

1 VICINITY MAP
NO SCALE

LEGEND

- 2 CUP-4 EXTERIOR ELEVATION KEY
- PROPERTY LINE
- EXISTING FENCE LINE
- 3 CUP-5 EXTERIOR PHOTO KEY
- DEMISING LINE OF PROPOSED TENANT SPACE

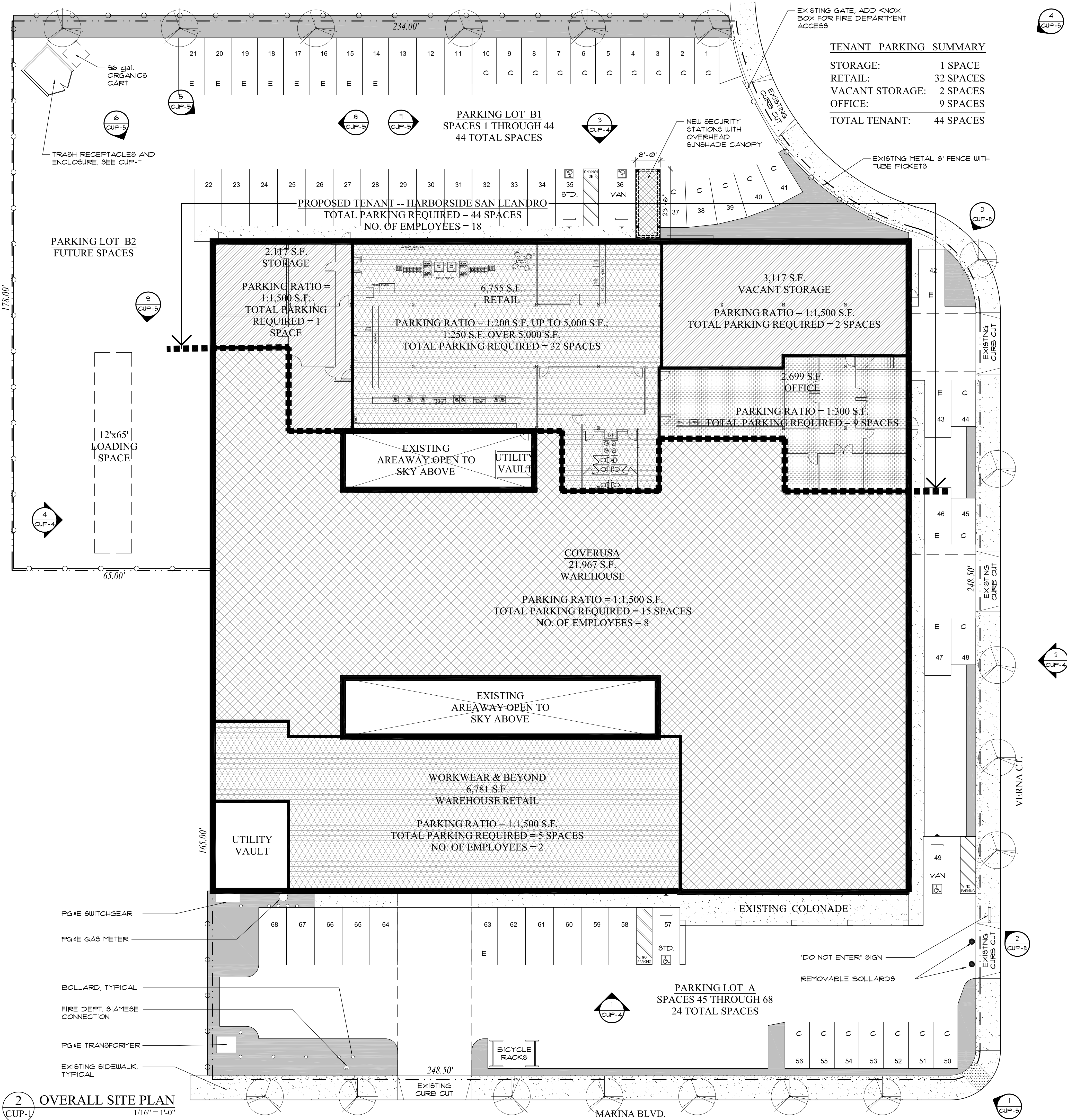
OVERALL BUILDING REQUIRED PARKING SUMMARY

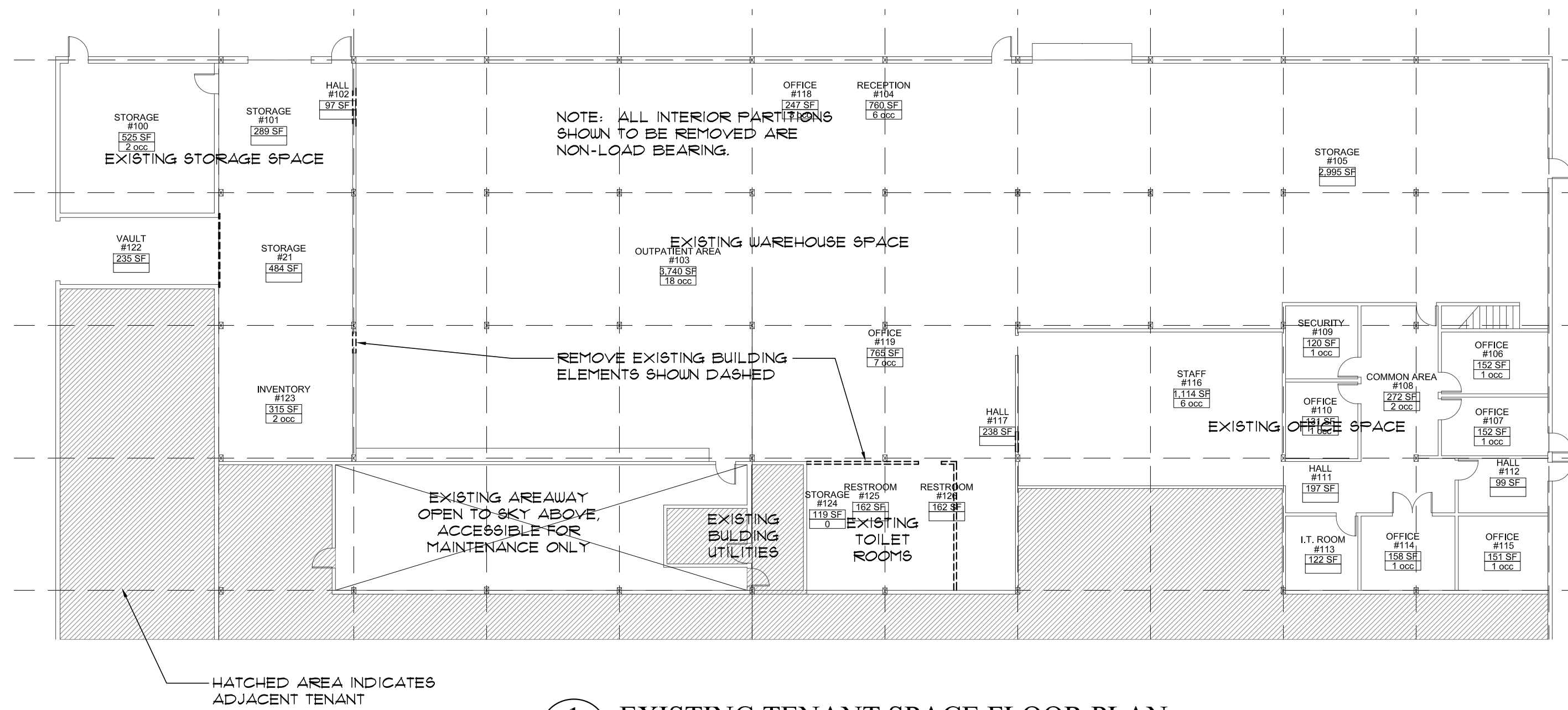
PROPOSED TENANT, LOT B1:	44 SPACES
DIRECT STONE: LOT A	15 SPACES
WORKWEAR & BEYOND, LOT A:	5 SPACES
TOTAL REQUIRED PARKING SPACES:	64 SPACES

PROPOSED PARKING SPACES, LOTS A + B1: 68 SPACES

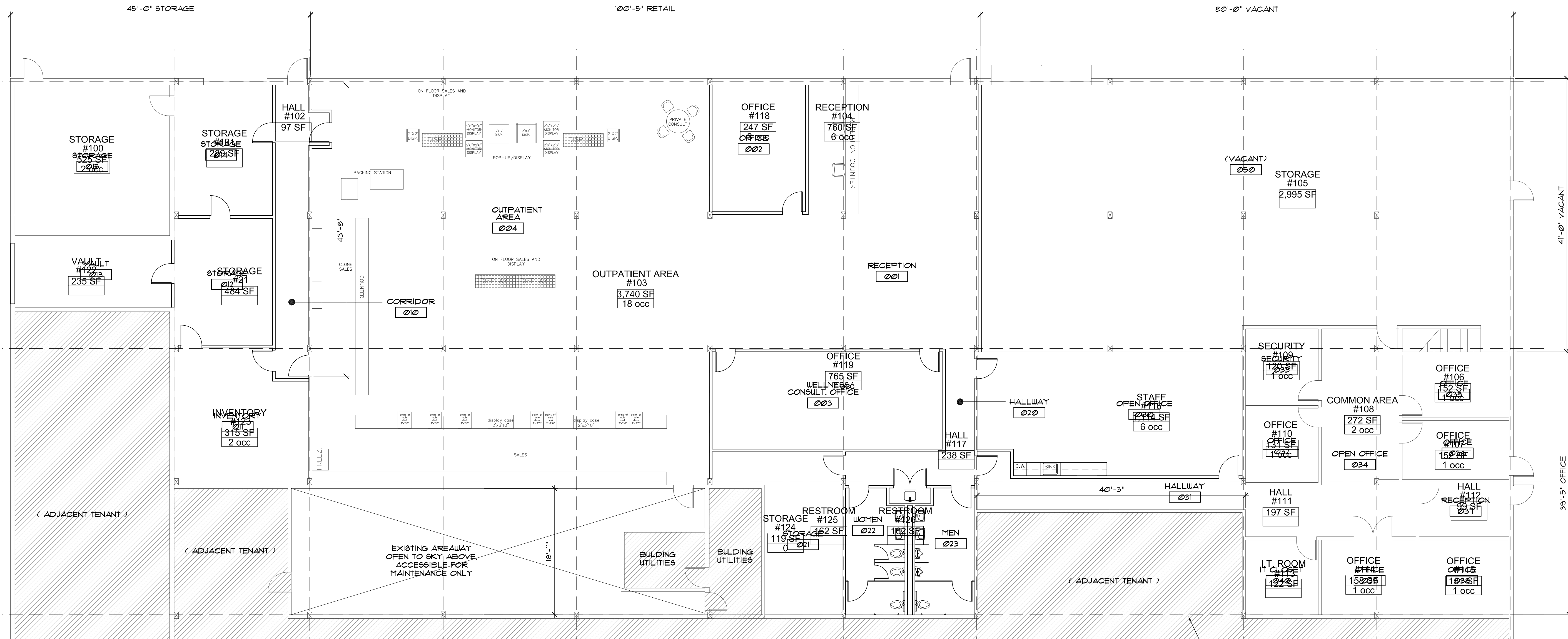
PROJECT DATA

PROJECT ADDRESS:	1965 MARINA BLVD., SAN LEANDRO, CA
PROJECT DESCRIPTION:	INTERIOR TENANT IMPROVEMENT (INCLUDING CHANGE OF USE), ONE EXTERIOR OPENING INFILL, SIGNAGE AND VARIOUS SITE IMPROVEMENTS
EXISTING TENANT SPACE PRIMARY USE:	WAREHOUSE
PROPOSED TENANT SPACE PRIMARY USE:	RETAIL
PARCEL NUMBER:	APN # 11-646-21
ZONING DESIGNATION:	IG, S OVERLAY
TOTAL LOT AREA:	92,224 S.F.
TOTAL EXISTING BUILDING AREA:	44,731 S.F.
TOTAL PROPOSED BUILDING AREA:	44,731 S.F.
MAXIMUM LOT COVERAGE:	75% OR 69,168 S.F.
MAXIMUM FLOOR AREA RATIO:	1.0 OR 92,224 S.F.
EXISTING BUILDING CONSTRUCTION TYPE:	TYPE 5B
EXISTING FIRE SUPPRESSION:	EXISTING BUILDING-WISE AUTOMATIC SPRINKLER SYSTEM





1 EXISTING TENANT SPACE FLOOR PLAN
1/16" = 1'-0"



2 PROPOSED TENANT SPACE FLOOR PLAN
1/8" = 1'-0"

FIRE DEPARTMENT NOTES

1.

IT APPEARS THE BUILDING HAS HAD MODIFICATIONS OVER THE YEARS, POSSIBLY WITHOUT THE BENEFIT OF PERMITS. FURTHER, SOME EXISTING BUILDING ELEMENTS MAY NOT MEET CURRENT CODE REQUIREMENTS. THE BUILDING MAY BE OVERSIZED FOR THE TYPE OF CONSTRUCTION INDICATED IN PREVIOUS BUILDING PERMIT APPLICATIONS. A COMPLETE EVALUATION NEEDS TO BE COMPLETED TO ENSURE SAFETY OF ALL OCCUPANTS IN THE BUILDING, NOT JUST IN THE PROPOSED FACILITY.
- RELATIVE TO THE OVERSIZED BUILDING PROBLEM, THE FOLLOWING REMEDY OPTIONS WILL BE EVALUATED AND/OR PURSUED:
- A)

FIRE WALLS IN ACCORDANCE WITH CBC SECTION 706 CAN BE ADDED BETWEEN SECTIONS OF THE BUILDING, WITH EACH SEPARATE SECTION TREATED AS A SEPARATE BUILDING WITH SIZE LIMITED PER TABLE 501;
- B)

ALWAYS MINDFUL OF CBC SECTION 104, WORK WITH CITY OFFICIALS TO EVALUATE SPECIFIC AREAS OF CONCERN IN THE EXISTING BUILDING AND DEVELOP ALTERNATE METHODS OF DESIGN AND/OR EQUIVALENCIES TO OFFSET LACK OF STRICT COMPLIANCE WITH THE CODE, INCLUDING TESTING, CERTIFICATION OF EXPERTS, ETC. SO THAT THE INTENT OF THE CODE IS PRESERVED AND THE PERFORMANCE OF EXISTING BUILDING ELEMENTS "DOES NOT LESSEN HEALTH, ACCESSIBILITY, LIFE AND FIRE SAFETY, OR STRUCTURAL REQUIREMENTS."
- C)

CONSIDER CLASSIFYING THE BUILDING BASED ON "MAIN OCCUPANCY": THE OWNER'S S-2 WAREHOUSE, THEN PROVIDE SEPARATION OF ACCESSORY OCCUPANCIES PER CBC SECTION 502 AND TABLE 508.4
2.

MODIFICATIONS TO THE FIRE SPRINKLER SYSTEM WILL BE A DEFERRED SUBMITTAL.
3.

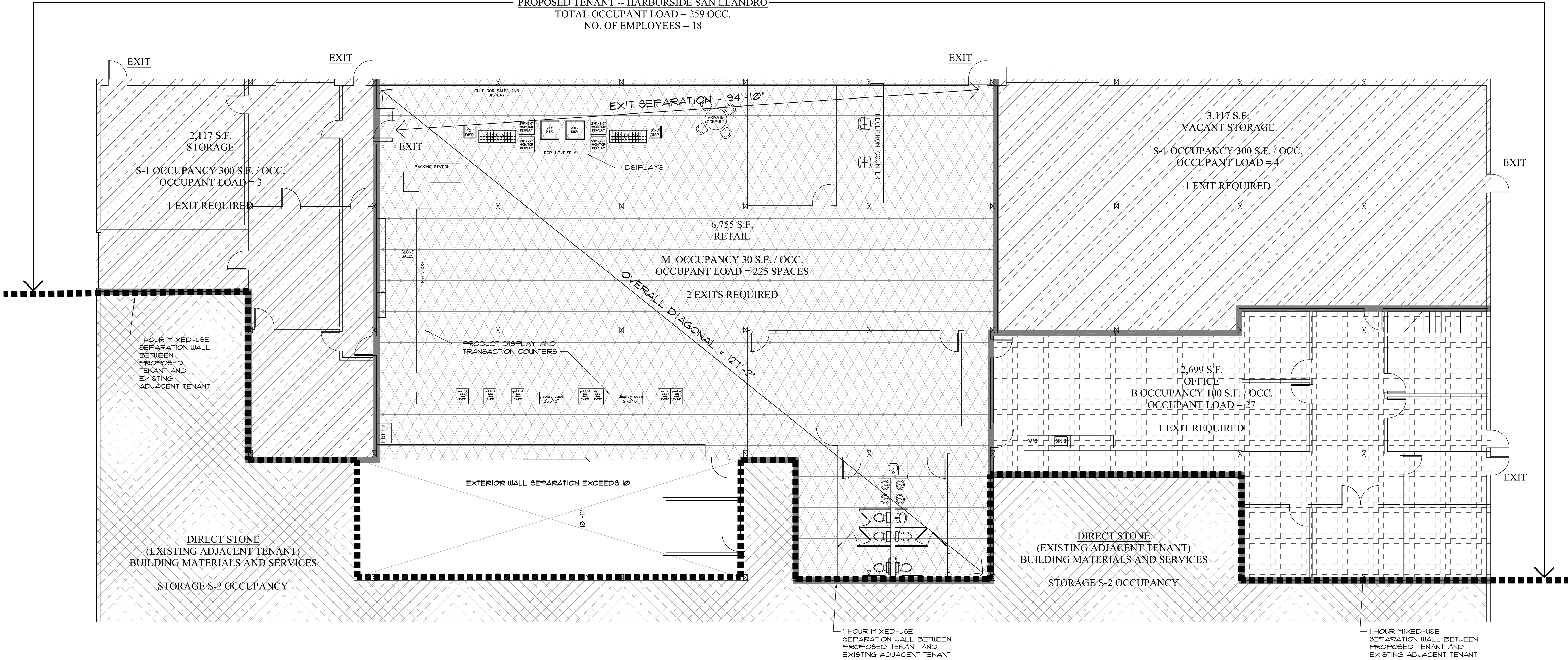
DELAYED EGRESS IS PROHIBITED WITHOUT COMPLETE COVERAGE OF THE FIRE PROTECTION SYSTEM THROUGHOUT THE BUILDING AND AUTOMATIC DETECTIONS SYSTEM AS REQUIRED IN THE CBC. A NOTE ON THE PLANS STATING "DELAYED EGRESS WILL NOT OCCUR" WILL SUFFICE.
4.

A KNOX BOX IS REQUIRED FOR THE FACILITY AND ELECTRICAL ROOM. A KNOX BOX KEY SWITCH WOULD BE REQUIRED IF AN ELECTRIC GATE IS INSTALLED.
5.

ALL DOORS SHALL REQUIRE A SINGLE MOTION TO EXIT (PANIC, PADDLE, OR LEVER HANDLE). AN ACCESSORY LOCK MUST RELEASE UPON A SINGLE MOTION OF THE MAIN LOCKING DEVICE.
6.

EMERGENCY LIGHTING AND EXIT SIGNS SHALL BE PROVIDED THROUGHOUT THE FACILITY.

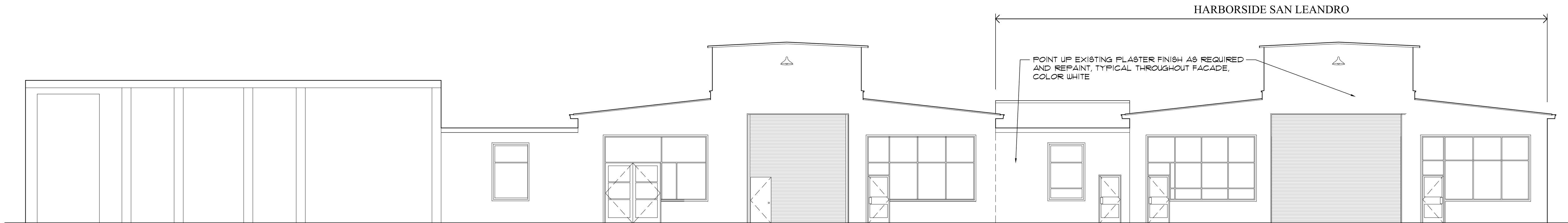
PROPOSED TENANT -- HARBORSIDE SAN LEANDRO
TOTAL OCCUPANT LOAD = 259 OCC.
NO. OF EMPLOYEES = 18





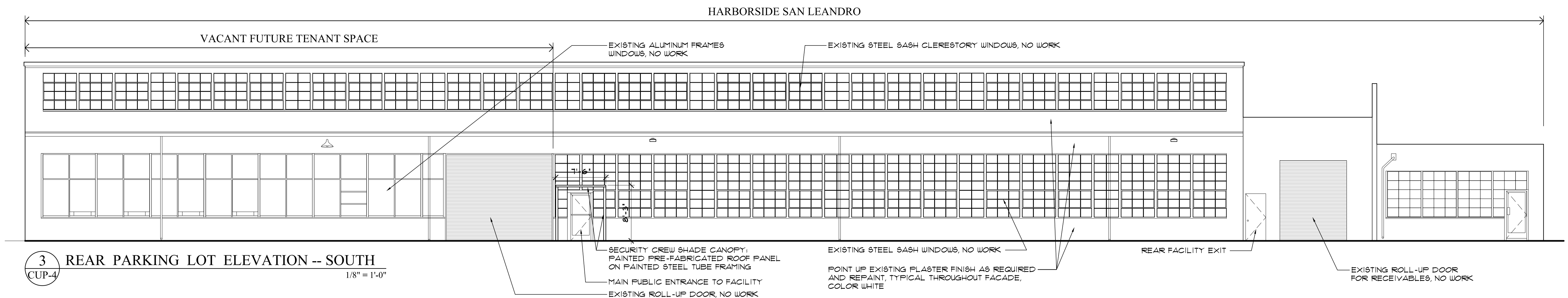
1 MARINA BLVD. ELEVATION -- NORTH
CUP-4 1/8" = 1'-0"

(EXISTING FACADE WELL-MAINTAINED, NO WORK THIS ELEVATION)



2 VERNA CT. ELEVATION -- WEST
CUP-4 1/8" = 1'-0"

(EXISTING FACADE WELL-MAINTAINED)



3 REAR PARKING LOT ELEVATION -- SOUTH
CUP-4 1/8" = 1'-0"

EXISTING ALUMINUM FRAMES
WINDOWS, NO WORK

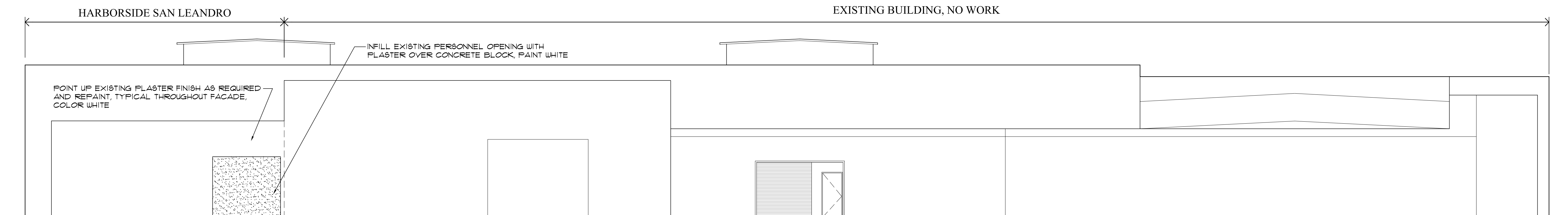
EXISTING STEEL SASH CLERESTORY WINDOWS, NO WORK

SECURITY CREW SHADE CANOPY:
PAINTED PRE-FABRICATED ROOF PANEL
ON PAINTED STEEL TUBE FRAMING

EXISTING STEEL SASH WINDOWS, NO WORK
POINT UP EXISTING PLASTER FINISH AS REQUIRED
AND REPAINT, TYPICAL THROUGHOUT FACADE,
COLOR WHITE

REAR FACILITY EXIT

EXISTING ROLL-UP DOOR
FOR RECEIVABLES, NO WORK



4 REAR STONE YARD ELEVATION -- EAST
CUP-4 1/8" = 1'-0"

EXISTING BUILDING, NO WORK

INFILL EXISTING PERSONNEL OPENING WITH
PLASTER OVER CONCRETE BLOCK, PAINT WHITE

POINT UP EXISTING PLASTER FINISH AS REQUIRED
AND REPAINT, TYPICAL THROUGHOUT FACADE,
COLOR WHITE



1 PHOTO: VIEW OF MARINA BLVD. FRONTAGE LOOKING SOUTHEAST



2 PHOTO: VIEW OF Verna CT. FRONTAGE LOOKING SOUTHEAST



3 PHOTO: VIEW OF Verna CT. FRONTAGE LOOKING NORTH



4 PHOTO: VIEW FROM CENTER OF Verna CT. LOOKING NORTH



5 PHOTO: VIEW FROM REAR PARKING LOT LOOKING WEST



6 PHOTO: VIEW FROM EAST STONE YARD LOOKING NORTH



7 PHOTO: VIEW OF REAR PARKING LOT GATE LOOKING WEST



8 PHOTO: VIEW OF REAR PARKING LOT LOOKING EAST



9 PHOTO: VIEW OF EAST STONE YARD LOOKING NORT



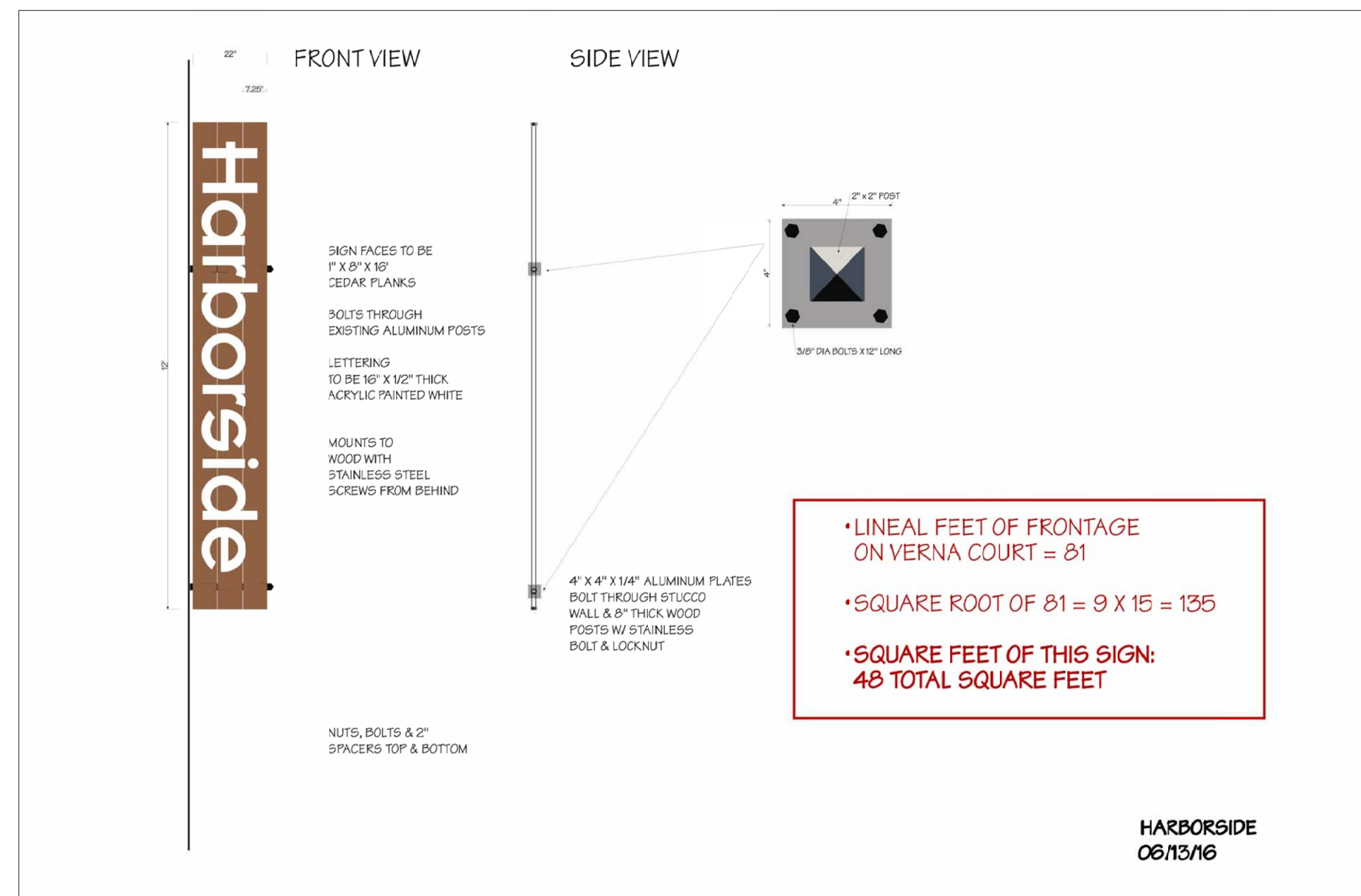
3 3D RENERING LOOKING EAST
CUP-6 NO SCALE



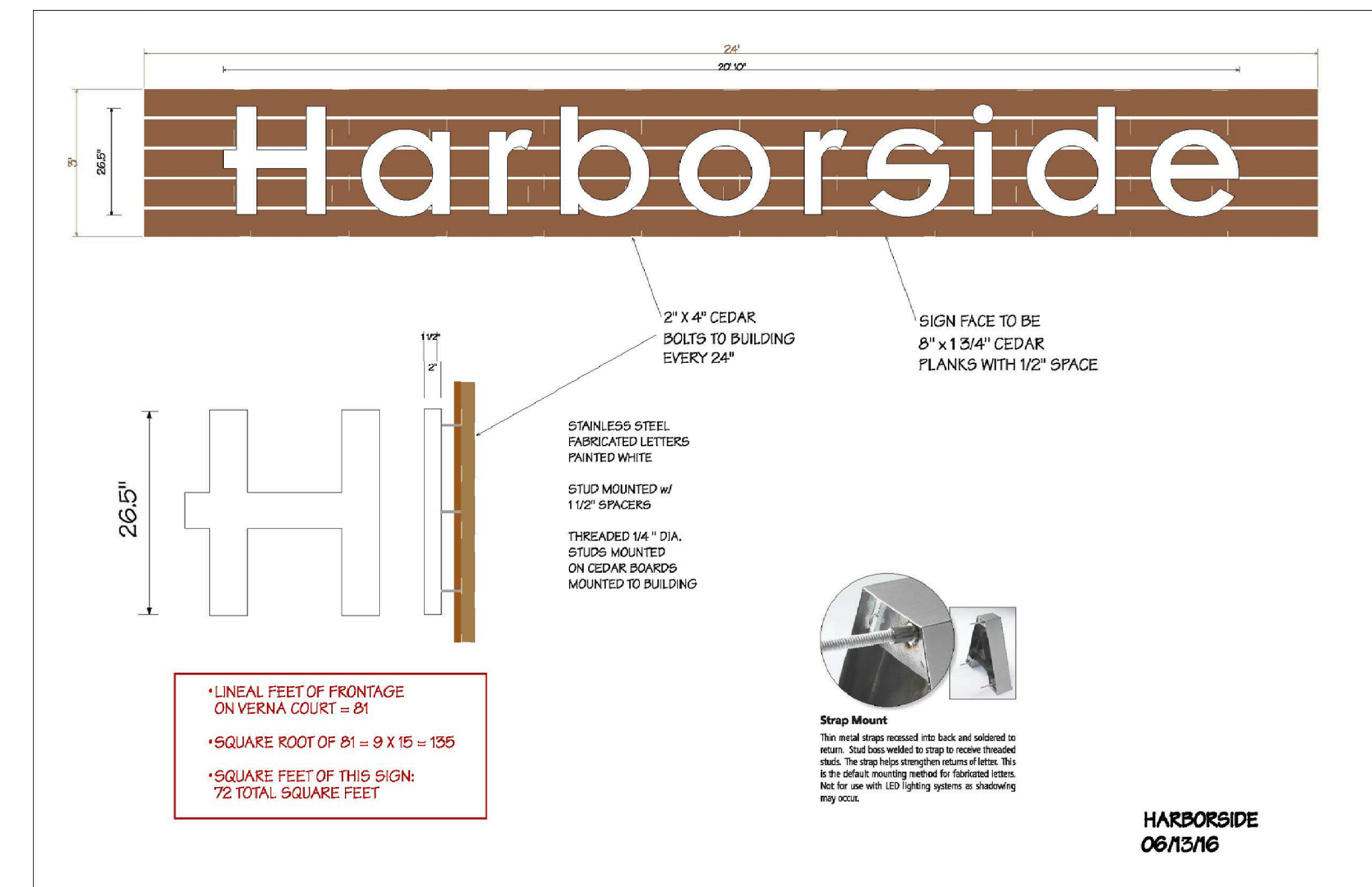
4
CUP-6

3D RENDERING LOOKING NORTH

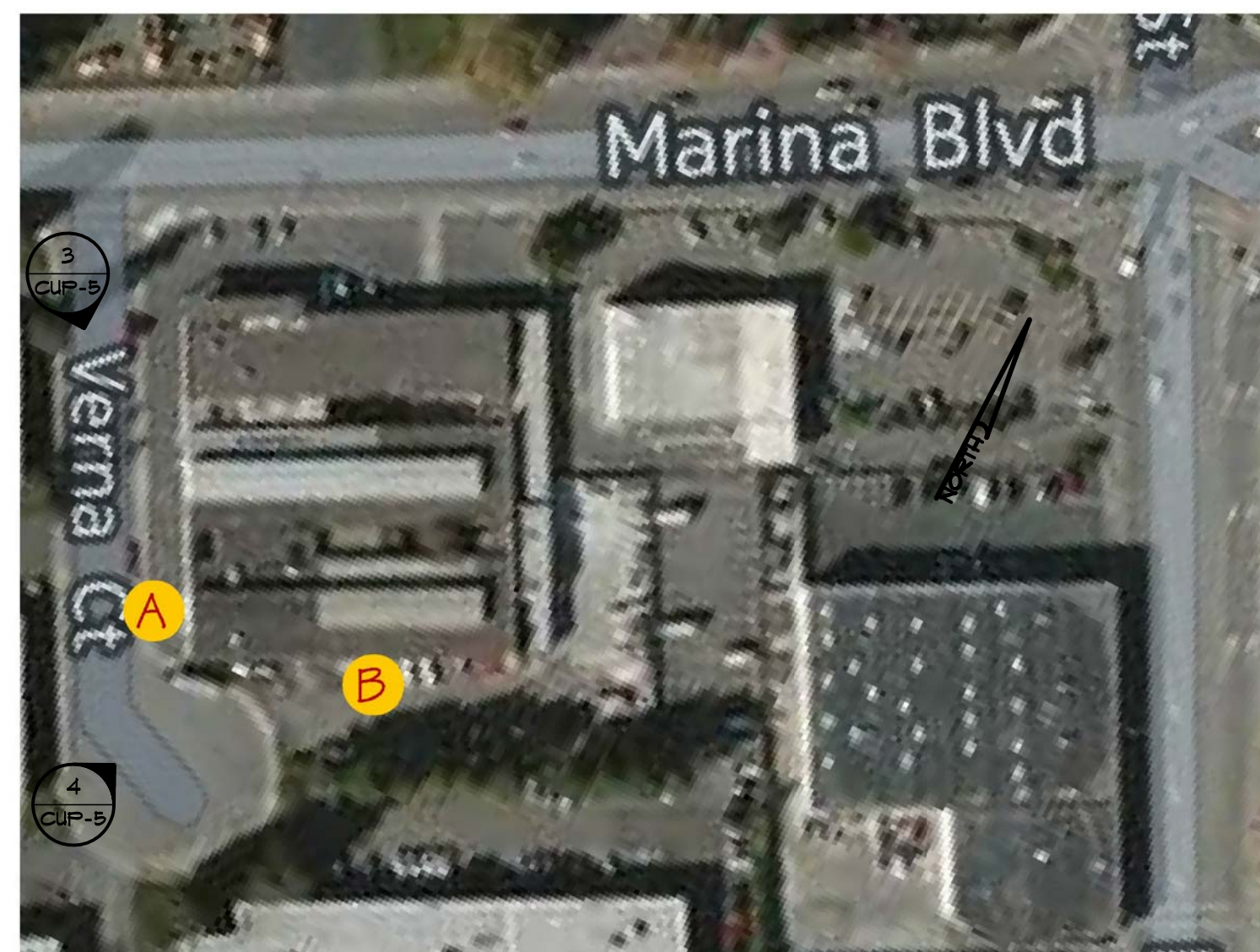
NO SCALE



A BLADE SIGN -- VERNA CT. FACADE
CUP-6 NO SCALE



B SPANDREL SIGN WITH POSTED CHARACTERS -- REAR PARKING LOT
CUP-6 NO SCALE



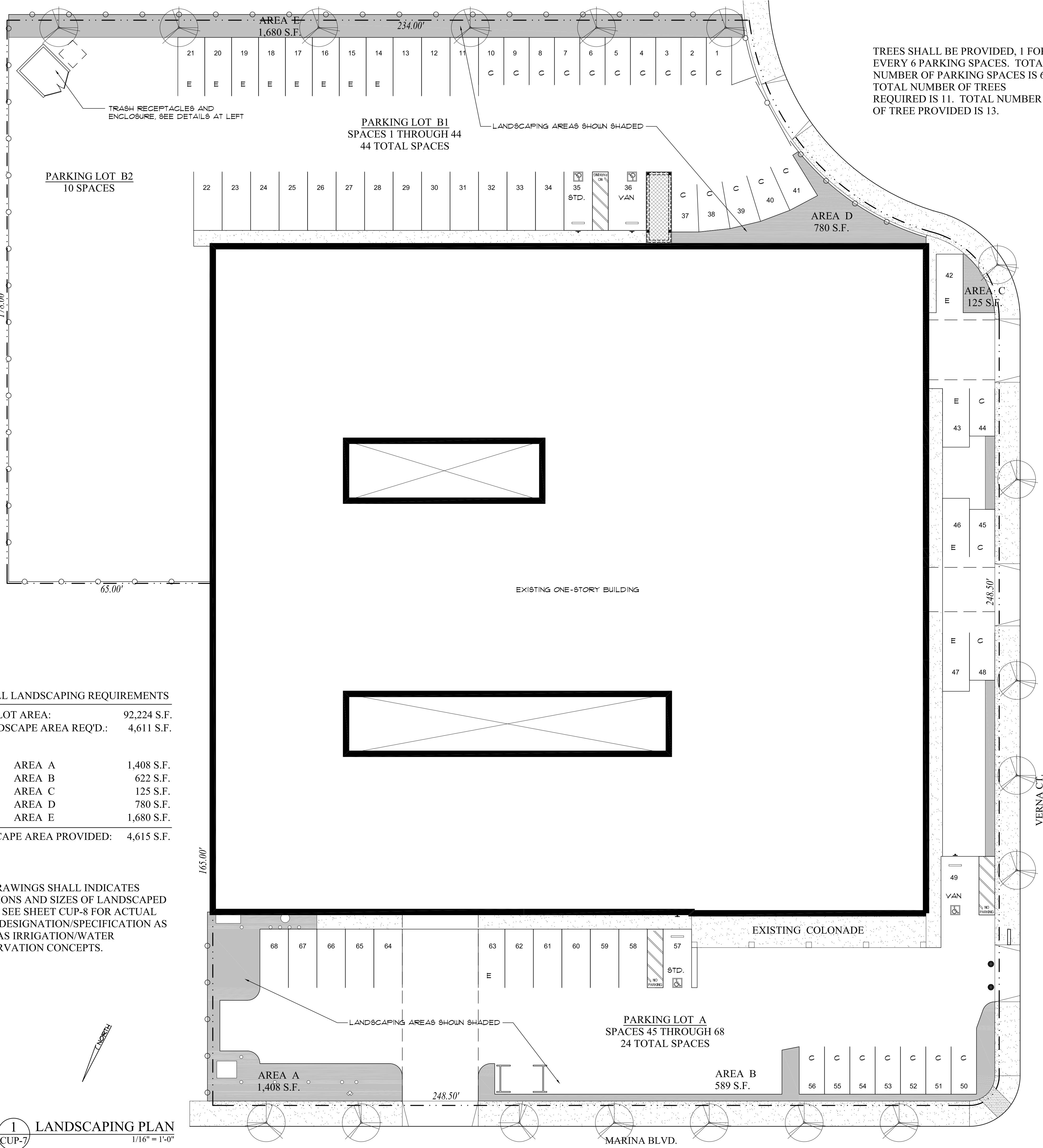
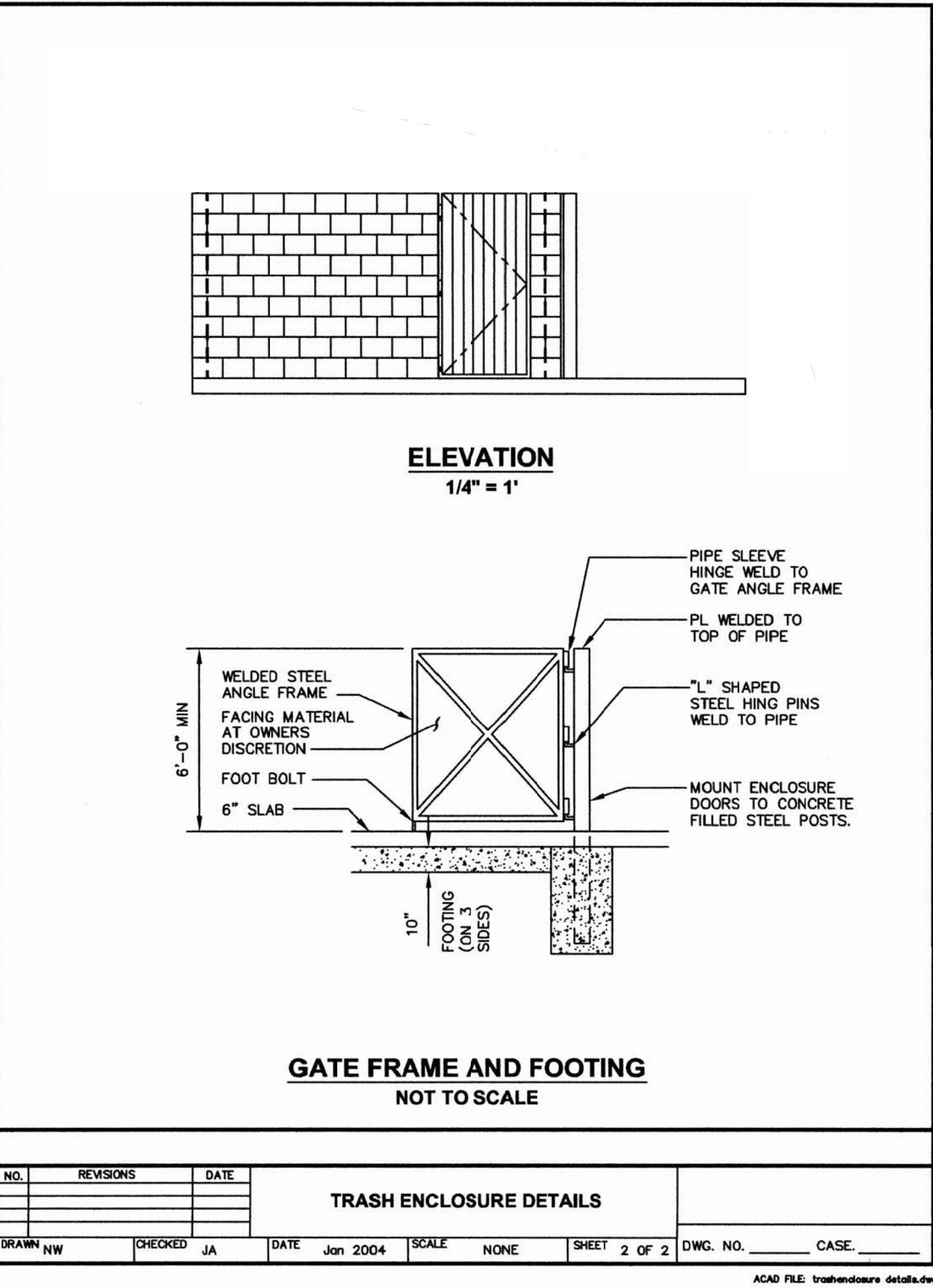
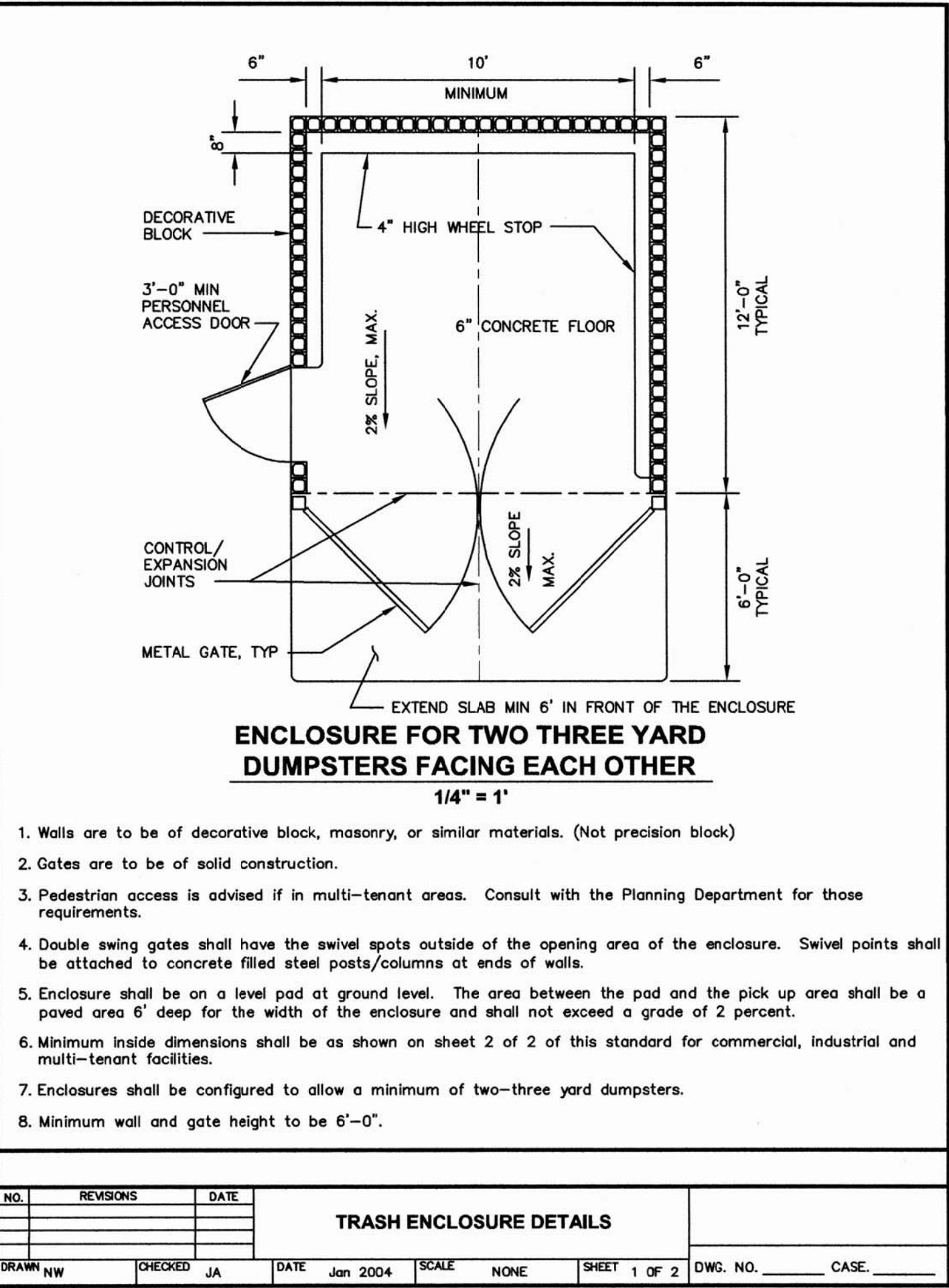
1
CUP-6

SIGNAGE LOCATION PLAN

NO SCALE



2 SIGNAGE SUPERIMPOSED ON PHOTO FROM VERNA CT.
CUP-6 NO SCALE



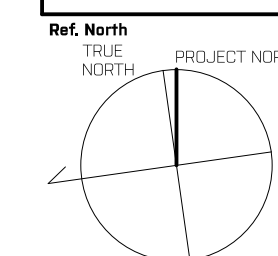


project title **HARBORSIDE
SAN LEANDRO**

STAMP & REGISTRATION

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Description	
<p>PLANTING PLAN</p>	




Date **JUNE 16, 2016**

L1.00

SCALE: 1/16" = 1'-0" All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of the architect.

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*"2 For the column marked "Invasive" use Cal-IPC Don't Plant a Pest List for the San Francisco Bay Area.
Note: For more information see the Bay-Friendly Rating Manual
Updated 3-3-14*



Bay-Friendly Basics Landscape Checklist

This Bay-Friendly Basics Checklist is for all new construction and renovation of landscapes that are 2,500 square feet of irrigated area or greater and require a permit. The Bay-Friendly Basics represents the 9 required practices from the Bay-Friendly Landscape Scorecard. It is considered a minimum set of practices to improve the environmental performance of the landscape. Projects are recommended to meet all applicable measures on the checklist. For measures that are not applicable or are not in the project's scope of work, check "N/A" and make a note of why the measure does not apply to the project (attach additional sheets if necessary). For electronic copies of this checklist, and other Bay-Friendly Landscaping resources, visit www.BayFriendly.org

Harborside San Leandro

Project: 1965 Marina Blvd, San Leandro

Address: 1965 Marina Blvd, San Leandro

Date: 6/8/16

Earthwork & Soil Health

Yes No N/A

Measure & Requirement

Documentation

Notes

☒ ☐ ☐ **1. Mulch**

Requirement
All soil on site is protected with a minimum of 3 inches of mulch after construction.

Recommendation
Use recycled or greenhouse mulch instead of landscape fabric. Trees identified for removal are chipped and used on site as mulch, on-site storage space permitting.

Reference
Bay-Friendly Landscape Guidelines, Practice 4.1; Bay-Friendly Guide to Mulch available at www.BayFriendly.org. Provides sources of recycled mulch and proper application of mulch and information on sheet mulching.

☒ ☐ ☐ **2. Amend the Soil with Compost Before Planting**

Requirement
Compost is specified as the soil amendment, at the rates indicated by a soil analysis to bring the soil organic matter content to a minimum of 3.5% by dry weight or 1 inch of compost. If the imported or site soil meets the organic content of 3.5% or more, the requirement is waived.

Recommendation
Purchase compost from a producer who participates in the U.S. Composting Council's Standard Testing Assurance (STA) program to ensure quality.

Reference
Bay-Friendly Landscape Guidelines, Practice 4.1; Model Bay-Friendly Soil Specifications at www.BayFriendly.org; U.S. Composting Council Standard Testing Assurance program evaluation and list of participating producers can be found at www.compostingcouncil.org

☒ ☐ ☐ **3. Reduce and Recycle Landscape Construction Waste**

Requirement
Divert 50% of landscape construction and demolition waste by weight. Verify the local jurisdiction's minimum requirement and reporting procedures for construction and demolition (C&D) recycling.

Reference:
StopWaste Org. Builders' Guide to Reuse & Recycling: A Directory for Construction and Demolition Materials and Sample Waste Management Plan for recycling C&D materials at www.BayGreenMap.org.

Measure & Requirement

Documentation

Notes

☐ ☐ ☐ **4. Choose & Locate Plants to Grow to Natural Size**

Requirement
Species will be selected and plants spaced to allow them to grow to their natural size and shape. Pruning for structural integrity and health of plant is permitted. In addition, plants located in a row or adjacent to buildings, sidewalks or roads will be spaced between their minimum and maximum mature plant spread according to a published reference plant book and still fit into their planting area without significant overhanging. Trees must meet the spacing requirements only when adjacent to buildings, in a row or other adjacent to other vertical obstructions. Vines are not subject to spacing requirements.

Reference
Bay-Friendly Landscape Guidelines, Practices 2.1; Bay-Friendly Plant lists are available at www.BayFriendly.org; Brenston Carol, David Fross and Bart O'Brien, *California Native Plants for the Garden*; East Bay Municipal Utility District, *Plants and Landscapes for Sunny Day Climate*; Sunset, *Western Garden Book*.

☒ ☐ ☐ **5. Do Not Plant Invasive Plant Species**

Requirement
None of the plant species listed by CAL-IPC's Don't Plant a Pest as Invasive in the San Francisco Bay Area are included in the planting plan.

Definition
An invasive species is defined as a species that is non-native (or alien) to the ecosystem under consideration and whose introduction causes or is likely to cause economic or environmental harm or harm to human health. Federal Executive Order 13111.

Reference
Bay-Friendly Landscape Guidelines, Practice 2.1d; Don't Plant A Pest brochure for trees and plants available at www.calipc.org; www.calipc.org/inv/noninvasive/landscaping.php

☒ ☐ ☐ **6. Grow drought tolerant CA native, Mediterranean or climate adapted plants**

Requirement
A minimum of 75% of the total number of plants in non-turf areas must be species that require no or little summer watering once established. Species should be adapted to the climate in which they will be planted, as referenced by a published plant reference. If plants are given a range of water needs from "occasional to moderate" for example, the landscape designer must determine if the plant will require either occasional or moderate watering based on site, soil, and climate conditions and categorize the plant appropriately.

Recommendation
California native or Mediterranean species are strongly recommended.

Reference
Bay-Friendly Landscape Guidelines Practice 4.2; www.growwater.org/quickdocs/ncal00.pdf

☐ ☐ ☐ **7. Minimize the Lawn**

Requirement
A maximum of 25% of total irrigated area is specified as turf, with sports or multiple use fields exempted.

Reference
Bay-Friendly Landscape Guidelines, Practice 4.3; Bay-Friendly Lawn Alternatives plant list at www.BayFriendly.org; Brooklyn Botanic Garden Publications, *Easy Lawns, Low Maintenance Lawns Grasses for Gardens Everywhere*.

☐ ☐ ☐ **8. Specify Weather-Based Irrigation Controllers (automatic, self-adjusting)**

Requirement
Weather-based irrigation controllers, soil moisture based controllers or other self-adjusting irrigation controllers, shall be required for all irrigation systems.

Reference
Bay-Friendly Landscape Guidelines, Practice 4.6; EBMUD website has a list of recommended self-adjusting controllers at www.ebmud.com

☒ ☐ ☐ **9. Sprinkler & Spray Heads are Not Specified for Areas Less Than 8 Feet Wide**

Requirement
Sprinkler and spray heads are not specified in areas less than or equal to 8 feet wide to prevent overspray and runoff. Acceptable alternatives include drip, subsurface drip, bubblers or no irrigation. Bubblers shall not exceed 15 gallons per minute per bubbler.

Reference
A statement signed by the Landscape Architect, Designer or Contractor verifying that irrigation as installed does not have sprinkler or spray heads in planted areas less than 8 feet wide.

Bay-Friendly Basics: Bay-Friendly Basics represents the 9 required practices in the Bay-Friendly Landscape Scorecard. Landscapes that achieve the Bay-Friendly Basics will achieve significant environmental benefits for the project and community as well as taking the first step toward becoming a Bay-Friendly Rated Landscape. If a project is interested in seeking to qualify as a Bay-Friendly Rated Landscape, it must also earn a minimum of 60 points on the Bay-Friendly Landscape Scorecard and be evaluated by a qualified Bay-Friendly Grade. Please visit www.BayFriendlyCalifornia.org to learn more about taking this next step in sustainability. The Bay-Friendly Basics is not a substitute for exercising sound judgment in particular circumstances. Rather, the Bay-Friendly Basics is designed to help local governments raise the minimum environmental requirements for landscape projects that require a permit.

This checklist works well with the Small Commercial Green Building Checklist available at www.stopwaste.org/smallcommercial.

Version 2.1, December 2011

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Version 2.1, December 2011

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Version 2.1, December 2011

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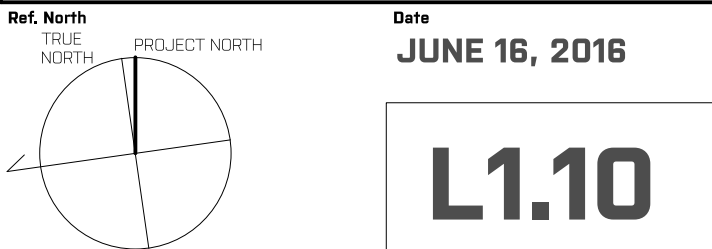
No.	Date	Issues + Revisions

This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

Project Name	HARBORSIDE SAN LEANDRO
Project Address	1965 MARINA BLVD. SAN LEANDRO, CA
Project Number	

Description

PLANT LIST



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