick up any trash or litter attributable to the Center and sweep street gutters.

- B. Upon demolition or removal of existing structures, improvements, and construction the site shall be enclosed with a security fence and shall be well maintained in a neat manner, free of weeds, litter and debris.
- C. All landscaping improvements shall be maintained in a healthy, growing condition at all times. Any damaged or dead plant material shall be promptly replaced with a plant material similar in type and comparable in size to the plant(s) being removed. Any landscaping shall be maintained so as not to interfere or obstruct the public right-of-way for pedestrians and vehicles. The landscaping adjacent to the driveway shall be maintained so it does not exceed three feet in height above the top of the nearest adjacent curb and gutter to allow for adequate sight distance, or unless otherwise approved by the City's Transportation Engineer.
- D. Any graffiti shall be removed from the building walls. The applicant and/or property owner and its successors in interest shall comply with the rules and regulations of the City's graffiti removal program and shall grant a license and right of entry as requested to enforce the terms of such program.
- E. Dumpsters shall remain inside the trash enclosure at all times with the exception of emptying by the disposal company. Gates to the refuse area shall be closed except when necessary to move out the dumpster or deposit trash from garbage receptacles.
- F. The Conditional Use Permit conditions of approval shall be made accessible to the caretakers and Center's staff on the property.
- G. Center's members, staff, and caretakers shall be instructed by the applicant and/or property owner not to park on the street in front of nearby residences.
- H. All vehicle parking on the property shall be undertaken in a neat and orderly manner at all times.
- I. All uses and activities shall comply with the provisions of the San Leandro Noise Regulations (Title IV, Chapter 1 of the Municipal Code).
- J. Parking lot lighting shall comply with Article 17. Security lighting may be indirect or diffused, or shall be shielded or directed away from nearby residences.

VII. CONSTRUCTION PROVISIONS

- A. Construction activity shall not commence prior to 7:00 a.m. and shall cease by 7:00 p.m. Monday through Friday, and construction activity shall not commence prior to 8:00 a.m. and shall cease by 7:00 p.m. on Sunday and Saturday. No such construction is permitted on Federal holidays. As provided in the City of San Leandro's Noise Ordinance (ORDINANCE NO. 2003-005), "construction" shall mean any site preparation, assembly, erection, substantial repair, alteration, demolition or similar action, for or on any private property, public right-of-way, streets, structures, utilities, facilities or similar property. Construc-

tion activities carried on in violation of this Article may be enforced as provided in Section 4-1-1130, and may also be enforced by issuance of a stop work order and/or revocation of any or all permits issued for such construction activity.

- B. Construction activity shall not create dust, noise, or safety hazards for adjacent residents and properties. Dirt and mud shall not be tracked onto Laura Avenue or Warden Avenue from the project site.
- C. Truck hauling activities shall be restricted to 8:00 a.m. to 5:00 p.m. There shall be no truck hauling activity on Saturdays, Sundays and legal holidays.
- D. Procedures with the highest noise potential shall be scheduled for daylight hours, when ambient noise levels are highest.
- E. The contractor(s) shall be required to employ the quietest among alternative equipment or to muffle/control noise from available equipment.

VIII. GENERAL CONDITIONS

- A. Applicant and/or property owner shall comply with all requirements of the Building and Safety Services Division for assembly use.
- B. No signs shall be erected without prior approval by the Community Development Director and after first obtaining a building permit.
- C. Compliance required with the City's green building programs and Build It Green's protocols.
- D. A range of energy conservation measures, such as use of energy conserving appliances and indoor and outdoor lighting, shall be incorporated into the final building plans, to substantially reduce average per capita daily consumption.
- E. Applicant and/or property owner shall pay City development, permitting, and plan check fees in accordance with the fee schedules in effect at the time of the approval of this Conditional Use Permit.
- F. The approvals granted by the City as a result of this application, as well as the Conditions of Approval, shall be recorded in the office of the County Recorder of Alameda County.
- G. No application for amendment of the application or Conditions of Approval may be accepted or submitted for processing by the City unless (i) there is full compliance with all terms of the application and Conditions of Approval; or (ii) the Community Development Director waives compliance with the terms of the application and Conditions of Approval pending application for the amendment.

- H. Pursuant to Zoning Code Section 5-2218, this approval shall lapse on May 7, 2016 unless a) a building permit has been issued, coupled with diligent progress evidencing good faith intention to commence the intended use, or b) a written request for a one-year extension of the site plan review is approved by the Community Development Director.

TENANT IMPROVEMENTS for
MING DANG CENTER

2015 LAURA AVENUE
SAN LEANDRO, CA 94577

APN: 477A-655-144-01



MArch Design

Tel. 650.302.1987
Fax: 650.649.2927

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Blvd. #169
Cupertino, CA 95014

Architecture & Interior Design

REVISIONS

TENANT IMPROVEMENTS for

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SAN LEANDRO, CA 94577
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ABBREVIATIONS						SYMBOL / LEGEND		DRAWING INDEX		LOCATION MAP	
&	AND	F.E.	FIRE EXTINGUISHER	OPNG.	OPENING			<div>ARCHITECTURAL</div> <div>A1.0 TITLE SHEET</div> <div>A1.1 EXISTING SITE PLAN</div> <div>A1.2 PROPOSED SITE PLAN</div> <div>A2.1 EXISTING FLOOR PLAN w/ DEMOLITION & PROPOSED FLOOR PLAN</div> <div>A2.2. EXITING PLAN & OCCUPANT LOAD</div> <div>A3.1 EXISTING EXTERIOR ELEVATIONS</div> <div>A3.2 PROPOSED EXTERIOR ELEVATIONS</div> <div>TOPOGRAPHIC SURVEY</div> <div>LANDSCAPING</div> <div>L1 LANDSCAPE PLAN</div> <div>L2 PLANTING DETAILS & SCHEDULE</div> <div>IR 1 IRRIGATION PLAN</div> <div>IR 2 IRRIGATION NOTES & SCHEDULE</div>			
∠	ANGLE	F.O.	FACE OF	OPP.	OPPOSITE						
@	AT	F.O.F.	FACE OF FINISH	P.LAM.	PLASTIC LAMINATE						
⌀	CENTERLINE	F.O.S.	FACE OF STUDS	PL.	PLATE						
	DIAMETER	F.W.	FEATURE WALL	PLAS.	PLASTER						
#	POUND OR NUMBER	F.R.	FIRE RETARDANT	PLYWD.	PLYWOOD						
ACOUS.	ACOUSTICAL	F.S.	FULL SIZE	PR.							
ADJ.	ADJUSTABLE	FIN.	FINISH	PT.	POINT						
A.F.F.	ABOVE FINISH FLOOR	FL.	FLOOR	R.	RISER						
AL.	ALUMINUM	FLUOR.	FLUORESCENT	RAD.	RADIUS						
ARCH.	ARCHITECTURAL	FT.	FOOT OR FEET	RGTR.	REGISTER						
BD.	BOARD	G.B.	GRAB BAR	REQ'D	REQUIRED						
BLDG.	BUILDING	GA.	GAUGE	RESIL.	RESILIENT						
BLK.	BLOCK	GL.	GLASS	RM.	ROOM						
BLKG.	BLOCKING	GYP.	GYPSUM	RWD.	REDWOOD						
BM.	BEAM	H.B.	HOSE BIBB	S.	SOUTH						
BOT.	BOTTOM	H.C.	HOLLOW CORE	S.C.	SOLID CORE						
CAB.	CABINET	H.M.	HOLLOW METAL	S.STL.	STAINLESS STEEL						
CEM.	CEMENT	HCP.	HANDICAPPED	SCHED.	SCHEDULE						
CER.	CERAMIC	HDWD.	HARDWOOD	SHT.	SHEET						
CLG.	CEILING	HORIZ.	HORIZONTAL	SIM.	SIMILAR						
CLKG.	CAULKING	HGT.	HEIGHT	SPEC.	SPECIFICATION						
CLR.	CLEAR	HR.	HOUR	SQ.	SQUARE						
COL.	COLUMN	HVAC	HEATING, VENTILATING & AIR CONDITIONING	STD.	STANDARD						
CONC.	CONCRETE	I.D.	INSIDE DIAMETER (DIM.)	STL.	STEEL						
CONT.	CONTINUOUS	INSUL.	INSULATION	STOR.	STORAGE						
D.F.	DRINKING FOUNTAIN	JT.	JOINT	SUSP.	SUSPENDED						
DBL.	DOUBLE	LAM.	LAMINATE	T.O.	TOP OF						
DET.	DETAIL	LT.	LIGHT	TEL.	TELEPHONE						
DIA.	DIAMETER	M.	MIRROR	THK.	THICK						
DIM.	DIMENSION	MAX.	MAXIMUM	TYP.	TYPICAL						
DN.	DOWN	MECH.	MECHANICAL	U.O.N.	UNLESS OTHERWISE						
DR.	DOOR	MFR.	MANUFACTURER		NOTED						
DS.	DOWNSPOUT	MIN.	MINIMUM	UNF.	UNFINISHED						
DWG.	DRAWING	MISC.	MISCELLANEOUS	VERT.	VERTICAL						
E.P.	ELECTRICAL PANELBOARD	MTL.	METAL	W.	WEST						
EA.	EACH	N.	NORTH	W/	WITH						
EL.	ELEVATION	N.I.C.	NOT IN CONTRACT	W/C	WATER CLOSET						
ELEC.	ELECTRICAL	N.T.S.	NOT TO SCALE	W/O	WITHOUT						
EMER.	EMERGENCY	(N)	NEW	W/R	WATER RESISTANT						
EQ.	EQUAL	NO. OR #	NUMBER	WD.	WOOD						
(E)	EXISTING	NOM.	NOMINAL	WSCT.	WAINSCOT						
		O.D.	OUTSIDE DIAMETER	WT.	WEIGHT						

PROJECT CONTACT		PROJECT SCOPE	
OWNER:	ARCHITECT:	CONDITIONAL USE PERMIT FOR A NEW RELIGIOUS INSTITUTION WITH THE FOLLOWING EXTERIOR AND INTERIOR IMPROVEMENTS TO EXISTING ONE-STORY BUILDING: 1. EXTERIOR SITE WORK, INCLUDING PARKING AND LANDSCAPING; 2. NEW CEMENT PLASTER EXTERIOR WALL FINISH, NEW WINDOWS, DOORS, AND OTHER IMPROVEMENTS TO EXISTING BUILDING EXTERIOR. 3. NEW INTERIOR WORK FOR NEW CLASSROOM, DINING ROOM, KITCHEN, OFFICE, RESTROOMS, ETC.	
CHIN YUAN CHIANG 13831 CAMPUS DRIVE OAKLAND, CA 94605 (510) 635-7379 EMAIL: jjw520115@gmail.com	MICHAEL MA 20660 STEVENS CREEK BLVD., #169 CUPERTINO, CA 95014 (650) 302-1987 (650) 618-3986 FAX EMAIL: mma.ala@gmail.com		
LANDSCAPE ARCHITECT:	CIVIL ENGINEER:		
YU-WEN HUANG 3357 SAINT MICHAEL CT. PALO ALTO, CA 94306 (415) 694-0800 EMAIL: huang2010@yahoo.com	RW ENGINEERING 505 ALTAMONT DRIVE MILPITAS, CA 95035 (408) 262-1899 EMAIL: rwengineering@gmail.com		

DEFERRED APPROVAL		APPLICABLE CODES	
1. REQUIRES SEPARATE SUBMITTAL, PERMIT, PLAN REVIEW, INSPECTIONS, AND FEES FOR A NEW AUTOMATIC FIRE SPRINKLER SYSTEM.		2013 CBC, CFC, CPC, CMC, CEC, CALIFORNIA ENERGY CODE AND CITY OF SAN LEANDRO ORDINANCES	
2. REQUIRES SEPARATE SUBMITTAL, PERMIT, PLAN REVIEW, INSPECTIONS, AND FEES FOR A NEW FIXED FIRE SUPPRESSION SYSTEM (HOOD & DUCT) IN THE KITCHEN.		2013 CALIFORNIA BUILDING CODE (CBC); 2013 CALIFORNIA FIRE CODE (CFC); 2013 CALIFORNIA PLUMBING CODE (CPC); 2013 CALIFORNIA MECHANICAL CODE (CMC); 2013 CALIFORNIA ELECTRICAL CODE (CEC); 2013 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES); 2013 CALIFORNIA GREEN BUILDING STANDARDS (CGBS)	
3. REQUIRES SEPARATE SUBMITTAL, PERMIT, PLAN REVIEW, INSPECTIONS, AND FEES FOR A NEW FIRE ALARM SYSTEM WITH SMOKE DETECTORS.			

APN:	477A-655-144-01
USE:	RELIGIOUS & MEDITATION CENTER
ZONING DISTRICT:	RS
CONSTRUCTION TYPE:	V-N
OCCUPANCY GROUP:	A3 & B
SIZE OF LOT:	+/-16,598 S.F.
EXISTING BUILDING FLOOR AREA:	+/-5,890 S.F.
EXISTING BUILDING HEIGHT:	+/-12'-0"
PARKING PROVIDED	21 STALLS (INCLUDING 1 ADA STALL & 7 COMPACT)
A NEW AUTOMATIC FIRE SPRINKLER SYSTEM WILL BE PROVIDED	

OPNG.

OPENING

OPP.

OPPOSITE

P.LAM.

PLASTIC LAMINATE

PL.

PLATE

PLAS.

PLASTER

PLYWD.

PLYWOOD

PR.

PT.

POINT

R.

RISER

RAD.

RADIUS

RGTR.

REGISTER

REQ'D

REQUIRED

RESIL.

RESILIENT

RM.

ROOM

RWD.

REDWOOD

S.

SOUTH

S.C.

SOLID CORE

S.STL.

STAINLESS STEEL

SCHED.

SCHEDULE

SHT.

SHEET

SIM.

SIMILAR

SPEC.

SPECIFICATION

SQ.

SQUARE

STD.

STANDARD

STL.

STEEL

STOR.

STORAGE

SUSP.

SUSPENDED

T.O.

TOP OF

TEL.

TELEPHONE

THK.

THICK

TYP.

TYPICAL

U.O.N.

UNLESS OTHERWISE

NOTED

UNF.

UNFINISHED

VERT.

VERTICAL

W.

WEST

W/

WITH

W/C

WATER CLOSET

W/O

WITHOUT

W/R

WATER RESISTANT

WD.

WOOD

WSCT.

WAINSCOT

WT.

WEIGHT

A

X

B

XX

C

D

ELEVATION LETTER

DIRECTION OF ELEVATION

SHEET NUMBER

100'-0"

ELEVATION HEIGHT

X

DOOR NUMBERS

X

X

DETAIL REFERENCE

A

1

GRID NUMBERS

1

1

DATA POINT

1

REFERENCE NOTE

SALES

101

ROOM NAME

ROOM NUMBER

1

APPENDUM

1

PLAN CHANGE

PROJECT CONTACT

OWNER:

CHIN YUAN CHIANG

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CIVIL ENGINEER:

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PROJECT SCOPE

CONDITIONAL USE PERMIT FOR A NEW RELIGIOUS INSTITUTION WITH THE FOLLOWING EXTERIOR AND INTERIOR IMPROVEMENTS TO EXISTING ONE-STORY BUILDING:
1. EXTERIOR SITE WORK, INCLUDING PARKING AND LANDSCAPING.
2. NEW CEMENT PLASTER EXTERIOR WALL FINISH, NEW WINDOWS, DOORS, AND OTHER IMPROVEMENTS TO EXISTING BUILDING EXTERIOR.
3. NEW INTERIOR WORK FOR NEW CLASSROOM, DINING ROOM, KITCHEN, OFFICE, RESTROOMS, ETC.

PROJECT SUMMARY

APN:

477A-655-144-01

USE:

RELIGIOUS & MEDITATION CENTER

ZONING DISTRICT:

RS

CONSTRUCTION TYPE:

V-N

OCCUPANCY GROUP:

A3 & B

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EXISTING BUILDING FLOOR AREA:

+/-5,890 S.F.

EXISTING BUILDING HEIGHT:

+/-12'-0"

PARKING PROVIDED

21 STALLS
(INCLUDING 1 ADA STALL & 7 COMPACT)

A NEW AUTOMATIC FIRE SPRINKLER SYSTEM WILL BE PROVIDED

DEFERRED APPROVAL

1. REQUIRES SEPARATE SUBMITTAL, PERMIT, PLAN REVIEW, INSPECTIONS, AND FEES FOR A NEW AUTOMATIC FIRE SPRINKLER SYSTEM.

2. REQUIRES SEPARATE SUBMITTAL, PERMIT, PLAN REVIEW, INSPECTIONS, AND FEES FOR A NEW FIXED FIRE SUPPRESSION SYSTEM (HOOD & DUCT) IN THE KITCHEN.

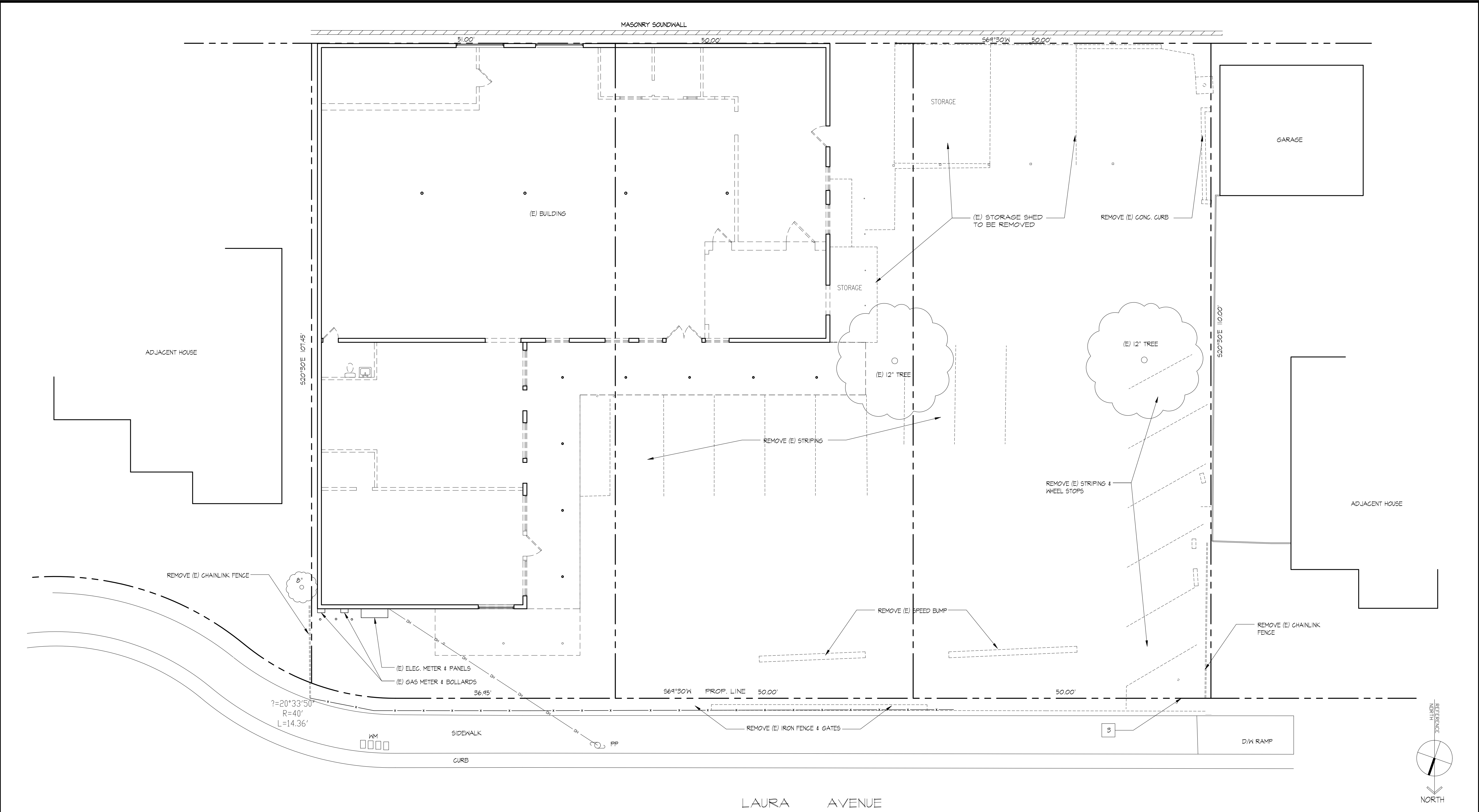
3. REQUIRES SEPARATE SUBMITTAL, PERMIT, PLAN REVIEW, INSPECTIONS, AND FEES FOR A NEW FIRE ALARM SYSTEM WITH SMOKE DETECTORS.

APPLICABLE CODES

2013 CBC, CFC, CPC, GMC, CEC, CALIFORNIA ENERGY CODE AND CITY OF SAN LEANDRO ORDINANCES

2013 CALIFORNIA BUILDING CODE (CBC);
2013 CALIFORNIA FIRE CODE (CFC);
2013 CALIFORNIA PLUMBING CODE (CPC);
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2013 CALIFORNIA ELECTRICAL CODE (CEC);
2013 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES);
2013 CALIFORNIA GREEN BUILDING STANDARDS (CGBS)

A1.0



① (E) SITE PLAN w/ DEMOLITION

1/8" = 1'-0"



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REVISIONS

TENANT IMPROVEMENTS for

MING DANG CENTER

2015 LAURA AVENUE

SAN LEANDRO, CA 94577

APN: 477A-655-144-01

CLIENT

DATE

03/03/15

CHECKED

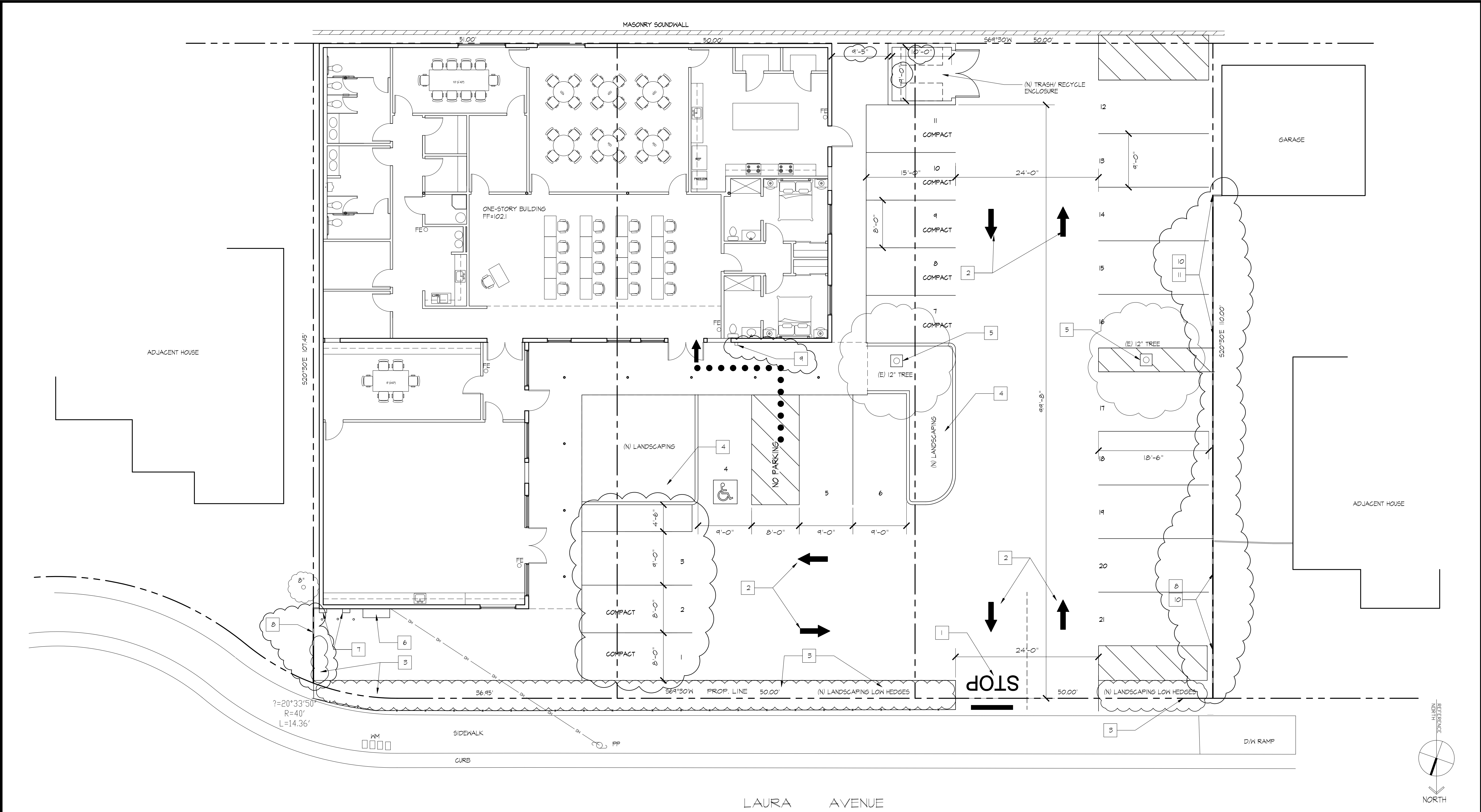
DRAWN

MM

JOB NO.

(E) SITE PLAN w/ DEMOLITION


A1.1



1 PROPOSED SITE PLAN

1/8" = 1'-0"


- 1 (N) STRIPING & STOP ON PAVEMENT
- 2 (N) TRAFFIC DIRECTION ARROW ON PAVEMENT
- 3 (N) LANDSCAPING - LOW HEDGES.
- 4 (N) LANDSCAPING / PLANTER.
- 5 (E) TREE TO REMAIN.
- 6 (E) ELEC. METER & PANEL ENCLOSURE.
- 7 (E) GAS METERS & BOLLARDS.
- 8 (N) 3 FT. HT. WD. FENCE WITHIN THE FRONT 20 FT. SETBACK.
- 9 PROVIDE (N) FIRE DEPT. KEY BOX ON WALL PER ALAMEDA COUNTY FIRE DEPARTMENT REQUIREMENTS.
- 10 PLANT VINE (CREEPING FIG) ALONG ALL WEST FENCE ON PROPERTY LINE.
- 11 (N) 1 FT. HT. WD. FENCE OUTSIDE THE FRONT SETBACK.

 (E) DISABLED ACCESSIBLE PARKING STALL

PATH OF TRAVEL FOR DISABLED FROM PARKING OR PUBLIC RIGHT OF WAY TO BUILDING ENTRANCE. ACCESSIBLE PATH OF TRAVEL - IS A BARRIER FREE CONTINUOUSLY ACCESSIBLE PATH WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT 1:2 MAX. SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEEDING 1/4" VERTICAL. MAXIMUM CROSS-SLOPE 2% TYPICAL. PATH IS A MIN. 48" WIDTH AND SHALL HAVE RAMPS AT ELEVATION CHANGES/ SLOPE EXCEEDING 5%.

SITE PLAN KEYNOTES

SITE PLAN LEGEND



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MING DANG CENTER

2015 LAURA AVENUE

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APN: 477A-655-144-01

CLIENT

DATE

03/03/15

CHECKED

DRAWN

MM

JOB NO.

PROPOSED SITE PLAN

A1.2

REVISIONS

TENANT IMPROVEMENTS for

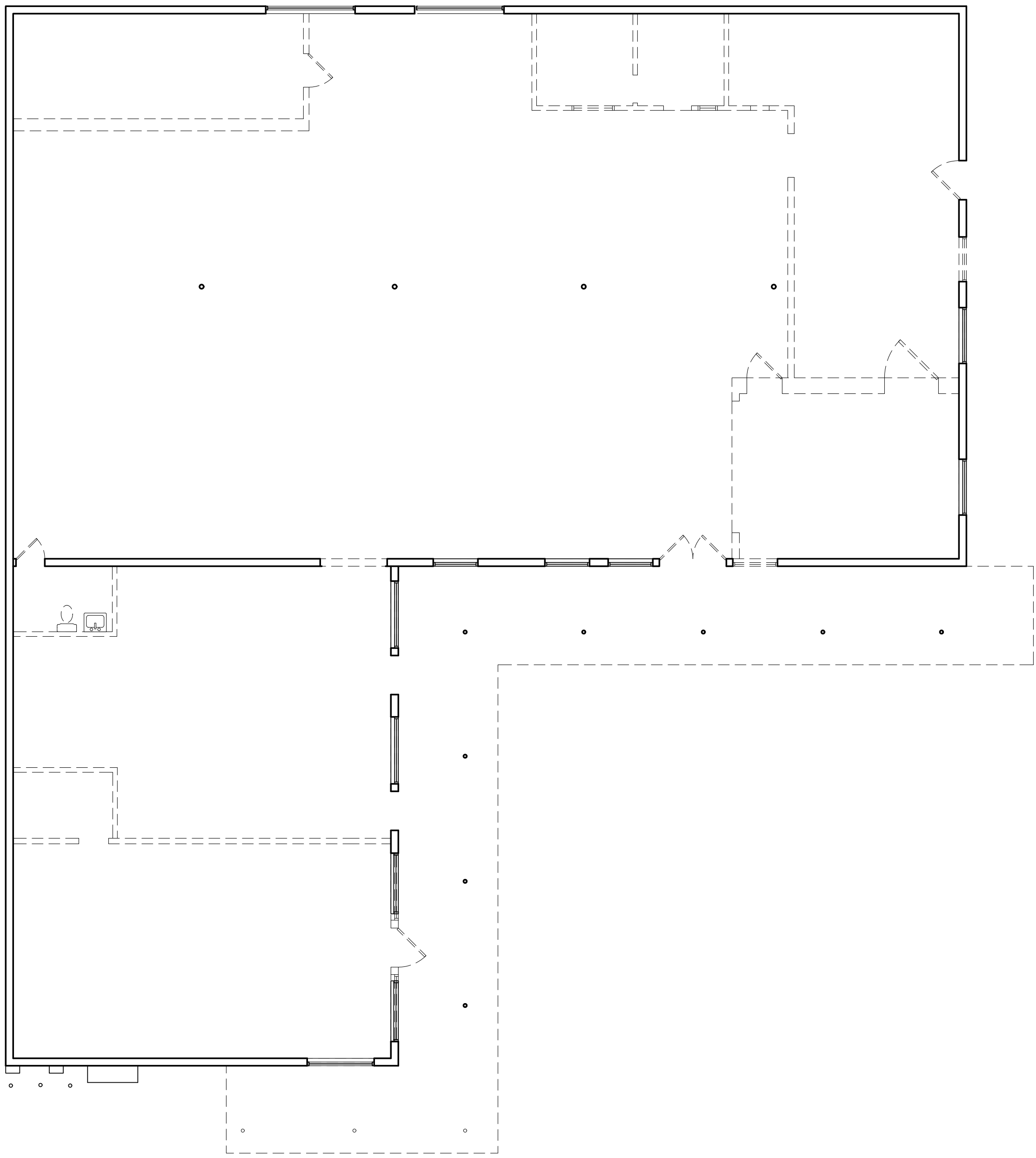
MING DANG CENTER

2015 LAURA AVENUE
SAN LEANDRO, CA 94577
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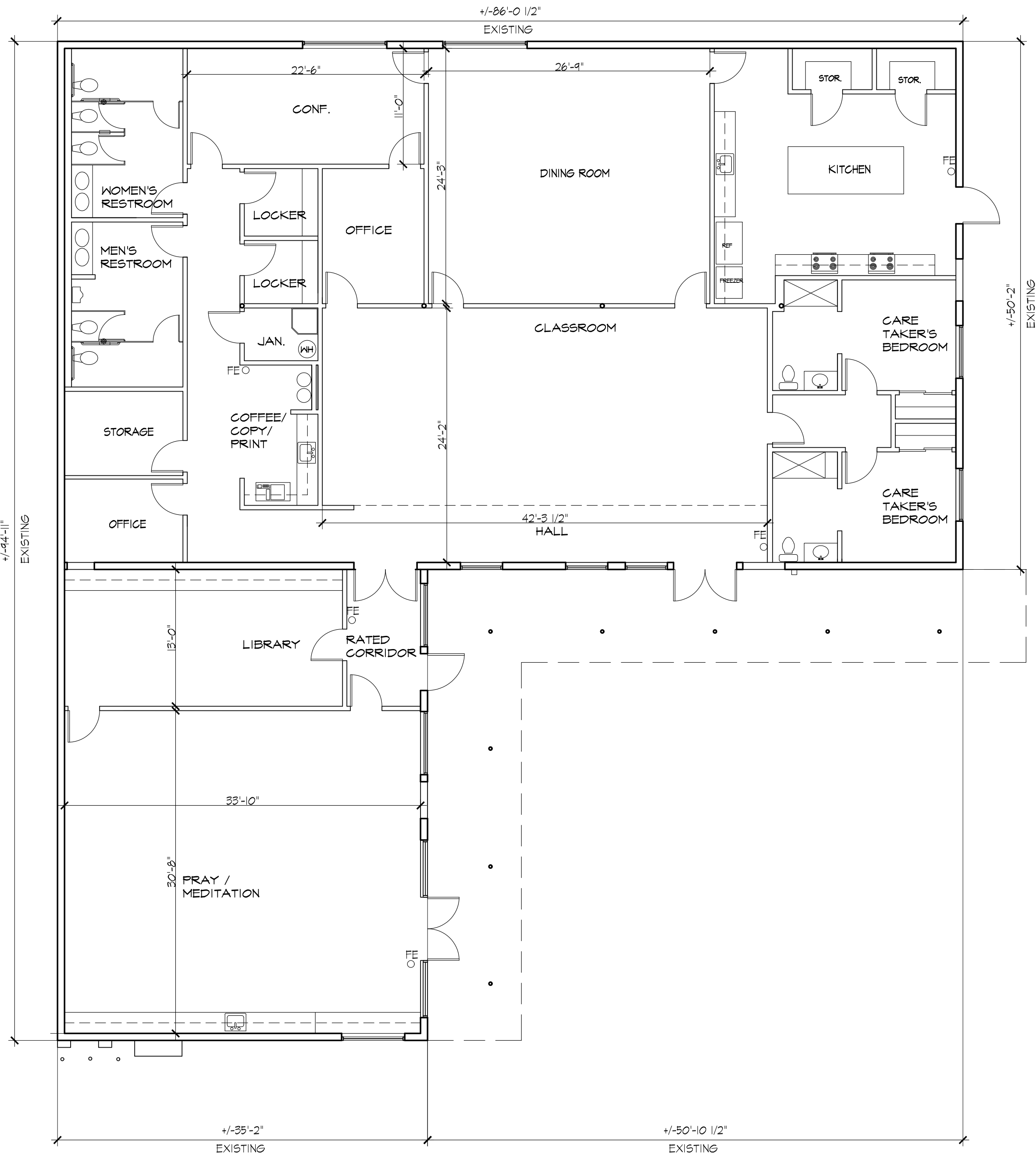
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DATE	03/03/15
CHECKED	
DRAWN	MM
JOB NO.	

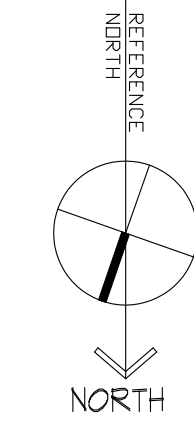
DEMOLITION PLAN
& PROPOSED
FLOOR PLAN



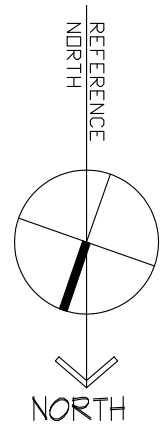
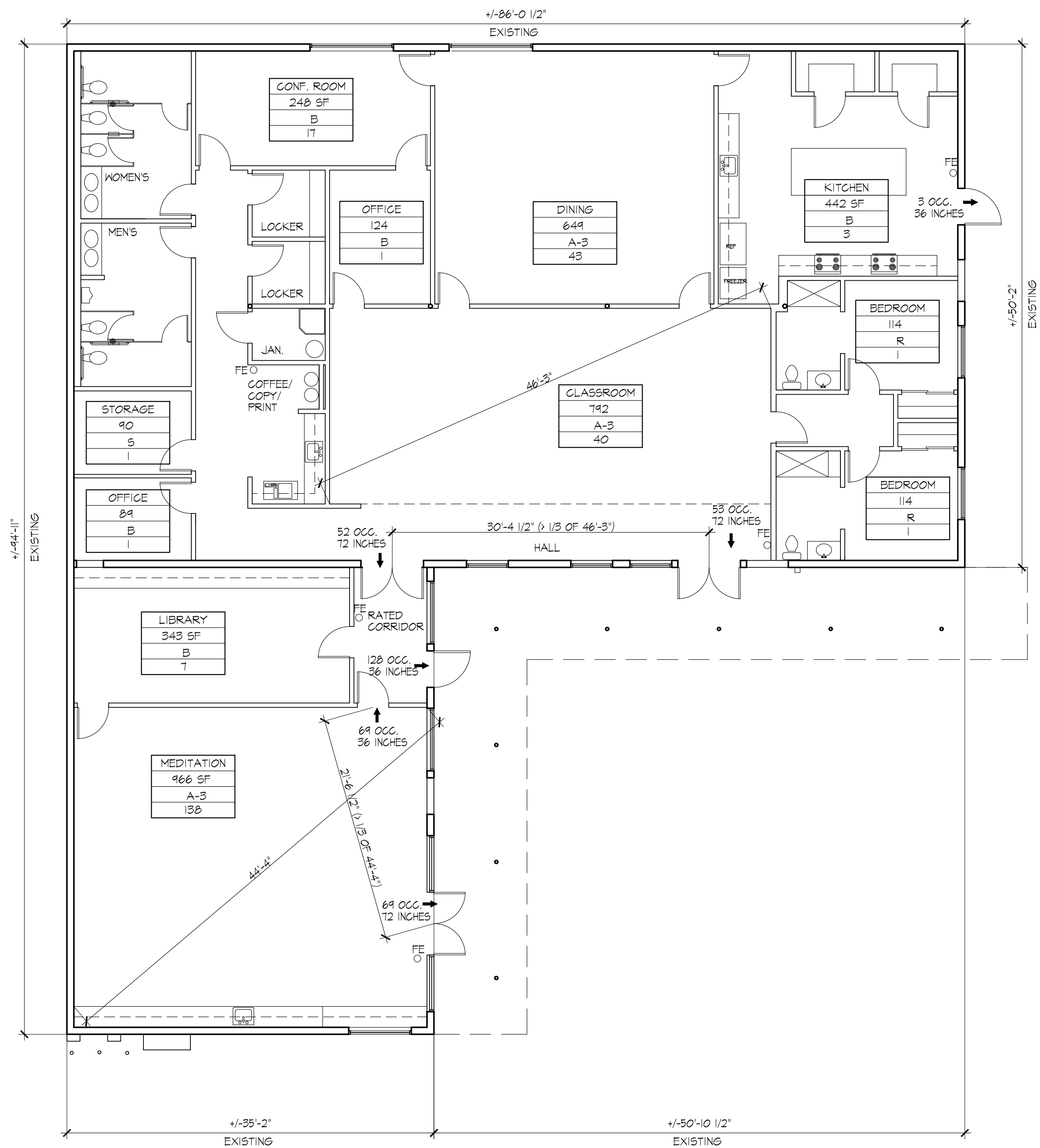
1 EXISTING FLOOR PLAN w/ DEMOLITION



2 PROPOSED FLOOR PLAN



1/8" = 1'-0"



○ FIRE EXTINGUISHER (10A:10B:C)

STORAGE	ROOM USE
142 SF	ROOM AREA
SI	OCCUPANCY TYPE
I	OCCUPANT LOAD

LEGEND



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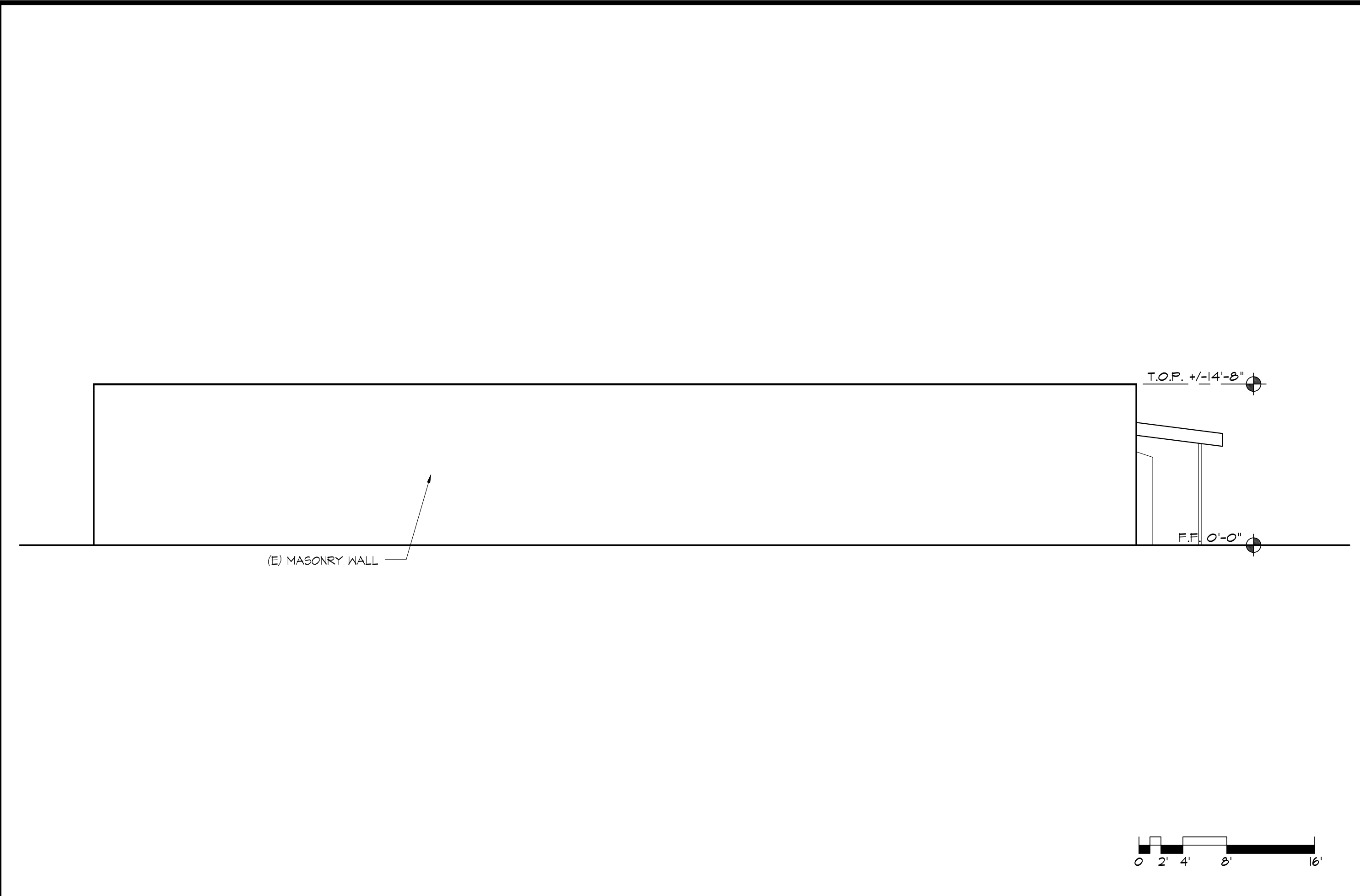
SAN LEANDRO, CA 94577

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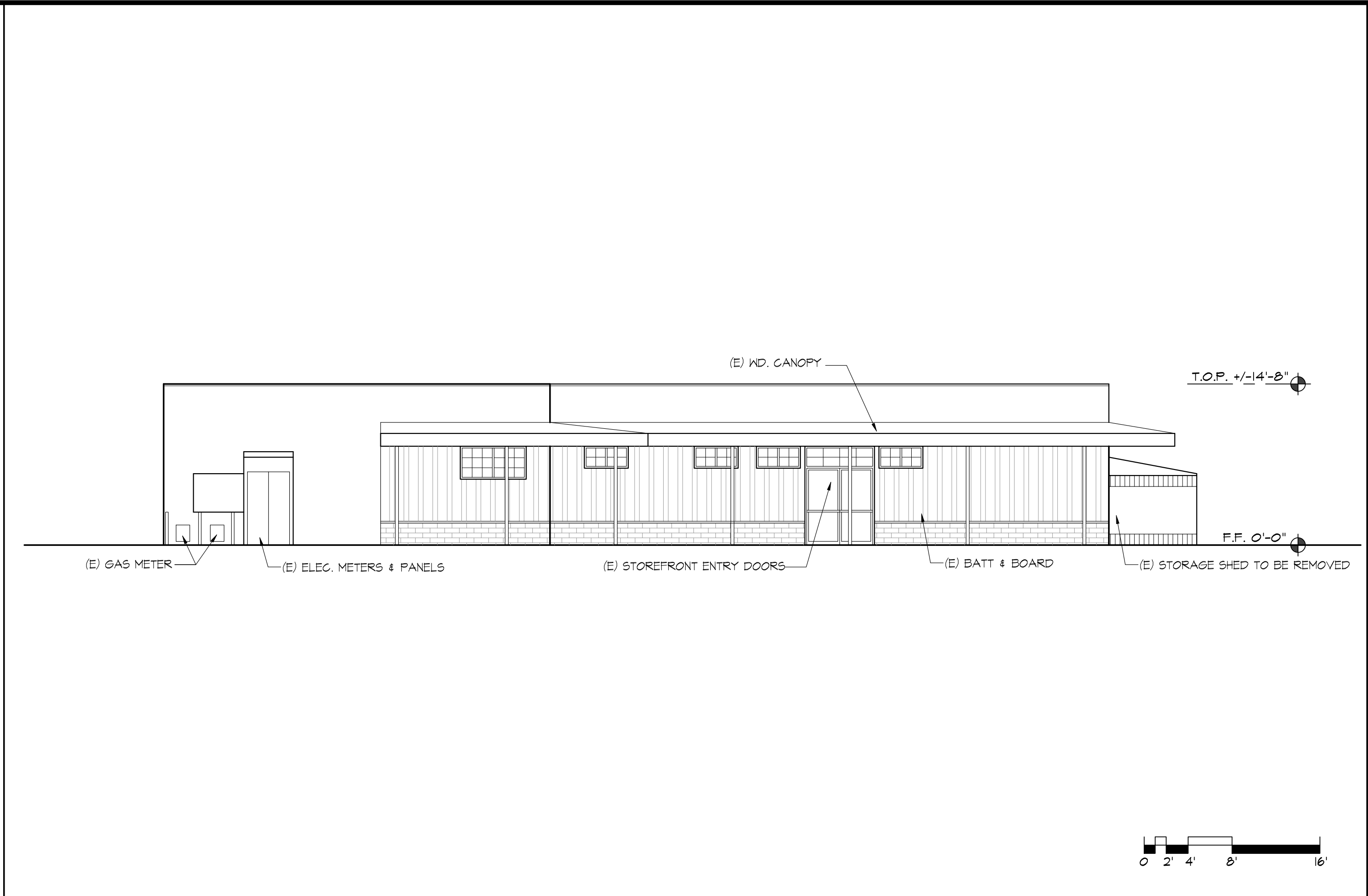
CLIENT

DATE	03/03/15
CHECKED	
DRAWN	MM
JOB NO.	

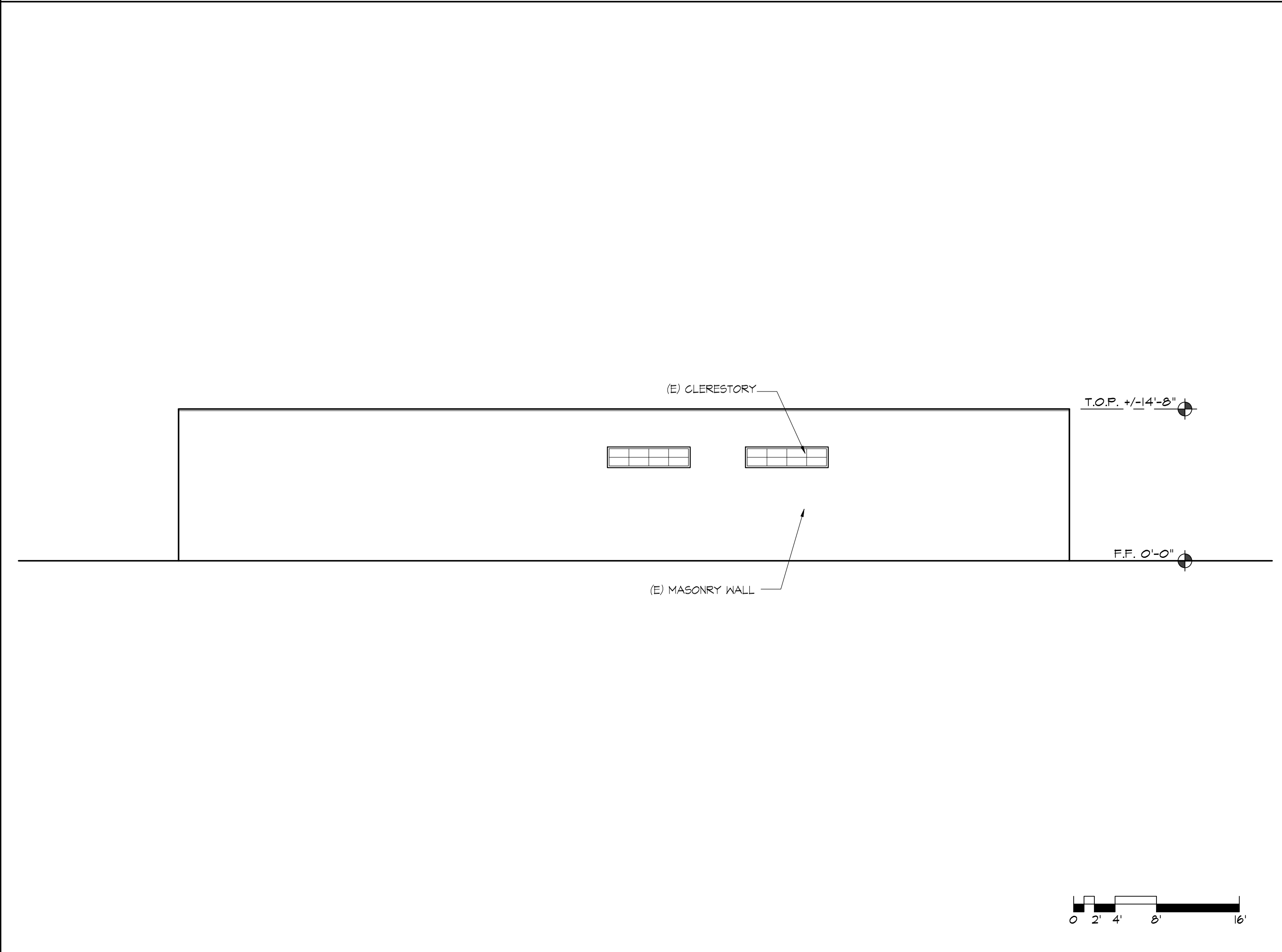
EXISTING PLAN & OCCUPANT LOAD



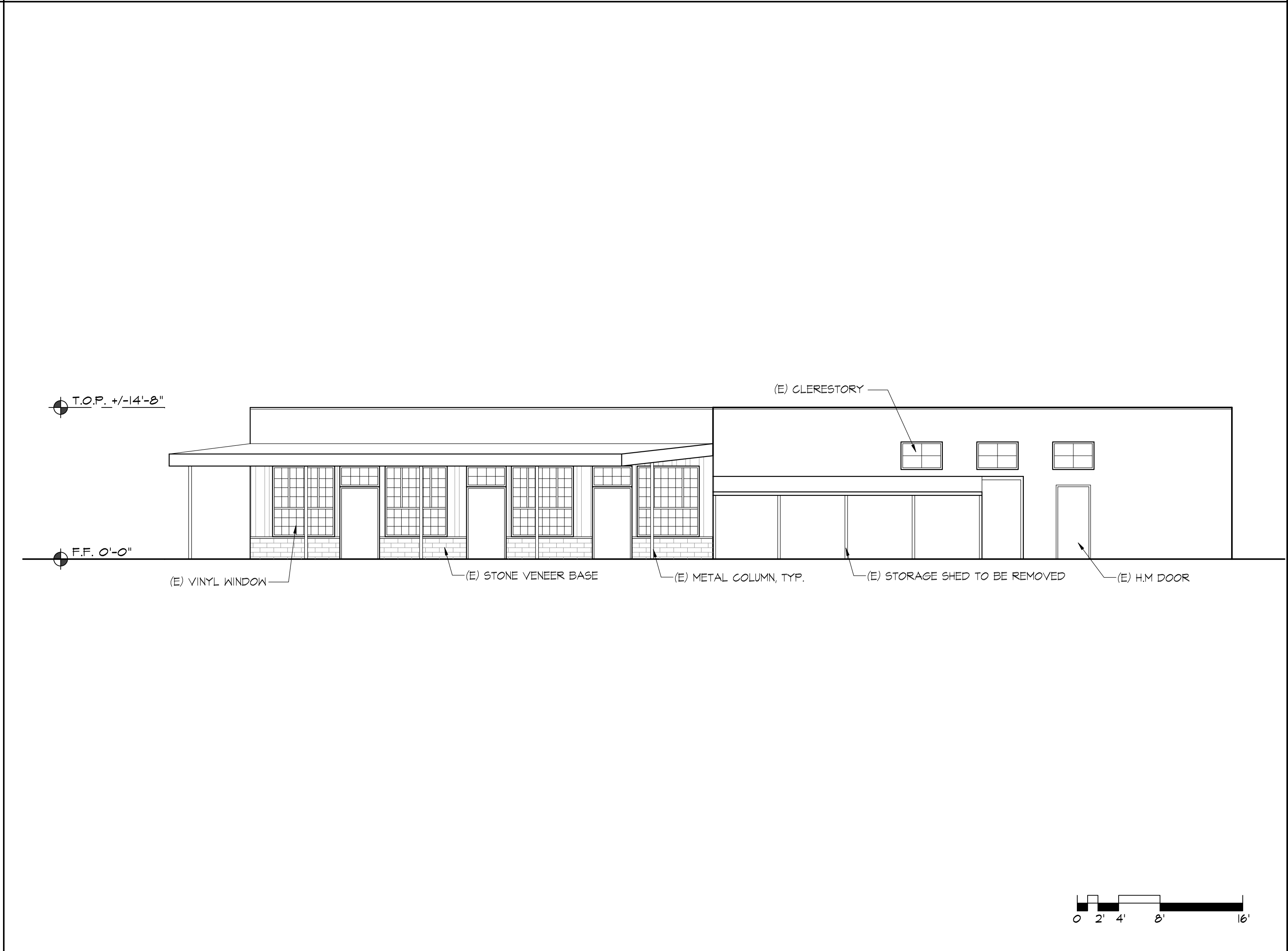
③ EXISTING SIDE ELEVATION (EAST) 1/8" = 1'-0"



① EXISTING STREET ELEVATION (NORTH) 1/8" = 1'-0"



④ EXISTING SIDE ELEVATION (SOUTH) 1/8" = 1'-0"



② EXISTING SIDE ELEVATION (WEST) 1/8" = 1'-0"



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Cupertino, CA 95014

Architecture & Interior Design

REVISIONS

TENANT IMPROVEMENTS for

MING DANG CENTER

2015 LAURA AVENUE
SAN LEANDRO, CA 94577
APN: 477A-655-144-01

CLIENT

DATE	03/03/15
CHECKED	
DRAWN	MM
JOB NO.	

EXISTING
EXTERIOR
ELEVATIONS

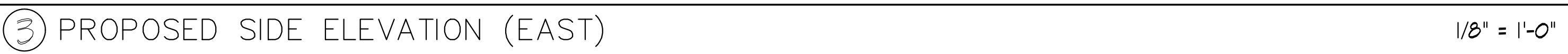
A3.1



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PROPOSED EXTERIOR ELEVATIONS

A3.2

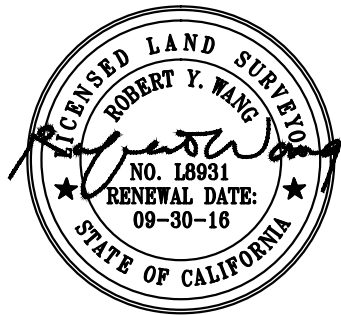


TOPOGRAPHIC MAP

JUNE 6, 2014

2015-2017 LAURA AVENUE
SAN LEANDRO, CA

LOT C, D, AND E, TRACT 677
APN: 477A-655-144-01
AREA=16,598 S.F.±



ABBREVIATION

AD	AREA DRAIN
A.E.	ANCHOR EASEMENT
AC	ASPHALT CONCRETE
BRI	BRICK
C/G	CURB & GUTTER
CONC	CONCRETE
DI	DRAIN INLET
FF	FINISH FLOOR GRADE
P.U.E.	PUBLIC UTILITY EASEMENT
S/W	SIDEWALK
W.C.E.	WIRE CLEARANCE EASEMENT

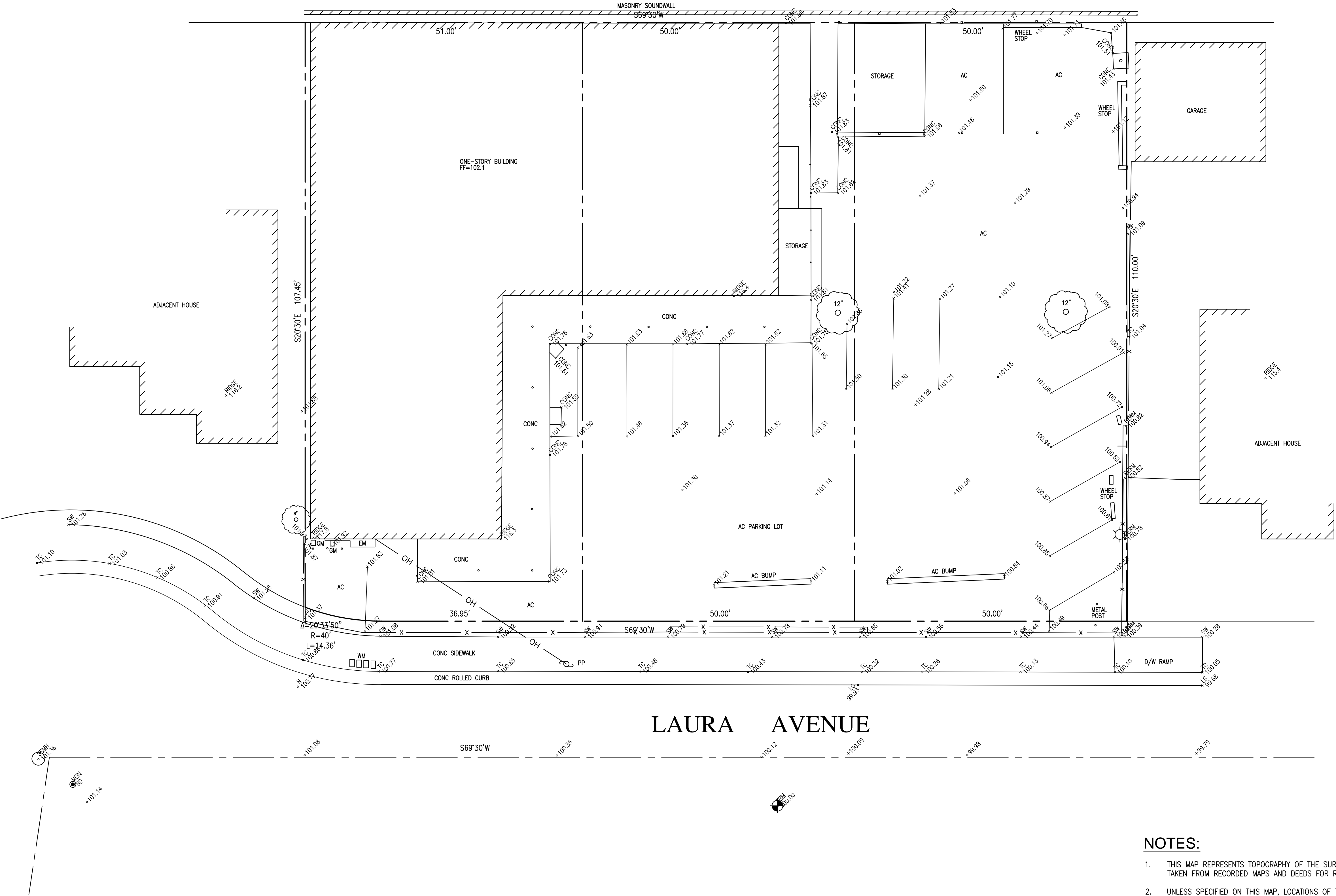
LEGEND

---	PROPERTY LINE
- - -	CENTERLINE
SS	UTILITY LINE-TYPE AS NOTED
⊙	STREET LIGHT
PG&E	UTILITY BOX-TYPE AS NOTED
WM/GM	WATER/GAS METER
WV	WATER VALVE
CB	CURB CATCH BASIN
+	FIRE HYDRANT
MH	MANHOLE-TYPE AS NOTED
CO	SANITARY SEWER CLEANOUT
PP-OH	POWER POLE W/ OVERHEAD WIRE
BM	BENCHMARK
200	CONTOUR LINE
MON	MONUMENT
12"	TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN

SITE BENCHMARK:
SET NAIL
ELEVATION=100.00' ASSUMED

BASIS OF BEARINGS:

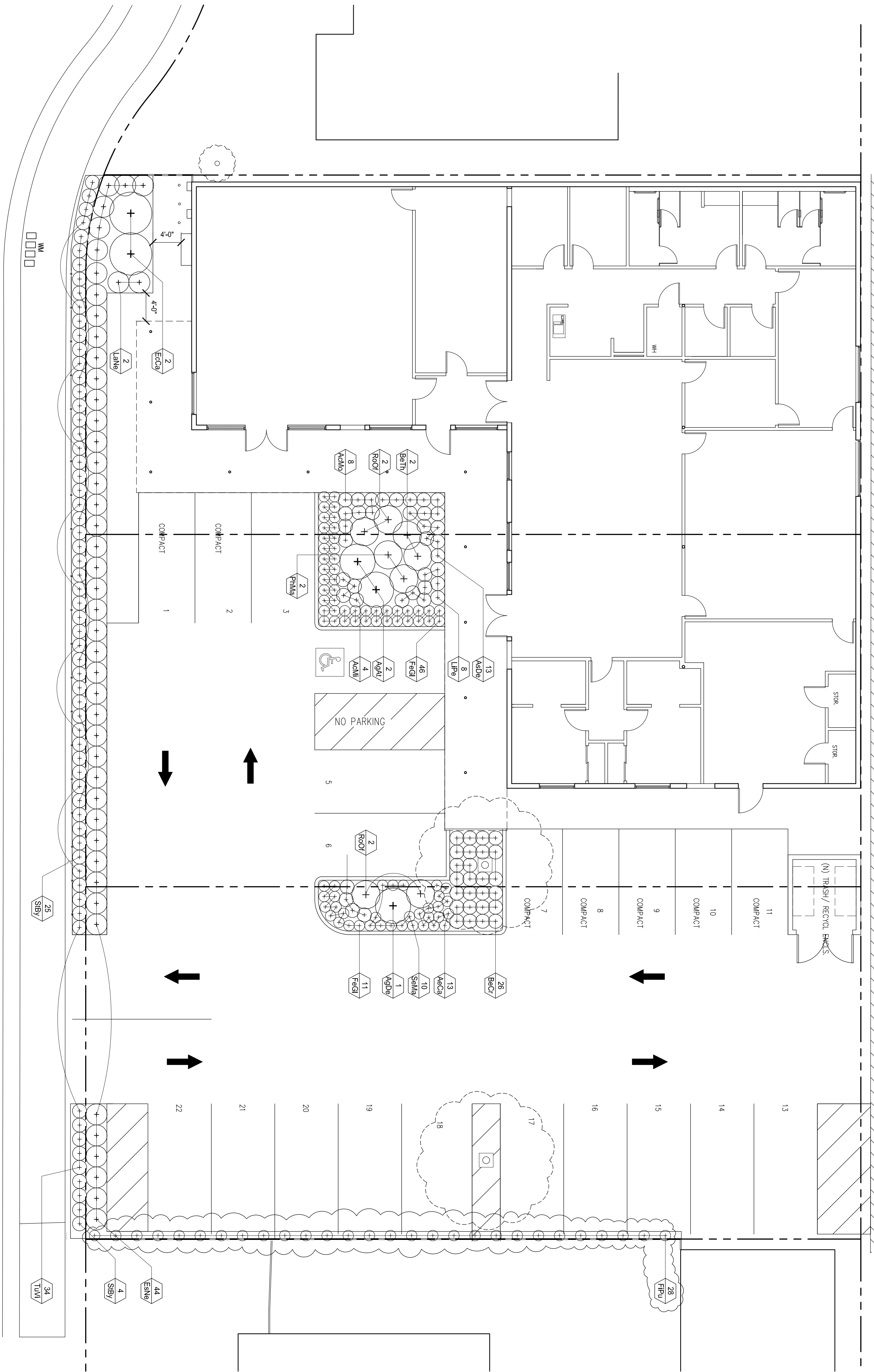
THE BEARING S69°30'00"W OF CENTERLINE OF LAURA AVENUE
BETWEEN FOUND MONUMENTS AS SHOWN ON TRACT MAP NO.
677 FILED IN BOOK 10 OF MAPS AT PAGE 18, ALAMEDA
COUNTY RECORDS.



NOTES:

- THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. THE BOUNDARY SHOWN ARE TAKEN FROM RECORDED MAPS AND DEEDS FOR REFERENCE ONLY.
- UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
- BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
- FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
- A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC.. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

MASONRY SOUNDWALL



LANDSCAPE PLAN NOTES

1. DESIGN INTENT - TO CREATE A LOW MAINTENANCE AND HIGH WATER EFFICIENT LANDSCAPE BY CHOOSING NATIVE OR LOW WATER USAGE PLANTS.
2. SEE SHEET L 2 FOR PLANT SCHEDULE.

YU-WEN HUANG
LANDSCAPE ARCHITECT

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

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LANDSCAPE PLAN

L 1

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PLANTING DETAILS &
SCHEDULE

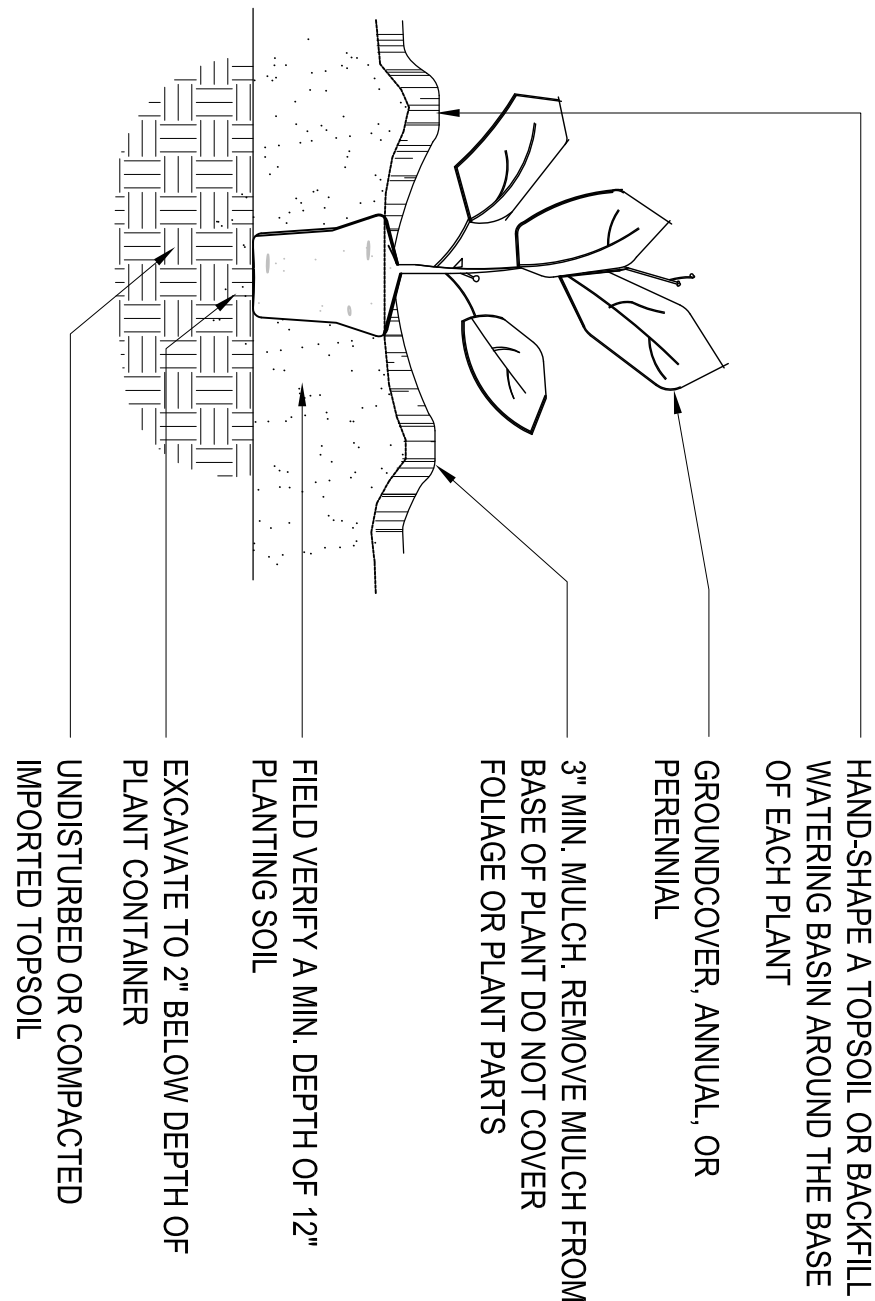
PLANT SCHEDULE

SYM.	BOTANICAL NAME	COMMON NAME	WUCOLS	QUAN.	SIZE	SPACING
SHRUBS						
BaTh	Berberis thunbergii 'Atropurpurea'	Red-leaf Japanese Barberry	L	2	15 gal.	As Shown
ECcA	Echium candicans	Pride of Madiera	L	2	15 gal.	As Shown
ESnE	Escallonia Newport Dwarf	Compact Red Escallonia	M	44	5 gal.	As Shown
RoF	Rosmarinus officinalis 'Benden Blue'	Rosemary	L	4	15 gal.	As Shown
PERENNIAL and GROUNDCOVER						
AdMi	Adillia millefolium 'Island Pink'	Island Pink Yarrow	L	2	1 gal.	As Shown
AdMo	Adillia 'Moonshine'	Moonshine Yarrow	L	8	1 gal.	As Shown
AsCa	Aeonium canariense 'Mint Sauer'	Mint Sauer Aeonium	L	13	1 gal.	As Shown
AgAt	Agave attenuata	Fox Tail Agave	L	2	15 gal.	As Shown
AgDe	Agave desmetiana 'Joe Hoak'	Joe Hoak Agave	L	1	15 gal.	As Shown
AsDe	Asparagus densiflorus	Foxtail Fern	M	13	1 gal.	As Shown
BaCr	Bergenia crassifolia	Winter-blooming Bergenia	M	26	1 gal.	As Shown
FaCl	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	L	46	1 gal.	As Shown
LaNe	Lantana New Gold'	Lantana	L	2	1 gal.	As Shown
LiPe	Limnolium perezi	Sea Lavender	L	8	5 gal.	As Shown
PiMa	Plurimum 'Maori Queen'	Maori Queen' New Zealand Flax	L	2	15 gal.	As Shown
SeMa	Senecio Mandariscæ	Blue Chalk Sticks	L	10	1 gal.	As Shown
SiBy	Stachys byzantina 'Silver Carpet'	Lamp's Ears	L	29	1 gal.	As Shown
TuVi	Tubeghia violacea	Society Garlic	L	34	1 gal.	As Shown
VINE						
FiPu	Ficus pumila	Creeping Fig	M	28	5 gal.	As Shown

* WUCOLS water usage level: H-High, M-Moderate, L-Low and VL-Very Low

PLANT NOTES

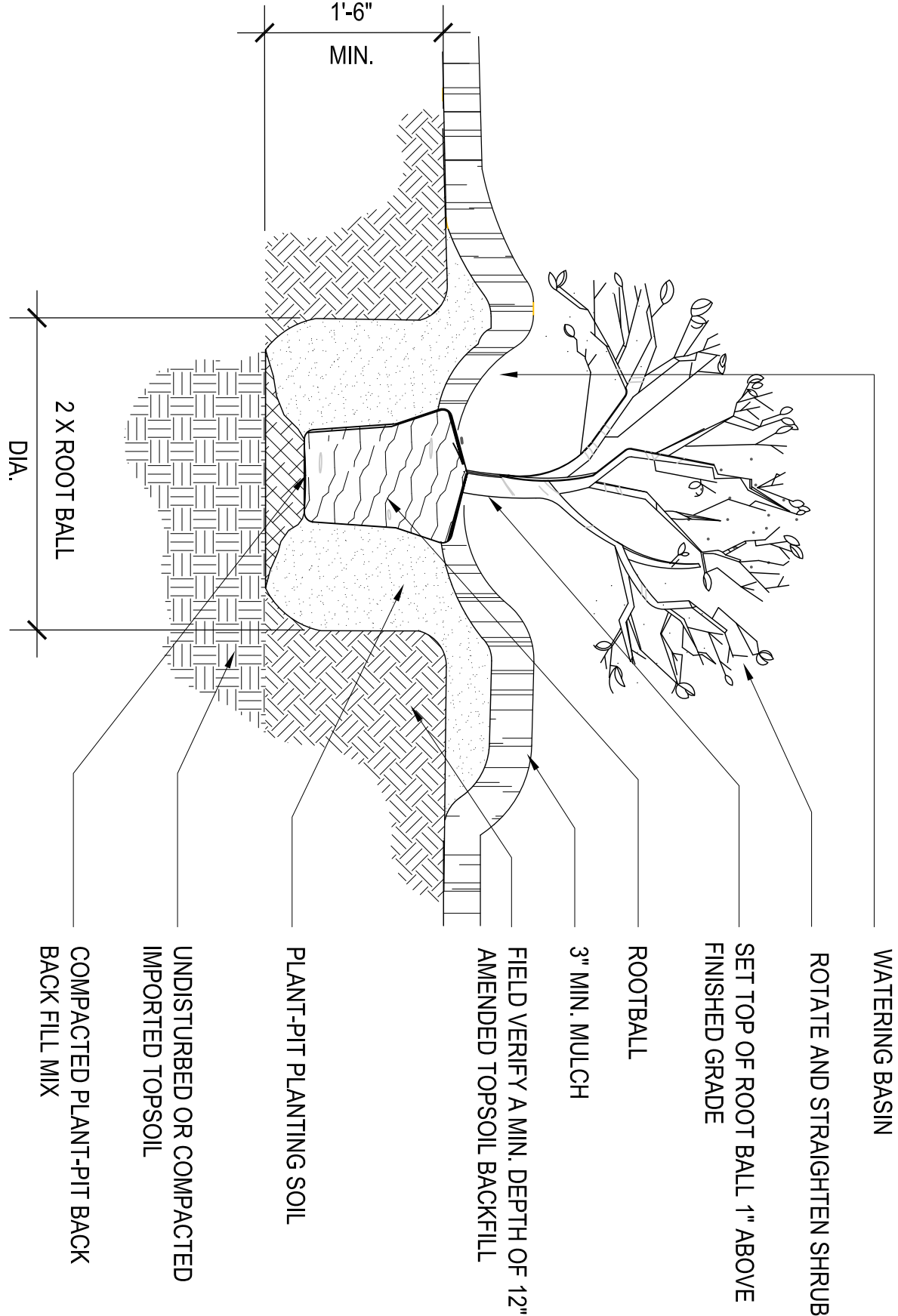
1. FIELD LOCATE ALL PLANT MATERIALS PRIOR TO INSTALLATION.
2. FINISH PLANTING AREA GRADES ADJACENT TO PAVING SHALL BE 3" BELOW FINISH PAVING GRADES.
3. PLACE A 3-INCH LAYER OF MULCH AS SPECIFIED ON ALL PLANTED AREAS EXCEPT NOTED AREAS ON THE PLAN.
4. QUANTITIES AND SQUARE FOOTAGES SHOWN ON PLANT SCHEDULE ARE FOR CONTRACTOR'S CONVENIENCE. CONTRACTOR TO CONFIRM ALL PLANT QUANTITIES AND SQUARE FOOTAGES.



2 TYPICAL GROUND COVER PLANTING

FILE NAME: DCGOVERING

SCALE: N.T.S.

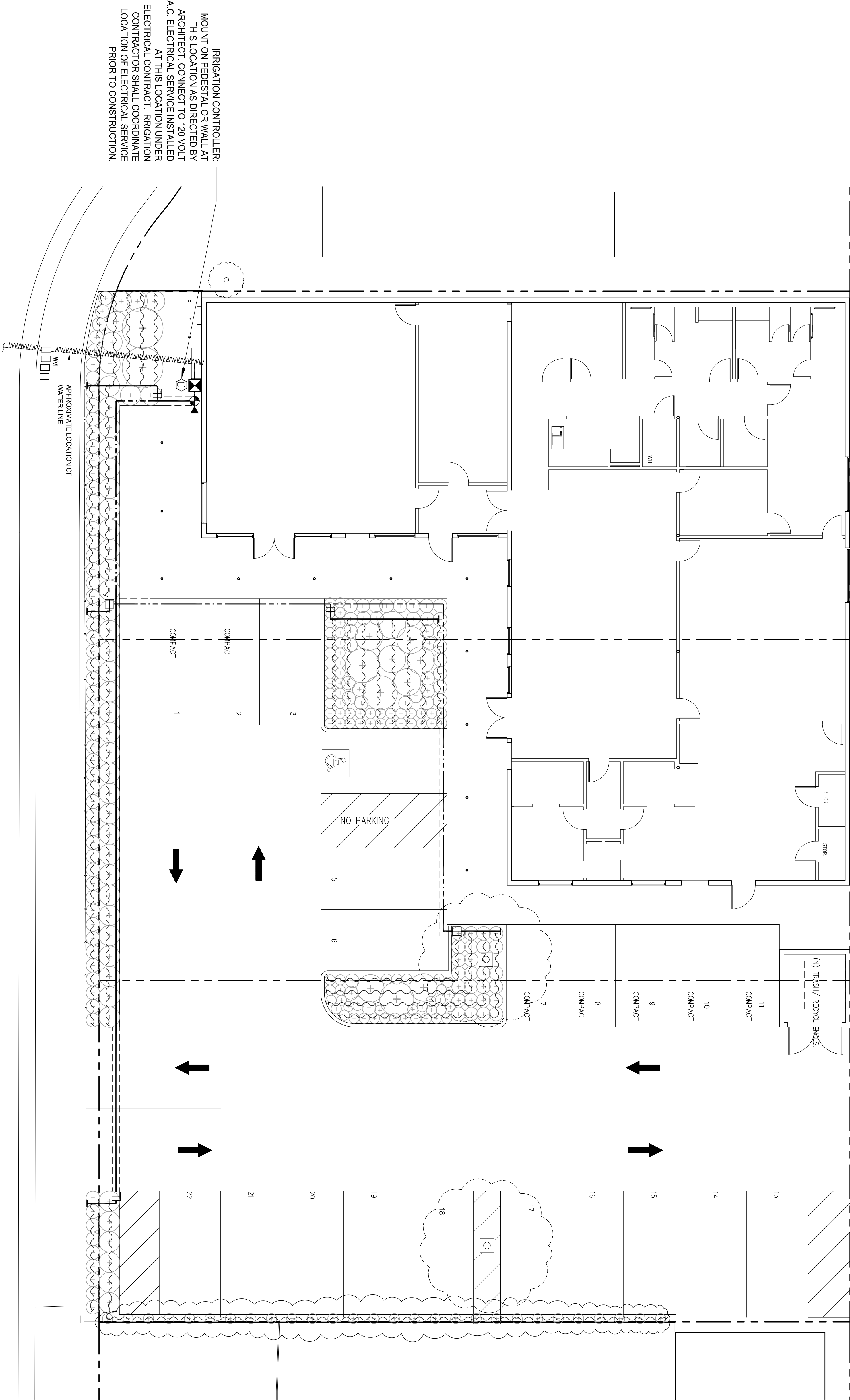


1 TYPICAL SHRUB PLANTING

FILE NAME: DSHRUBLONG

SCALE: N.T.S.

MASONRY SOUNDWALL



IRRIGATION PLAN NOTES

1. DRIP LATERAL ROUTING SHOWN ON THE PLAN IS DIAGRAMMATIC. SEE IR 2 FOR IRRIGATION LEGEND AND NOTES.
2. IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.

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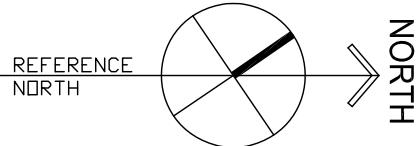
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IRRIGATION PLAN

IR 1



IRRIGATION NOTES

1. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.

2. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.

3. IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.

4. IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND INACCORDANCE WITH LOCAL CODES.

5. PROVIDE EACH CONTROLLER WITH ITS OWN GROUND ROD. SEPARATE THE GROUND RODS BY A MINIMUM OF EIGHT FEET. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER U.L. APPROVED COPPER CLAD ROD. INSTALL NO MORE THAN 6" OF THE GROUND ROD ABOVE FINISH GRADE. CONNECT #6 GAUGE WIRE WITH A U.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. MAKE THIS WIRE AS SHORT AS POSSIBLE, AVOIDING KINKS OR BENDING.

6. PROVIDE EACH IRRIGATION CONTROLLER WITH ITS OWN INDEPENDENT LOW VOLTAGE COMMON GROUND WIRE.

7. INSTALL NEW BATTERIES IN THE IRRIGATION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURERS' INSTRUCTIONS.

8. SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.

9. IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. CONTROL WIRE SERVICING REMOTE CONTROL VALVES: SIZE #14-1 WIRE WITH A UNIQUE COLOR INSULATING JACKET FOR EACH CONTROLLER. COMMON GROUND WIRE: SIZE #12-1 WIRE WITH A WHITE INSULATING JACKET AND A STRIPE OF COLOR WHICH MATCHES THE CONTROL WIRE COLOR CHOICE FOR SPECIFIC CONTROLLER. SPARE WIRE: #14-1 WIRE WITH BLACK INSULATION JACKET. SPLICES SHALL BE MADE WITH 3M-ADBY SEAL PACKS OR APPROVED EQUAL.

10. INSTALL TWO SPARE CONTROL WIRES OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.

11. SPLICING OF LOW VOLTAGE WIRES IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPlice AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. DO NOT TAPE WIRES TOGETHER WHERE CONTAINED WITHIN SLEEVING OR CONDUIT.

12. INSTALL GREEN PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURERS INCLUDE NDS, CARSON OR APPROVED EQUAL.

13. INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX 12" FROM THE WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE AND INSTALL EACH BOX 12" APART.










14. LOCATE EMITTERS ON UPHILL SIDE OF PLANT OR TREE.

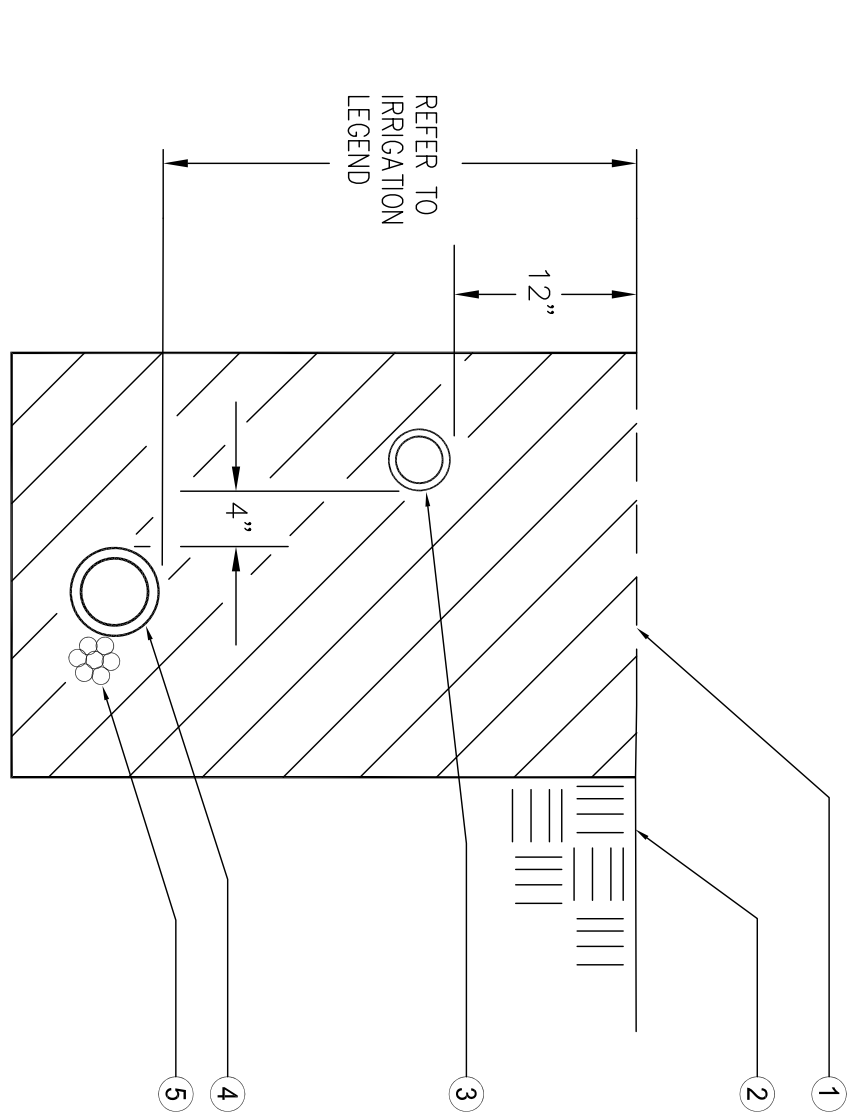
15. NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.

16. PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.

17. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, UTILITY BOXES, ELECTRICAL ENCLOSURES, ETC

IRRIGATION LEGEND

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION
	RAIN BIRD	PER MANUFACTURER'S RECOMMENDATION	REMOTE CONTROL VALVE WITH PRESSURE REGULATOR FOR DRIP LATERALS
	WILKINS	975XSEU-1"	ZONE CONTROL VALVE ASSEMBLY
	HUNTER	PRO-C	EMITTER WITH FLOW-RESTRICTOR DEVICE
			REDUCED PRESSURE BACKFLOW ASSEMBLY
			IRRIGATION CONTROLLER WITH SOLAR SYNC SENSOR
			MANIFOLD: 1" SIZE: CLASS 315 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.
			LATERAL TO EMITTER: 1" SIZE: CLASS 315 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.
			INLINE EMITTER: 1/2" SIZE: PRE-INSTALLED EMITTER POLY LINE MANUFACTURED WITH EQUALLY SPACED EMITTERS WRODED INTO THE WALLS OF THE PIPE. WATER DELIVERY RATE OF 1 GALLON PER HOUR, WITH SPACING FROM 12" TO 2' APART. INSTALLED ON THE SOIL SURFACE, PROTECTED UNDER MULCH AND STAKED 6- TO 10-FOOT INTERVALS WITH WIRE STAKES.
			SLEEVING: 1120-CL 200 PVC PLASTIC PIPE. COVER TO BE AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.



- ① CLEAN BACKFILL MATERIAL
- ② FINISH GRADE
- ③ LATERAL LINE
- ④ MAIN LINE
- ⑤ LOW VOLTAGE CONTROL WIRE

1

TRENCH UNDER HARDSCAPE

SCALE: N.T.S.

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