



"CONDITIONAL USE PERMIT" FOR AHERN RENTALS

2062 - 2091 WEST AVENUE 140TH, SAN LEANDRO, CA

PROJECT TEAM

| OWNER | TENANT | ARCHITECT |
|---|--|---|
| TERRENO REALTY CORPORATION 101 MONTGOMERY STREET, SUITE 200 SAN FRANCISCO, CA 94104 415.655.4442 | AHERN RENTALS, INC. 8305 EASTGATE ROAD HENDERSON, NV 89015 702.362.0623 | CHOI+ROBLES ARCHITECTURE 2251 HARBOR BAY PKWY ALAMEDA, CA 510.523.9123 |
| LANDSCAPE ARCHITECT | | |
| RANDY DE VALE P.O. BOX 2641 CASTRO VALLEY, CA 94546 510.581.4151 | | |

NOTES

GENERAL NOTES:
THE PURPOSE OF THESE DRAWINGS IS TO PROVIDE INFORMATION FOR A "CONDITIONAL USE PERMIT" APPLICATION.
AFTER APPROVAL, A COMPLETE SET OF DWGS. WILL BE PREPARED AND SUBMITTED FOR A BUILDING PERMIT APPLICATION.

PLANNING

BASIC BUILDING INFORMATION.THIS SHEET
PARKING INFORMATION.THIS SHEET
CONCEPTUAL LANDSCAPE.SEE SHEET L1.0
STORAGE SCREENING.NOT APPLICABLE. NO EXTERIOR STORAGE.
SITE IMPROVEMENTS.FUELING STATION, BAY WASH AND 10' LANDSCAPE SETBACK AND FENCE. SHEET A1.1
BUSINESS STATEMENT.THIS SHEET

BUILDING SIGNAGE.TO BE PROVIDED/PROCESSED DURING BUILDING PERMIT APPLICATION
REFUSE AREA.NON-VISIBLE FROM STREET VIEW.
2062 BUILDING - LOCATED INSIDE BUILDING BY ROLL-UP DOOR. SEE SITE PLAN A1.1
2091 BUILDING - LOCATED INSIDE FIRST BAY OF STORAGE SHED. SEE SITE PLAN A1.1
NOTE: BINS ARE EASILY ACCESSIBLE TO COLLECTION VEHICLES. STORAGE AREA ADEQUATE TO ACCOMMODATE VARIOUS BINS.

FIRE

NOTE: COMPLETE SET OF DRAWINGS, INCLUDING MECHANICAL, ELECTRICAL AND PLUMBING TO BE SUBMITTED DURING BUILDING PERMIT APPLICATION.

FUELING STATION.SEE SHEET A1.1 SITE PLAN FOR LOCATION
SEE SHEET A3.1 FOR PLAN, ELEVATION AND DOUBLE WALL TANK INFORMATION
SEE SHEET A3.2 FOR DISPENSING EQUIPMENT INFORMATION.

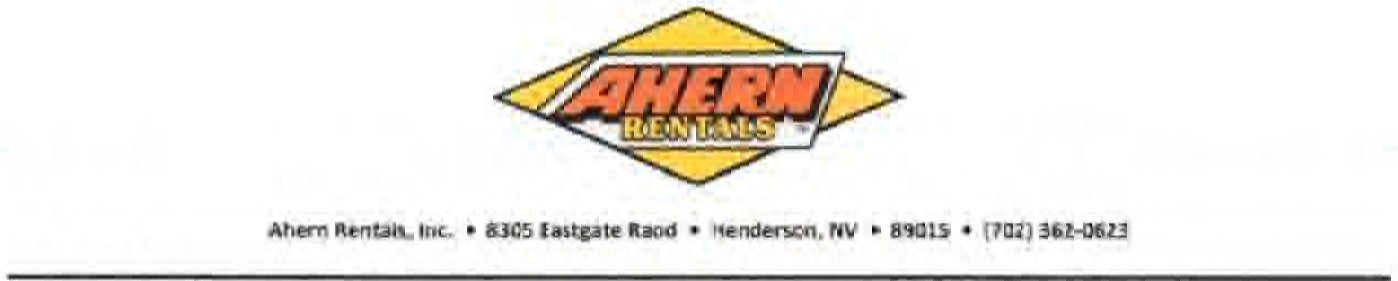
KNOX BOX.SEE SHEET A1.3 SITE ENTRANCE PLAN FOR KNOX BOX LOCATIONS AT GATES AND BUILDINGS.
WELDING.NO WELDING AT THIS FACILITY

SPIILL CONTROL.FUELING STATION IS 50' AWAY FROM (E) SHED BUILDING AND 150' + FROM THE CLOSEST DOOR TO BUILDING 2091.
NOTE: A CONTINUOUS 6" HIGH CONCRETE CURB WILL BE PLACED AROUND FUELING STATION (INCLUDING SPILL CONTROL GEAR).

PLANNED HAZ-MAT AT FACILITY

| MATERIAL | QUANTITY | CONTAINER |
|---|---------------------------|--|
| OIL FOR MOTOR, TRANSMISSION AND GEAR. | 1,000 GAL. | U.L. VAULTED DOUBLE WALL CONTAINER |
| SOLVENTS, DEGREASERS. | 25 GAL. (SPRAY) | AEROSOL CONTAINERS STORED IN FLAMMABLE LIQUIDS CONTAINER |
| LEAD ACID BATTERIES. | 20 TO 30 UNITS. | WET SEALED BATTERIES |
| DIESEL FUEL. | 1,000 GAL. | U.L. LISTED DOUBLE WALL CONTAINER - AT EXTERIOR |
| UNLEADED GAS | 500 GAL. | U.L. LISTED DOUBLE WALL CONTAINER - AT EXTERIOR |
| ACETYLENE GAS (WELDING). | 1 TO 4 BOTTLES. | 400 TO 600 CU. FT. |
| OXYGEN (WELDING). | 1 TO 4 BOTTLES. | 400 TO 600 CU. FT. |
| PROPANE (FUEL EQUIPMENT) | 350 TO 500 GALS. | U.L. LISTED CONTAINER - AT EXTERIOR |
| ANTI-FREEZE 50/50. | 1 TO 2 DRUMS. | 110 GALS. IN 55 GAL DRUMS |
| WASTE OIL. | 250 GAL. | REMOVED BY LISCENSED CONTRACTOR |
| NOTE: ADDITIONAL INFORMATION REQUIRED TO BE PROVIDED DURING BUILDING PERMIT APPLICATION | | |

BUSINESS STATEMENT



December 12, 2016

Anjana Mepani
Planner II, Community Development Department
City of San Leandro
835 East 14th Street
San Leandro, CA 94577

Dear Ms. Mepani:

Ahern Rentals, Inc. ("Ahern") is a construction equipment dealer and rental company. Ahern was formed in 1953, has 87 locations in North America and is the largest privately owned equipment rental company in the world. Ahern both sells and rents heavy construction equipment and aerial lift equipment. This location will provide services for both selling and renting such equipment. Our operations are very similar to Sunbelt Rentals, which has a location in San Leandro, and others such as United Rentals. We are a community oriented and responsible company that contributes both economically and philanthropically to the communities in which it is located.

Our normal business hours are anticipated to be from 3:00 AM to 5:00 PM Monday through Friday. We will have truck traffic in the early morning hours, from 3:00 AM to 5:00 AM with our trucks delivering to construction and industrial sites and returning on site in the mid-afternoon. We have moderate traffic during the day. We deliver a majority of the equipment to our customers and there is very little customer traffic at our location. We typically have less truck traffic than a typical distribution warehouse. We plan on having 4 low boy trucks and 2 eighteen wheelers by the end of summer operating out of the facility. We do maintain our equipment with certified mechanics on site.

We plan to have a wash bay on site. However, it is a totally self-contained, closed loop system. We recycle and reuse 100% of the water used in the process. We are enclosing a description and design of the recycling system. We will be employing approximately 30 full-time persons on site, including drivers and mechanics. Our wage rates range from the \$15 to \$39 per hour rate.

Should you have any questions or require further information, please do not hesitate to contact me. Thank you for your anticipated cooperation.

Very truly yours,

M. Sami Bakdash, Esq.
VP of Legal and General Counsel
Ahern Rentals, Inc.

ESTIMATED TRIPS FOR AHERN RENTALS FACILITY (2091 BUILDING).
PER BUSINESS STATEMENT ABOVE.
6 TRIPS IN THE AM
6 TRIPS IN THE PM

HOURS OF OPERATION: 3 A.M. TO 5 P.M.

DRAWING INDEX

| SHT NO. | ARCHITECTURAL |
|---------|--|
| 01 | A0.0 COVER SHEET |
| 02 | A1.1 2062 AND 2091 BUILDINGS - SITE PLAN |
| 03 | A1.2 PROPOSED LANDSCAPE AREAS |
| 04 | A1.3 ENLARGED CUL-DE-SAC ENTRANCE PLAN |
| 05 | A2.1 (E) 2091 BUILDING FLOOR PLAN AND ELEVATION |
| 06 | A2.2 (E) STORAGE SHED ELEVATIONS |
| 07 | A3.1 FUELING STATION PLAN, FUEL TANKS PLAN, ELEVATION AND CUT SHEETS |
| 08 | A3.2 FUEL DISPENSING EQUIPMENT INFORMATION |
| 09 | A4.1 WATER RECYCLING SYSTEM PLAN, ELEVATION AND DESCRIPTION. WASH BAY PLAN |
| 10 | L1.0 CONCEPTUAL LANDSCAPE - PLANTING PLAN |
| 11 | C-1 CIVIL SURVEY FOR REFERENCE ONLY |

PROJECT DATA

| | |
|--------------------------------|---|
| PROJECT ADDRESS: | 2062 AND 2091 WEST AVENUE 140TH SAN LEANDRO, CA |
| PARCEL NUMBERS: | APN: 77B-853-38-1 |
| ZONING: | IG - INDUSTRIAL GENERAL DISTRICT |
| SITE AREA: | 355,885 S.F. (8.17 AC) |
| TYPE OF BUILDING CONSTRUCTION: | TYPE III-B, SPRINKLERED NOTE: SHED TYPE III-B, NON-SPRINKLERED) |
| BUILDING AREA: | |
| DESCRIPTION | WAREHOUSE OFFICE TOTAL |
| BUILDING 2062 | 66,000 S.F. 2,100 S.F. 68,100 S.F. VACANT |
| BUILDING 2091 | 29,736 S.F. 2,097 S.F. 31,833 S.F. AHERN RENTALS |
| STORAGE SHED (2091) | 24,900 S.F. - - - 24,900 S.F. AHERN RENTALS |
| TOTAL: | 120,636 S.F. 4,197 S.F. 124,833 S.F. |
| FLOOR AREA RATIO (FAR): | 124,833 S.F. (BUILDINGS) / 355,885 S.F. (SITE) = 0.35 F.A.R. |
| BUILDING HEIGHT: | |
| BUILDING 2062 | 22'-0" - PARAPET TO 30'-0" HIGH ROOF |
| BUILDING 2091 | 25'-0" - PARAPET |
| STORAGE SHED | 22'-0" - HIGH POINT |

PARKING REQUIRED / PROVIDED

| | | |
|---|-----------------------------------|---|
| BUILDING 2062 (1 STORY - SPRINKLERED) - V A C A N T | | |
| OFFICE (B) | 2,100 S.F. +/- | (2100 / 300 = 7 PARKING SPACES REQUIRED) |
| WAREHOUSE (S1) | 66,000 S.F. +/- | (66,000 / 1500 = 44 PARKING SPACES REQUIRED) |
| TOTAL: | 68,100 S.F. | 51 PARKING SPACES REQUIRED / PROVIDED |
| PROPOSED USES: | WAREHOUSE/OFFICE | |
| SITE PARKING: | 43 STANDARD | |
| | 6 CLEAN AIR / CAR POOL / ELECTRIC | |
| | 2 ACCESSIBLE (1 VAN). | |
| | 51 TOTAL PARKING | |
| BUILDING 2091 (1 STORY - SPRINKLERED) - AHERN RENTALS | | |
| OFFICE (B) | 2,097 S.F. | (2097 / 300 = 7 PARKING SPACES REQUIRED) |
| WAREHOUSE (29,736 S.F. - S1) | | |
| WAREHOUSE | 27,736 S.F. | (27,735 / 1500 = (18.5) 19 PARKING SPACES REQUIRED) |
| MAINTENANCE | 2,000 S.F. | (2,000 / 400 = 5 PARKING SPACES REQUIRED) |
| TOTAL: | 31,833 S.F. +/- | 31 PARKING SPACES REQUIRED / PROVIDED |
| PROPOSED USES: | OFFICE/WAREHOUSE | |
| SITE PARKING: | 25 STANDARD | |
| | 4 CLEAN AIR / CAR POOL / ELECTRIC | |
| | 2 ACCESSIBLE (1 VAN). | |
| | 31 TOTAL PARKING | |
| STORAGE SHED | 24,900 S.F. +/- | (EXISTING ACCESSORY BUILDING - NON SPRINKLERED) |
| OCCUPANCY | S-2 EQUIPMENT STORAGE | |



PHOTOS # 01 - STREET VIEW



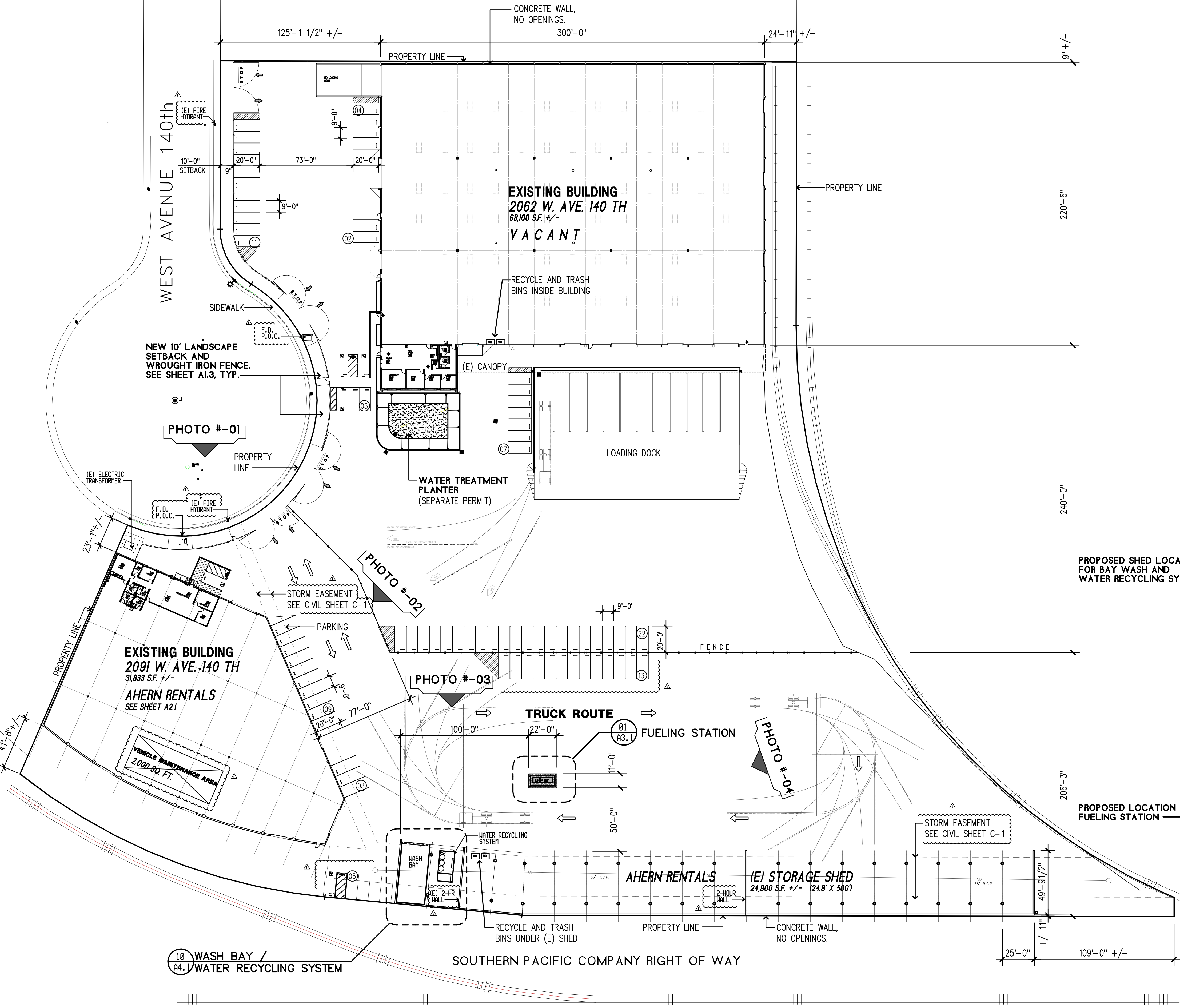
PHOTOS # 02 - SOUTH-EAST ELEVATION



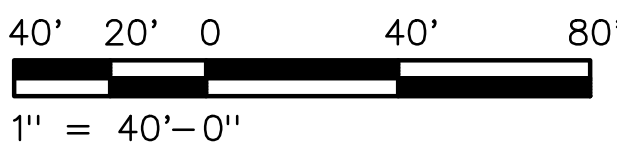
PHOTO # 03 - SHED VIEW
PROPOSED LOCATION FOR WASH BAY



PHOTO # 04 - SHED VIEW
PROPOSED LOCATION FOR FUEL STATION



01 SITE PLAN
1" = 40'-0"

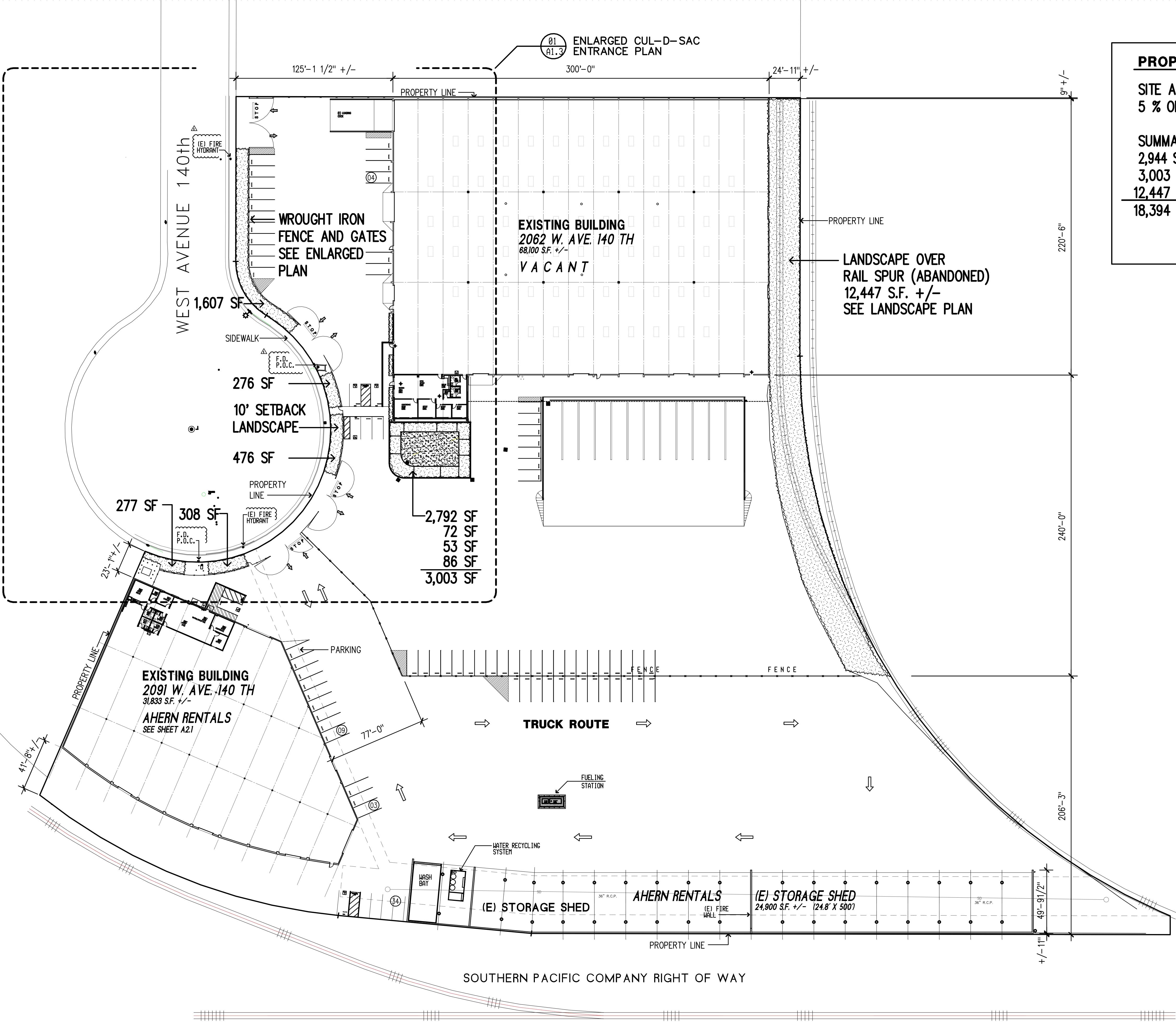




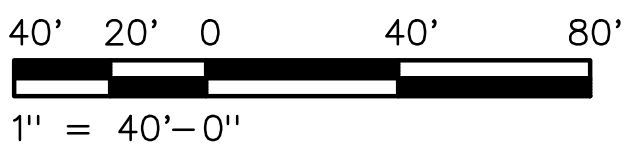
PROPOSED LANDSCAPE AREAS

SITE AREA: 8.17 AC (355,885 SF)
5 % OF SITE AREA: 17,794 SF OF LANDSCAPE REQUIRED

SUMMARY OF PROPOSED AREAS FOR LANDSCAPE
2,944 SF (10' SETBACK AT STREET)
3,003 SF FILTRATION PLANTER AND MISC.
12,447 SF RAIL SPUR ABANDONED
18,394 SF MORE THAN 17,794 SF OK.

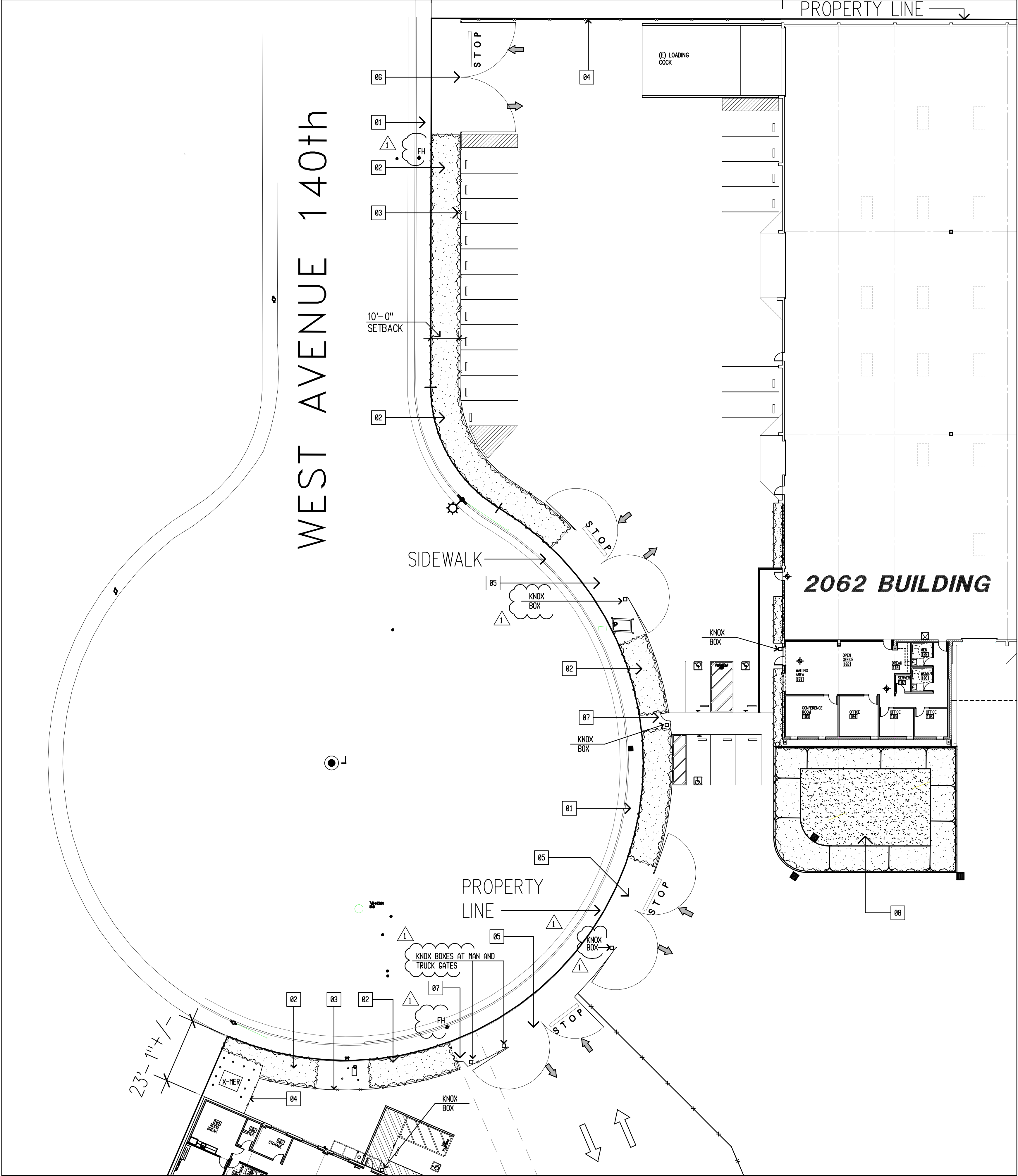


01 SITE PLAN – LANDSCAPE AREAS
1" = 40'-0"



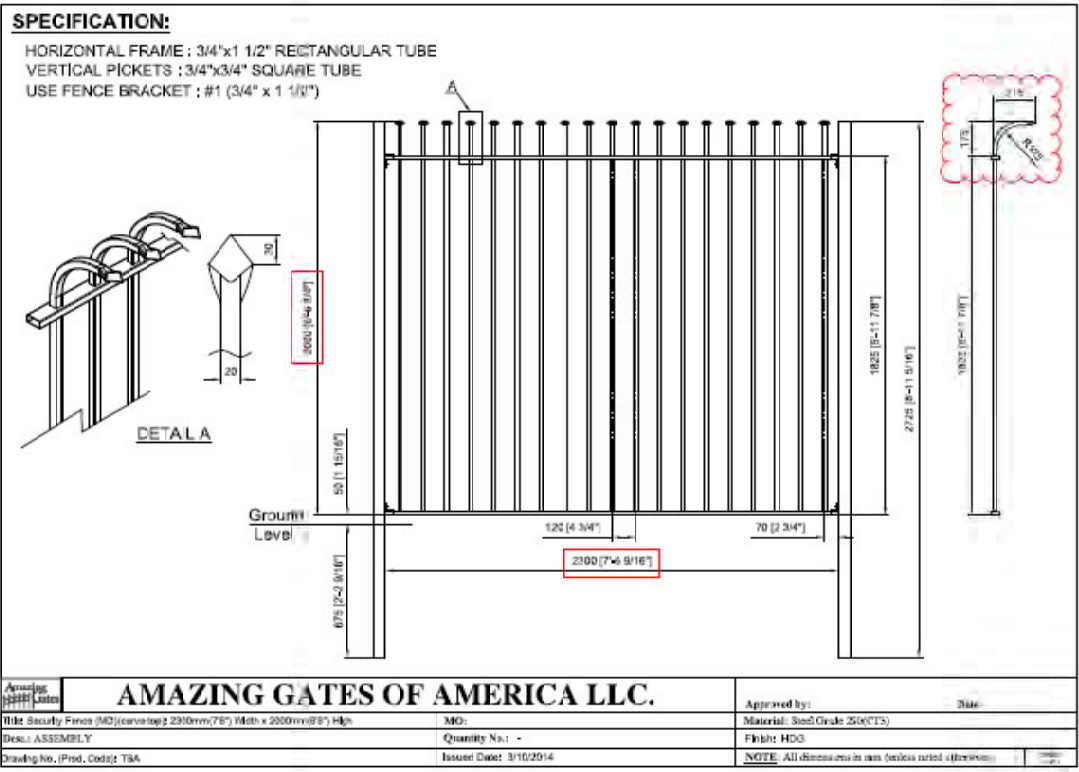
PROPOSED LANDSCAPE AREAS

N:\CRA-CAD\201618.03 Ahern CUP Application\01 Dwg\20161803 Ahern A13 Enlarged Entrance Plan.dwg
THURSDAY, MARCH 16, 2017



SHEET NOTES

- 01 (E) CONCRETE SIDEWALK (REPAIRED UNDER SEPARATE PERMIT NUMBER).
- 02 REMOVE (E) CONCRETE PAVING AND PROVIDE 10' LANDSCAPE SETBACK SEE SHEET A1.2 FOR LANDSCAPE AREAS AND L1.0 FOR PLANTING PLAN
- 03 NEW 8' HIGH WROUGHT IRON FENCE AND GATES WITH VANDAL RESISTANT TOP. SEE DETAIL BELOW.
- 04 RETURN WROUGHT IRON FENCE TO MEET BUILDING.
- 05 NEW 30' WROUGHT IRON GATE TO MATCH FENCE
- 06 NEW 40' WROUGHT IRON GATE TO MATCH FENCE
- 07 NEW 3'-0" MAN GATE WITH LEVER LOCK AND PROTECTIVE SCREEN. HARDWARE TO BE FREE-EXIT. PROVIDE KNOX BOX.
- 08 WATER TREATMENT PLANTER. WORK UNDER SEPARATE PERMIT.



PROPOSED 8' WROUGHT IRON FENCE

2251 HARBOR BAY PARKWAY
ALAMEDA, CALIFORNIA 94502
TEL (510) 523-9123

DESCRIPTION OF
WORK:



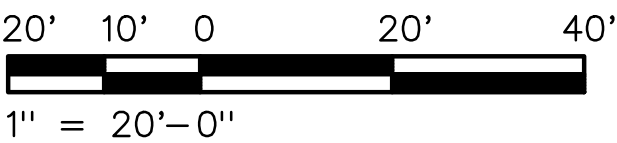
CHANGE USE PERMIT
(CUP) FOR AHERN
2091 WEST AVE. 140TH
SAN LEANDRO, CA

FILE NO: 201618.03

DATE ISSUED:
12/12/16 CUP PRE-APPLICATION
02/06/17 CUP APPLICATION
03/14/17 CUP RESUBMITTAL

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SHEET NO 04



A1.3

OF 11 SHEETS



CHANGE USE PERMIT
(CUP) FOR AHERN

2091 WEST AVE. 140TH
SAN LEANDRO, CA

FILE NO: 201618.03

DATE ISSUED:
12/12/16 CUP PRE-APPLICATION
02/06/17 CUP APPLICATION
03/14/17 CUP RESUBMITTAL

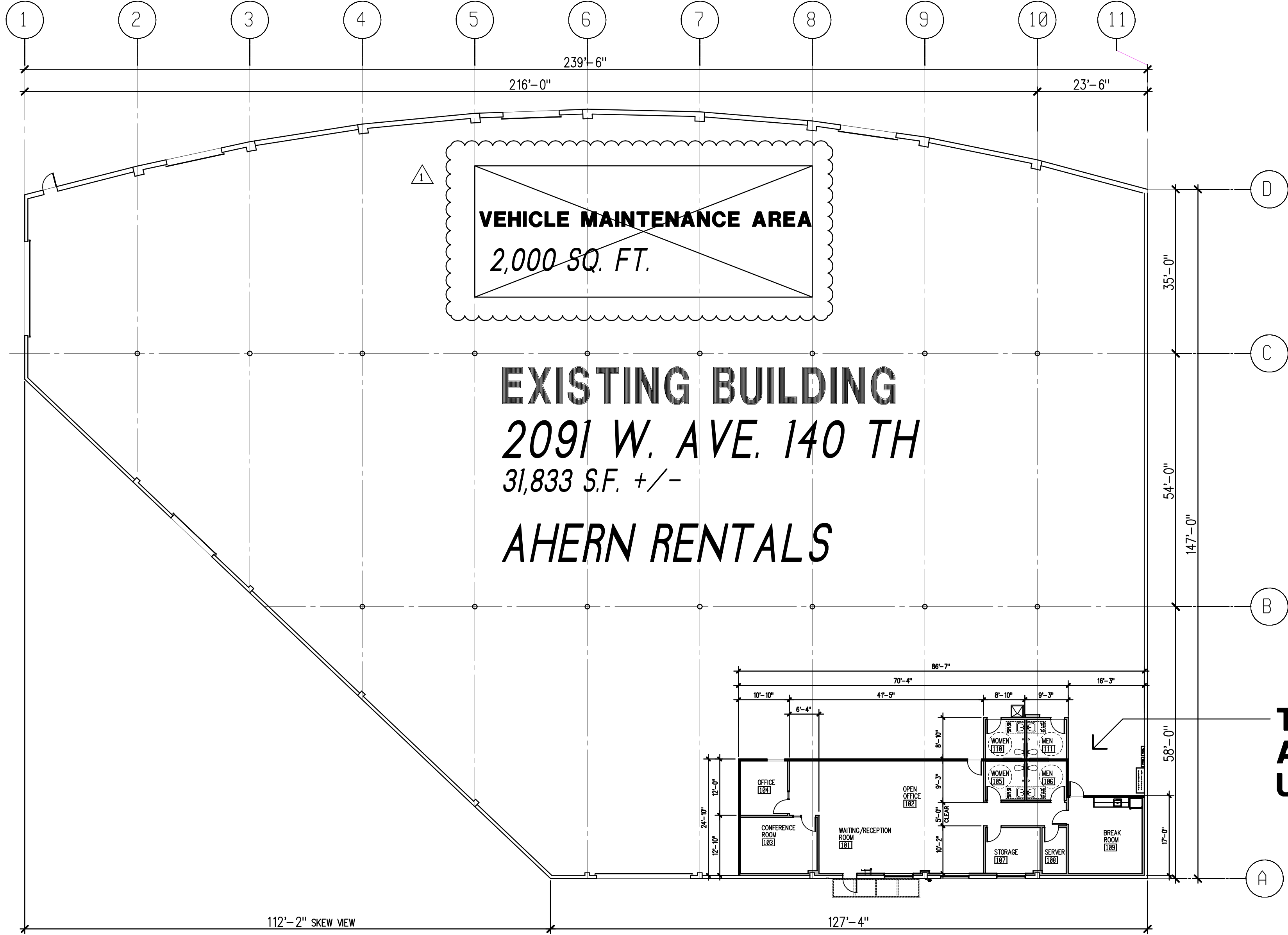
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20161803 Ahern A21 Warehouse Flr and Elevation.dwg

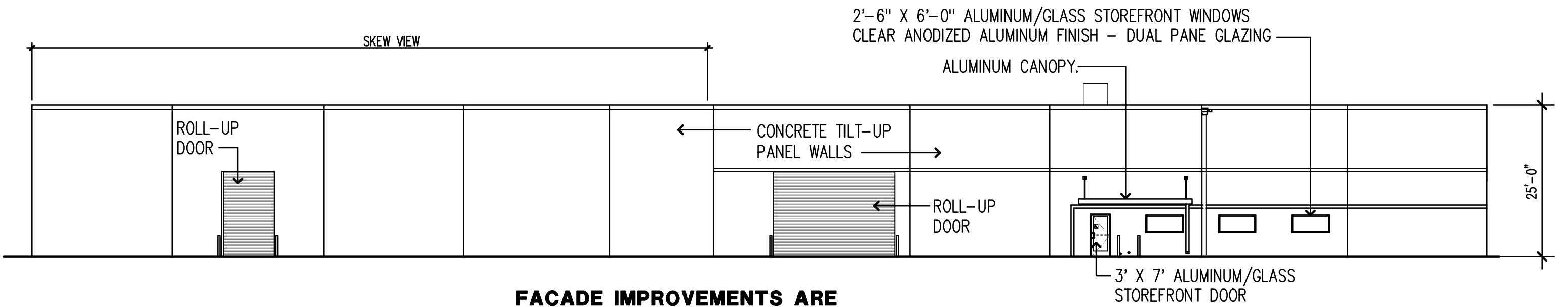
SHEET NO 05

A2.1

OF 11 SHEETS

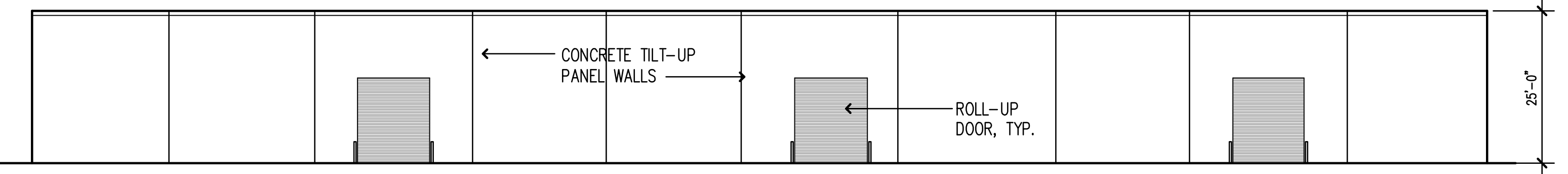


01 2091 WAREHOUSE AND OFFICE FLOOR PLAN
A2.1 1/16" = 1'-0"

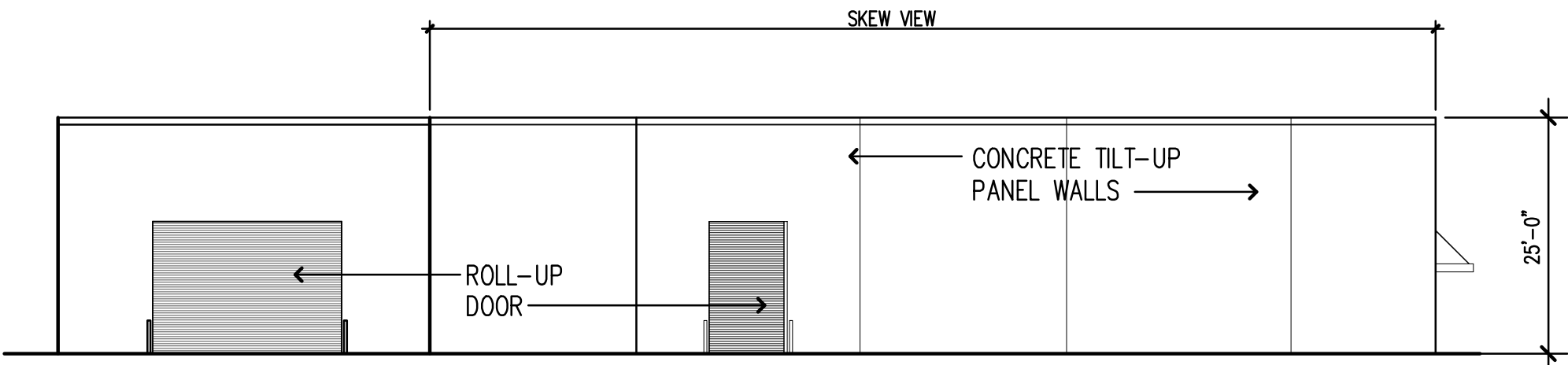


02 EAST ELEVATION
A2.2 1/16" = 1'-0"

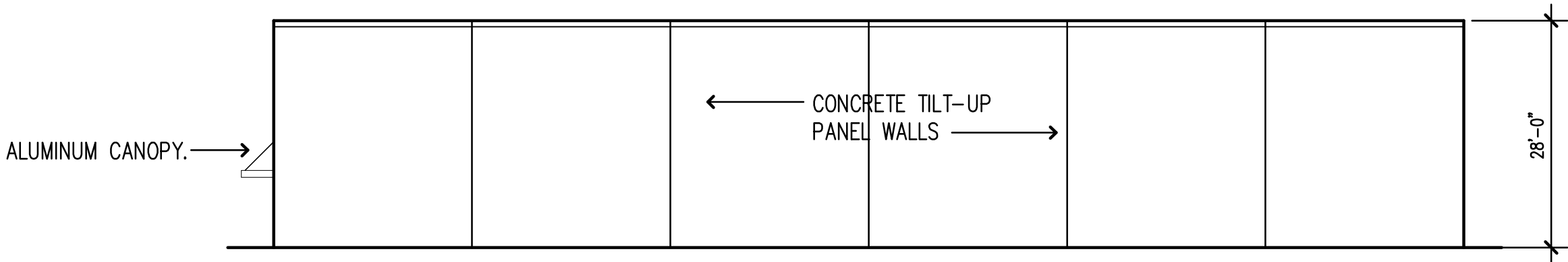
FACADE IMPROVEMENTS ARE
CURRENTLY BEING REVIEWED
UNDER BUILDING PERMIT # B16-2267
BUILDING SIGNAGE TO BE PERMITTED
DURING BUILDING PERMIT APPLICATION



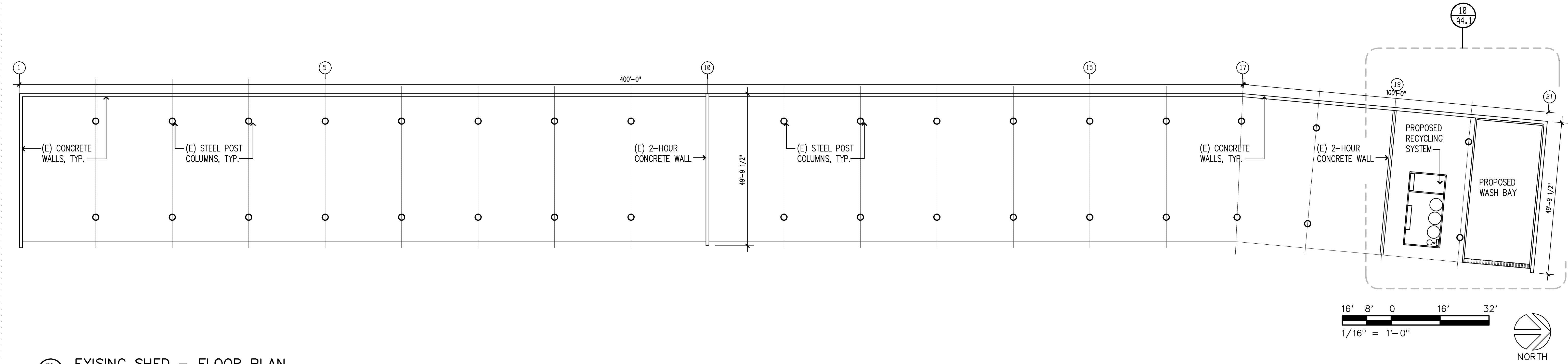
04 WEST ELEVATION
A2.2 1/16" = 1'-0"



03 SOUTH ELEVATION
A2.2 1/16" = 1'-0"



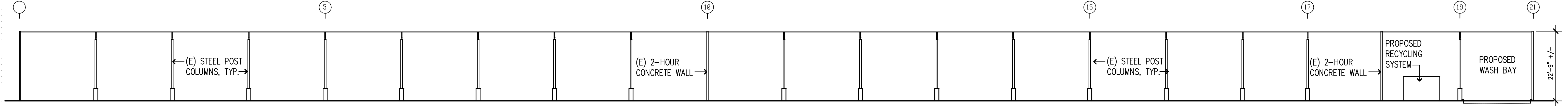
05 NORTH ELEVATION
A2.2 1/16" = 1'-0"



01

EXISING SHED – FLOOR PLAN

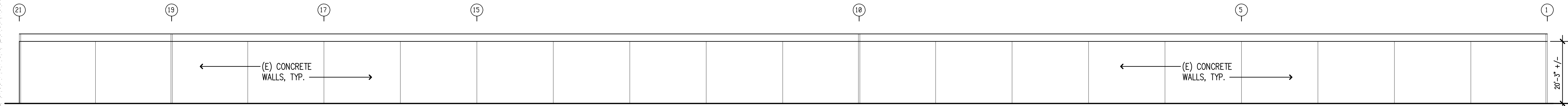
1/16" = 1'-0"



02

SHED – EAST ELEAVATION

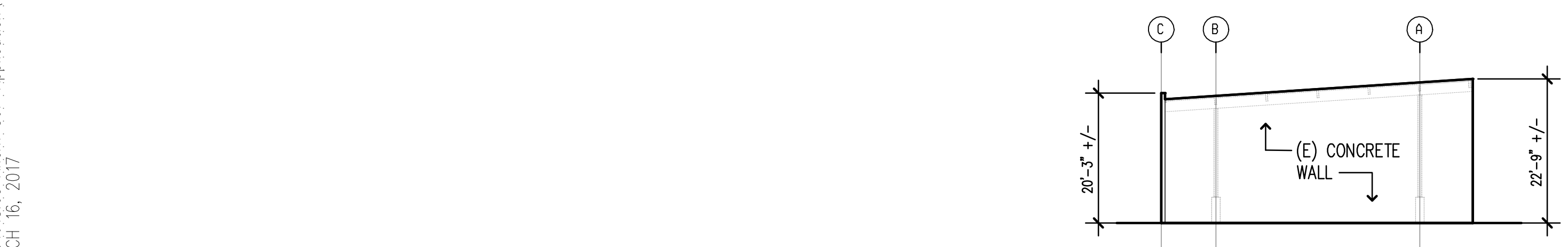
1/16" = 1'-0"



03

SHED – WEST ELEAVATION

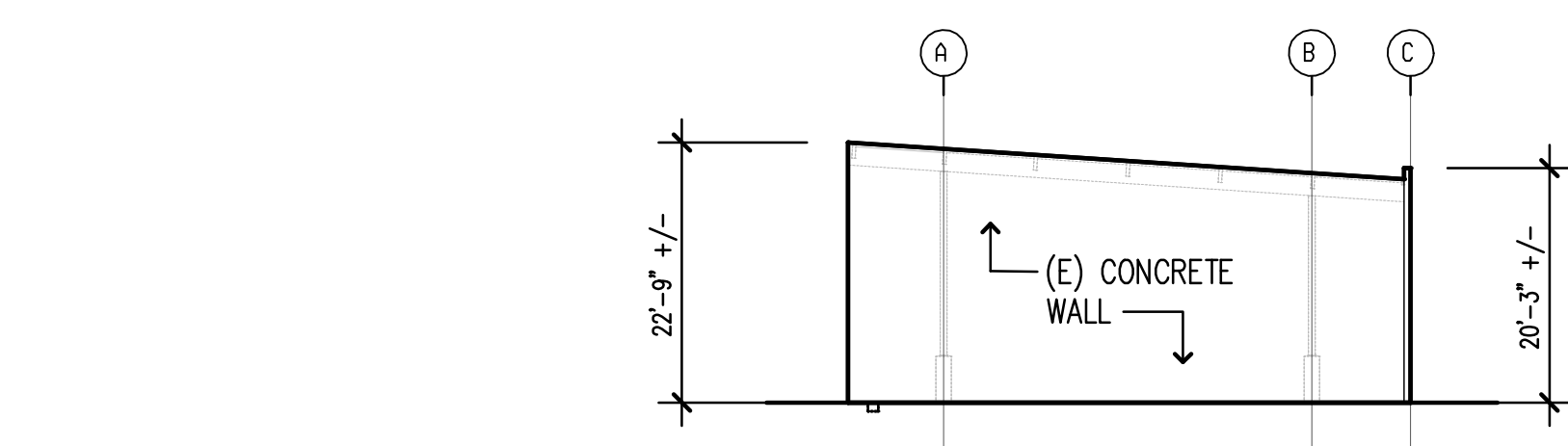
1/16" = 1'-0"



04

SHED – NORTH ELEAVATION

1/16" = 1'-0"



05

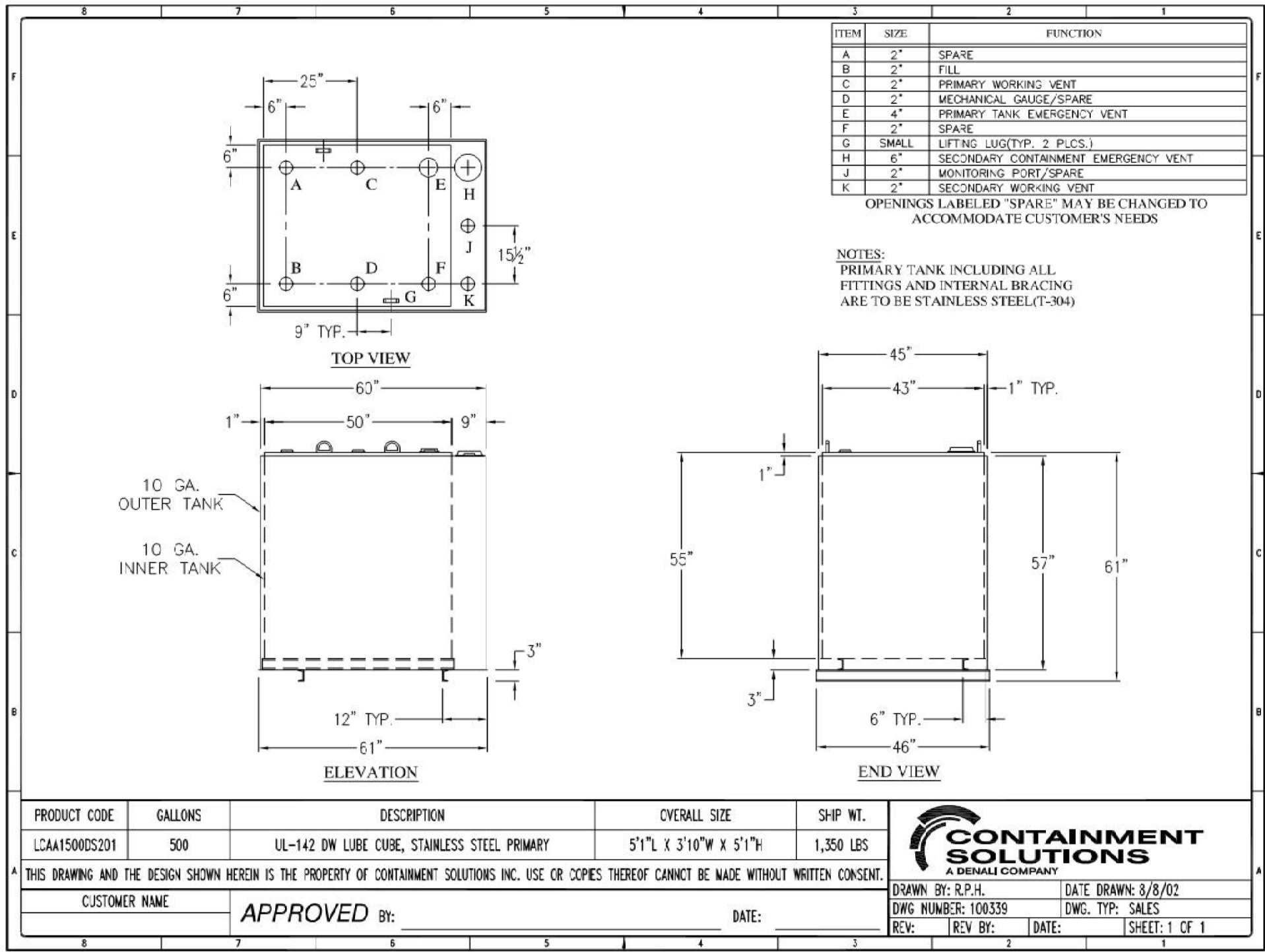
SHED – SOUTH ELEAVATION

1/16" = 1'-0"

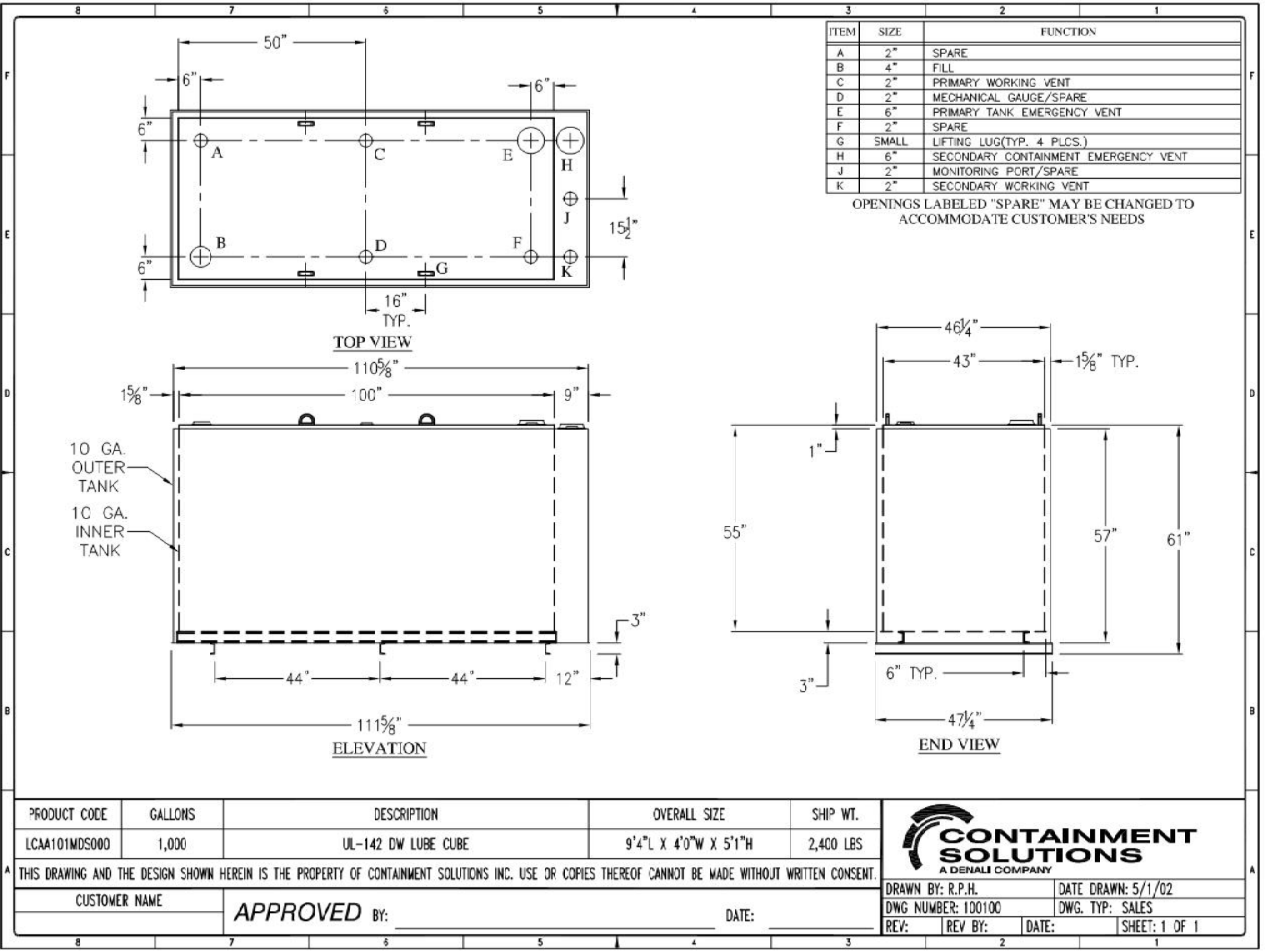
EXISTING SHED - PLAN AND ELEVATIONS

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THURSDAY, MARCH 16, 2017

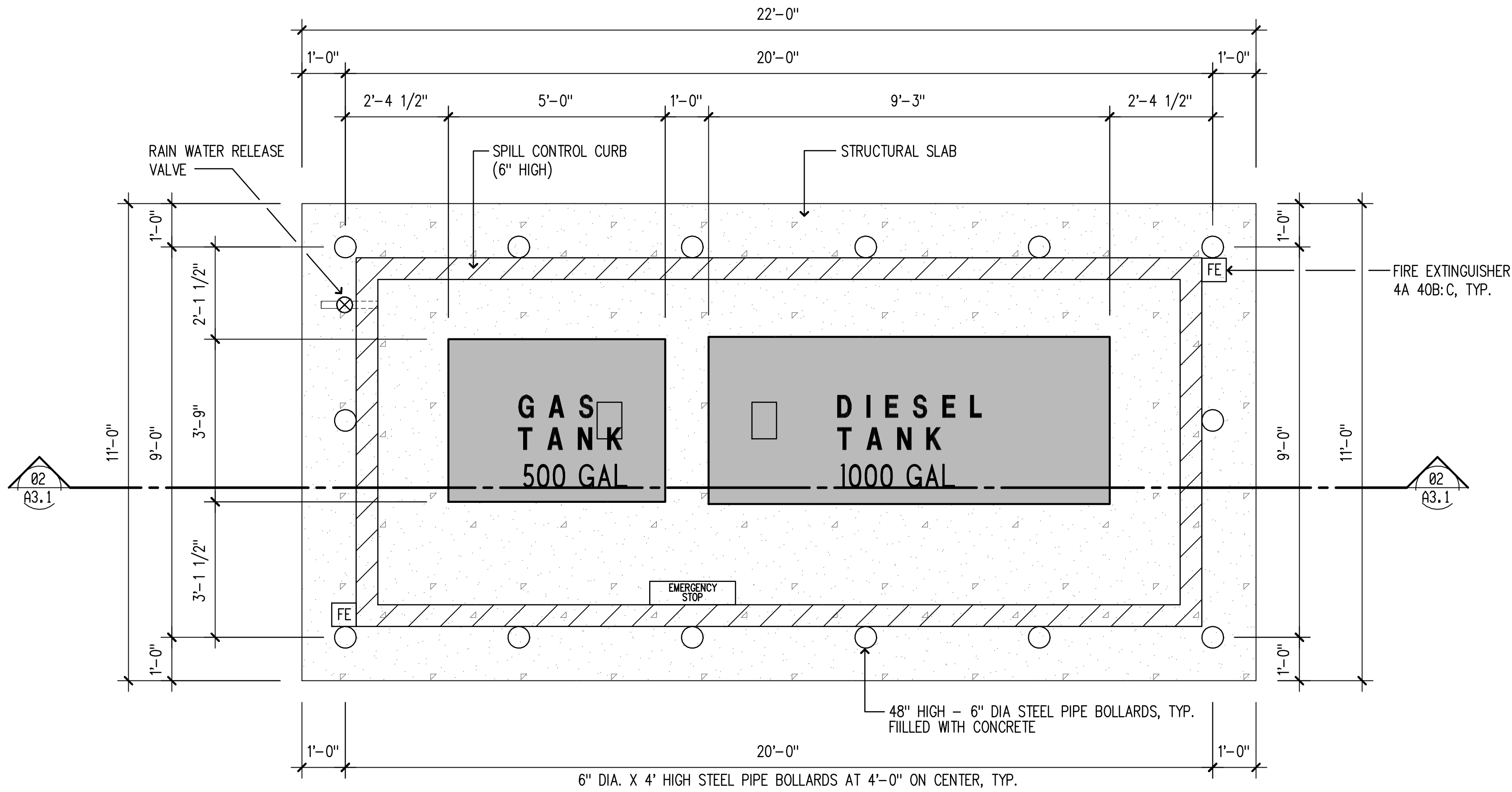
N:\CRA-CAD\2016\8.03 Ahern CUP Application\01 Dwg\20161803 Ahern A31 Fuel Station.dwg
THURSDAY, MARCH 16, 2017



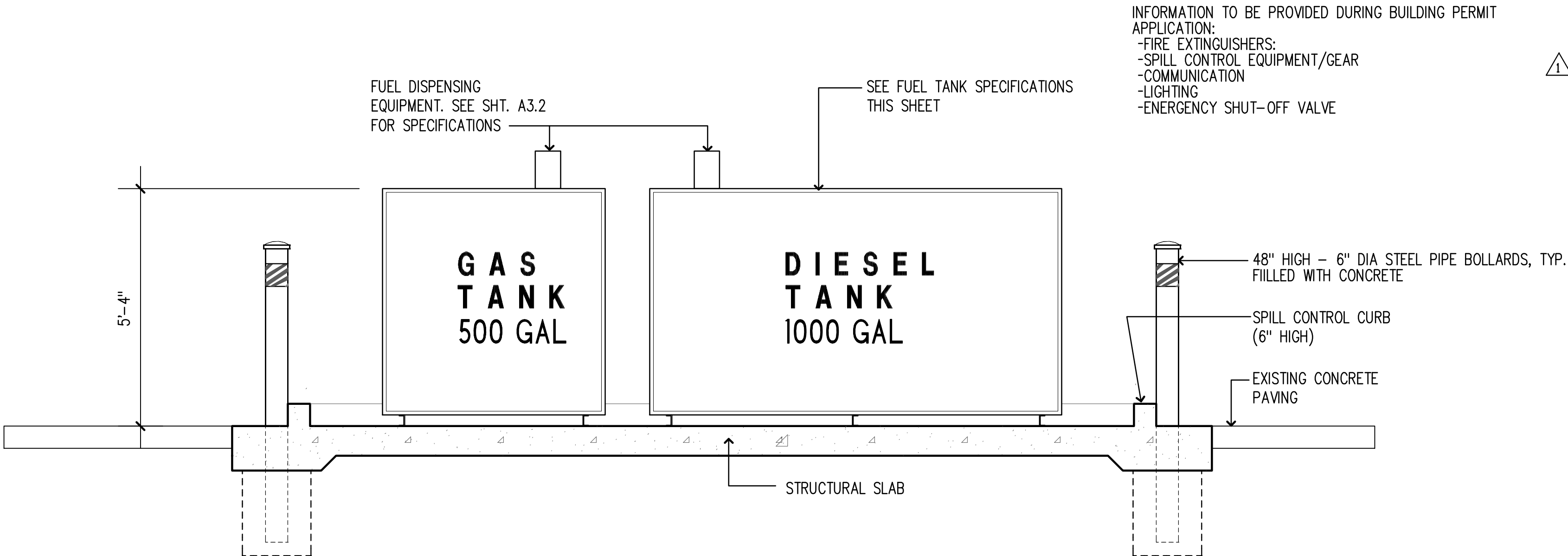
GAS- 500 GAL



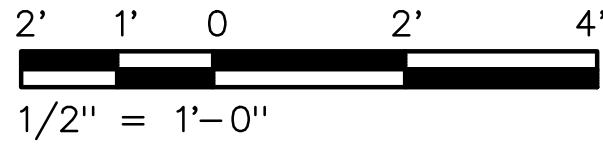
DIESEL- 1000 GAL



01 FUELING STATION – FLOOR PLAN
1/2" = 1'-0"



02 FUELING STATION – SECTION
1/2" = 1'-0"



FUELING STATION PLAN, SECTION AND DETAILS

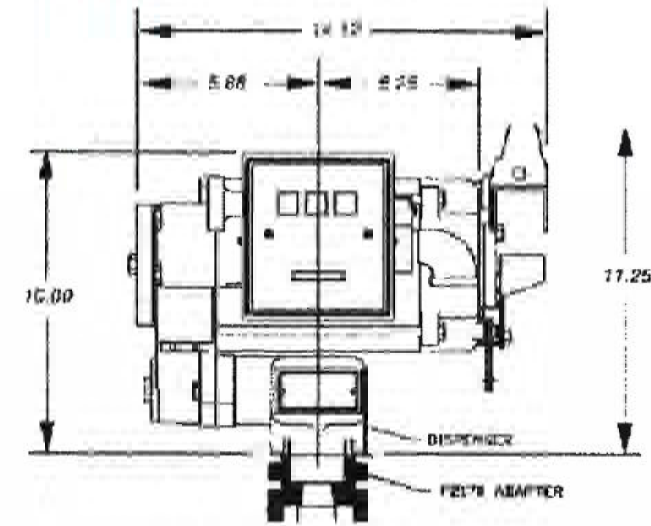
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THURSDAY, MARCH 16, 2017

FUEL DISPENSING EQUIPMENT LITERATURE

If in doubt about the compatibility of a specific fluid, contact the supplier of the fluid to check for any adverse reaction to the following wetted materials.

| | | |
|-------------------|--------------|-----------------|
| Cast Iron | Steel | Stainless Steel |
| Brass/Bronze | Carbon | Polyester |
| Spoolite | Fluorocarbon | Buna N |
| Zinc Plated Steel | Ceramic | Aluminum |
| PPS (FR701B only) | | |

Dimensions



Repair

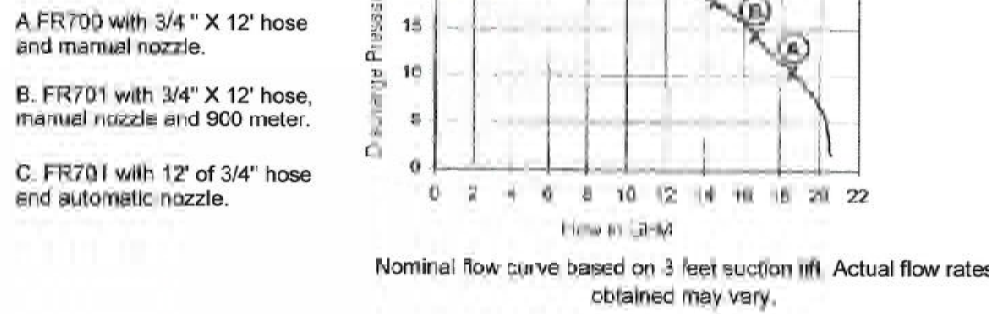
Refer to Owner's Operation & Safety Manual shipped with the pump and/or available for reference and printing in the eLibrary.

Motors that need repair should be taken to an authorized repair shop for service. Pumps must be thoroughly flushed and drained before being taken in for service.

Maximum ambient operating temperature 150 °F (56 °C)*
Minimum ambient operating temperature -15 °F (-25 °C)*
Minimum Dry Vacuum 12 inches of mercury
Minimum Suction Lift** 1.5 Feet for Diesel. For gasoline see below.**

1. Nominal flow rate at nominal voltage using a standard hose and manual nozzle with low viscosity fluid.
* Consult factory for extreme temperature applications outside this range.
** The lift in feet is equivalent to the vertical distance from the surface of the fluid in the tank to the inlet of the pump. PLUS the friction losses through the vertical and horizontal runs of pipe, all elbows and other fittings. The system should be designed to require a minimum amount of suction lift.

Flow Curve



Fluid Compatibility

The 700B Series pumps are compatible with the following fluids:
Diesel, Gasoline, Kerosene, Mineral Spirits, Heptane, and Hexane.

The 700B Series pumps are NOT compatible with the following fluids:
Acetone, Aniline, Benzene, Bleach, Hydrochloric Acid Water, Ink, Toluene, Aviation Gas, Jet Fuel



EMERGENCY FUEL STOP



PROPOSED DISPENSING EQUIPMENT

Available Options

| Option | Description | Adjustment to Shipping Weight (lbs.) | Adjustment to Shipping Weight (kgs.) |
|--------|--|--------------------------------------|--------------------------------------|
| A | Upgrade to automatic nozzle from standard manual nozzle. | 2.0 | 0.9 |
| E | Unit supplied with 220 VAC - 50 Hz motor. | - | - |
| G | Unit supplied with 220 VAC - 50/60 Hz motor. | - | - |
| L | Unit equipped with meter registering liters in place of standard gallon meter. | - | - |

Accessories

| Part Number | Description |
|-------------|--|
| 4200F9111 | Nozzle Spout Hook (for automatic nozzles) |
| FRH07512 | Buna-N hose 3/4" X 12' with static wire, 3/4" ferrules |
| 1210KTF7018 | Hydrocarb filter kit - 1200KTG9075 cast iron 3/4" adaptor with F810HMO filter |
| 6U075 | Manual unleaded nozzle with 3/4" inlet |
| N075UAV10 | Automatic unleaded nozzle with 3/4" inlet |
| 700F2170 | 2" O.D. X 1" I.D. tank adapter |
| 700KTF6596 | Automatic nozzle retainer kit |
| 712KTF9114 | Universal nozzle boot & nozzle retainer, mounting plate to be attached to FR700B or FR701B pump, LESS vapor hose, vapor nozzle, valve & fittings |
| TH13 | Pedestal Kit - Base, pedestal column & coupler for 1" pipe, less suction pipe and union |
| 1200KTF7018 | Particulate Filter Kit - 1200KTG9075 cast iron 3/4" adaptor with F180PM0 filter |
| 700KTF7024 | Hydrocarb Filter Kit - 1200KTG9075 cast iron 3/4" adaptor with F180PM0 filter for Model FR700 |
| F180PC1 | Clear Bowl, 10 micron particulate filter w/ drain valve |
| F1810PM1 | Metal canister 10 Micron particulate filter w/ drain valve. Fits 1200KTG9075 filter head |

Performance

| | |
|---|-------------------|
| Maximum outlet pressure | 20 PSI (1.52 BAR) |
| Maximum flow rate (1) | 20 GPM (75.7 LPM) |
| Maximum Recommended Viscosity of Pumped Fluid | Diesel Fuel |

The Most Trusted name in Pumps & Motors **FILL-RITE**

Series 700B AC Powered Pumps



Model FR700B Pump Shown

Description of Included Models

| Model Number | Description | Shipping Weight |
|--------------|--|-----------------|
| FR700 | Heavy Duty AC Utility Pump with manual nozzle and 3/4" X 12' hose. | 49lbs 21.8kgs |
| FR701 | Heavy Duty AC Utility Pump with manual nozzle, 3/4" X 12' hose and Model 807C meter installed. | 62lbs 28.6kgs |

Safety Listings

| Approval Organization Mark | Organization Description | File Number | Guide Number |
|----------------------------|---|-------------|--------------|
| | Underwriters Laboratories Inc., a nationally recognized independent organization for testing of products to ensure public safety. Recognized and accepted in USA, Canada and other countries. | M-7817 | RCRX |
| | Indicates compliance with applicable European standards and the motor is rated as explosion proof under those standards. | N/A | N/A |
| | Australian Certification Program, Certified under the Australian Certification Program under Aus EX 3620 as Series 700 (230 V, 75 LPM, heavy duty) | N/A | N/A |

EXHIBIT H

C+RA

Choi + Robles
Architecture, LLP

2251 HARBOR BAY PARKWAY
ALAMEDA, CALIFORNIA 94502

TEL (510) 523-9123

DESCRIPTION OF
WORK:



CHANGE USE PERMIT
(CUP) FOR AHERN

2091 WEST AVE. 140TH
SAN LEANDRO, CA

FILE NO: 201618.03

DATE ISSUED:

12/12/16 CUP PRE-APPLICATION
02/06/17 CUP APPLICATION
03/14/17 CUP RESUBMITTAL

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SHEET NO 08

A3.2

OF 11 SHEETS

FUEL DISPENSING EQUIPMENT

2251 HARBOR BAY PARKWAY
ALAMEDA, CALIFORNIA 94502
TEL (510) 523-9123

DESCRIPTION OF
WORK:



CHANGE USE PERMIT
(CUP) FOR AHERN
2091 WEST AVE. 140TH
SAN LEANDRO, CA

FILE NO: 201618.03

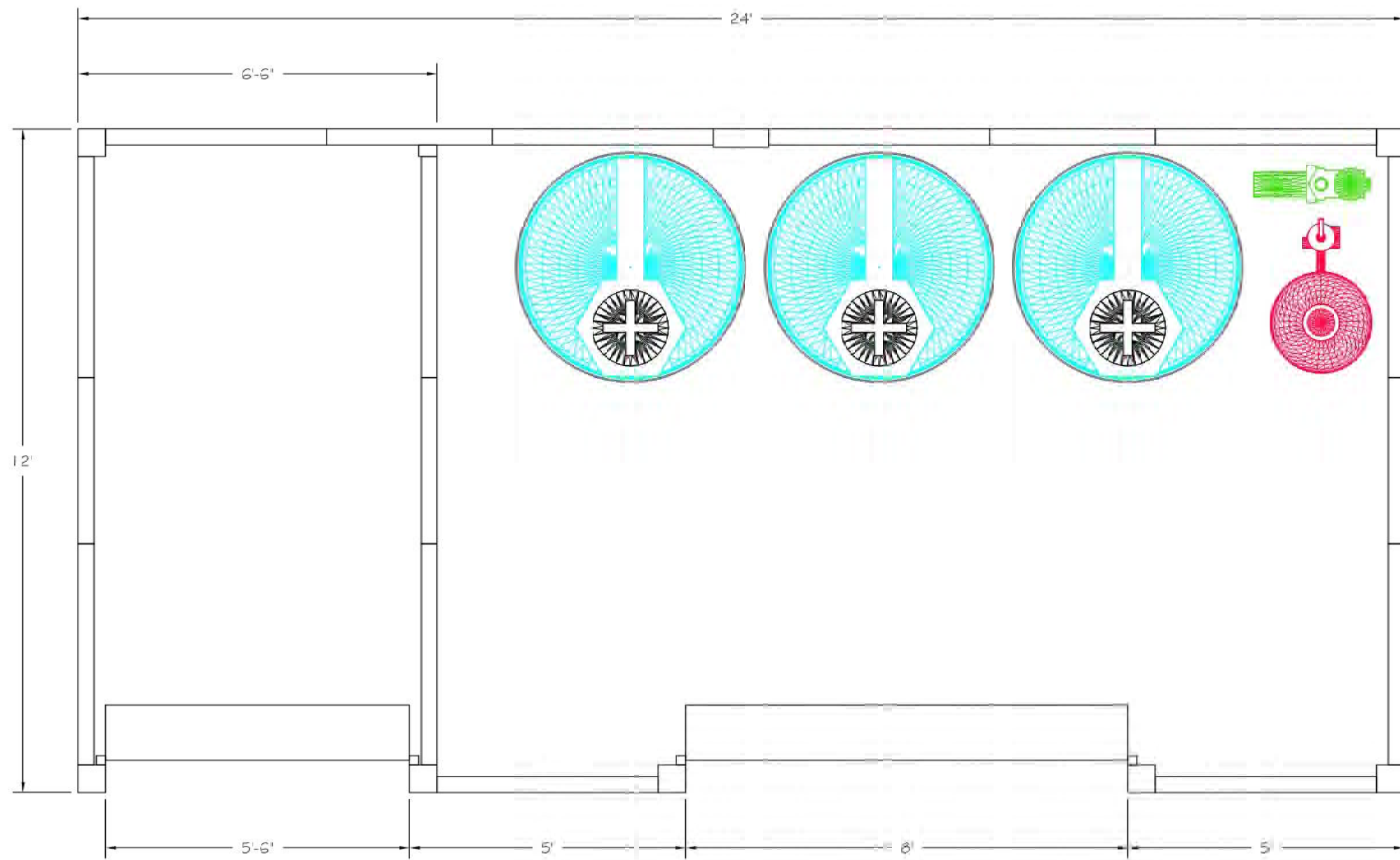
DATE ISSUED:
12/12/16 CUP PRE-APPLICATION
02/06/17 CUP APPLICATION
03/14/17 CUP RESUBMITTAL

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N:\CRA-CAD\201618.03 Aherm CUP Application\01 Dwg\20161803 Aherm A41 Recy Plan.dwg

SHEET NO 09

A4.1

OF 11 SHEETS



Ahern Rentals
Recycler information

Our water recycling system is a closed loop system. All water used is captured, filtered, and reused enabling the operator to monitor and control the water used to clean a variety of equipment. It operates on single phase power, 220 volt.

The system has a total capacity of 2250 gallons of water through a variety of holding tanks. The system settles the heavier particles in the water and polishes the final stage of water insuring that clean and clear water is used for washing. Ninety percent of all water is captured and reused while typically ten percent is lost in evaporation.

The closed loop system with proper maintenance removes mud, oils, and heavy particles contained in the washing system.

Attached is a elevation sheet of one of our typical systems, and a water flow chart for reference.

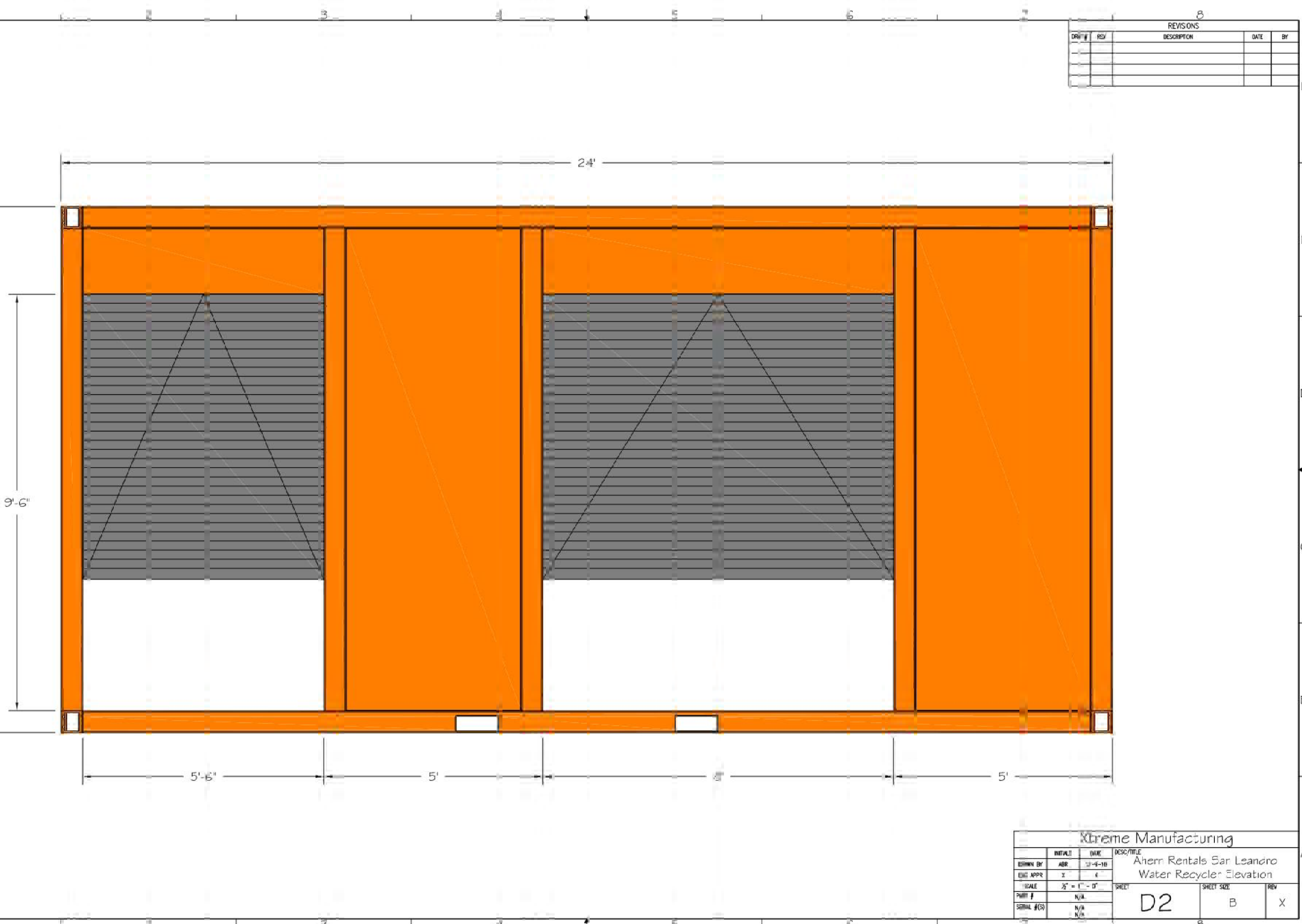
If you have any questions I would be pleased to help.

Sincerely yours,

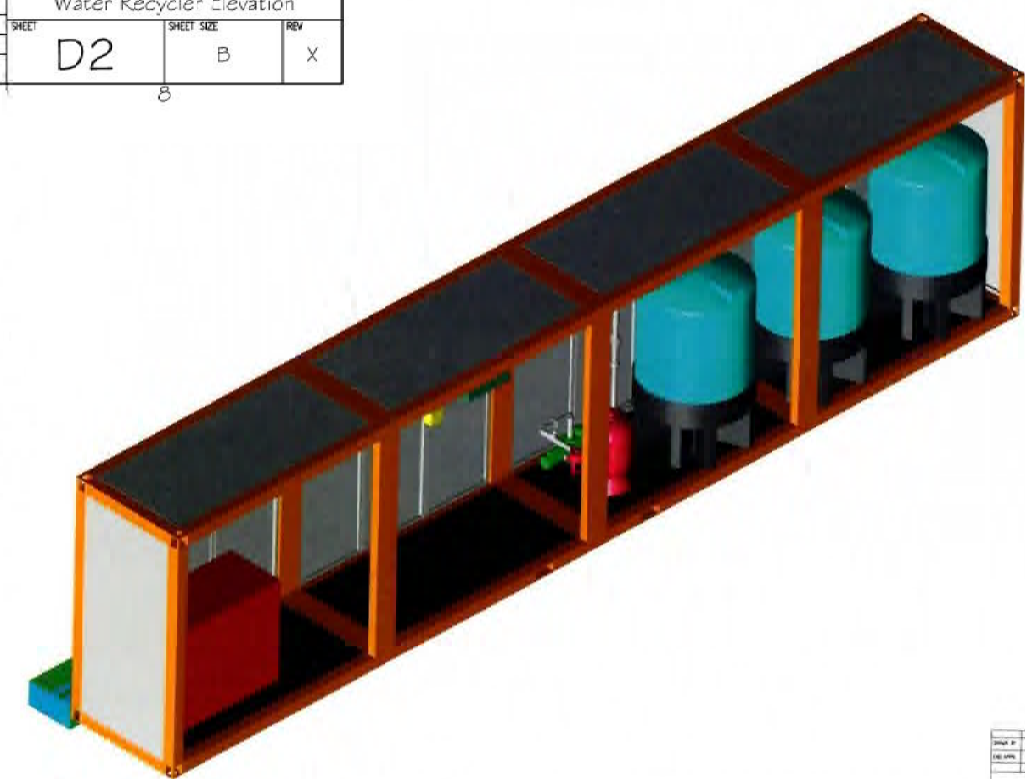
H. E. "Gene" Coder
Project Manager Ahern Rentals
8250 Eastgate Road
Henderson, NV 89015
702-210-2509 cell
genec@ahern.com

12 WATER RECYCLING SYSTEM -DESCRIPTION
A4.1 N.T.S.

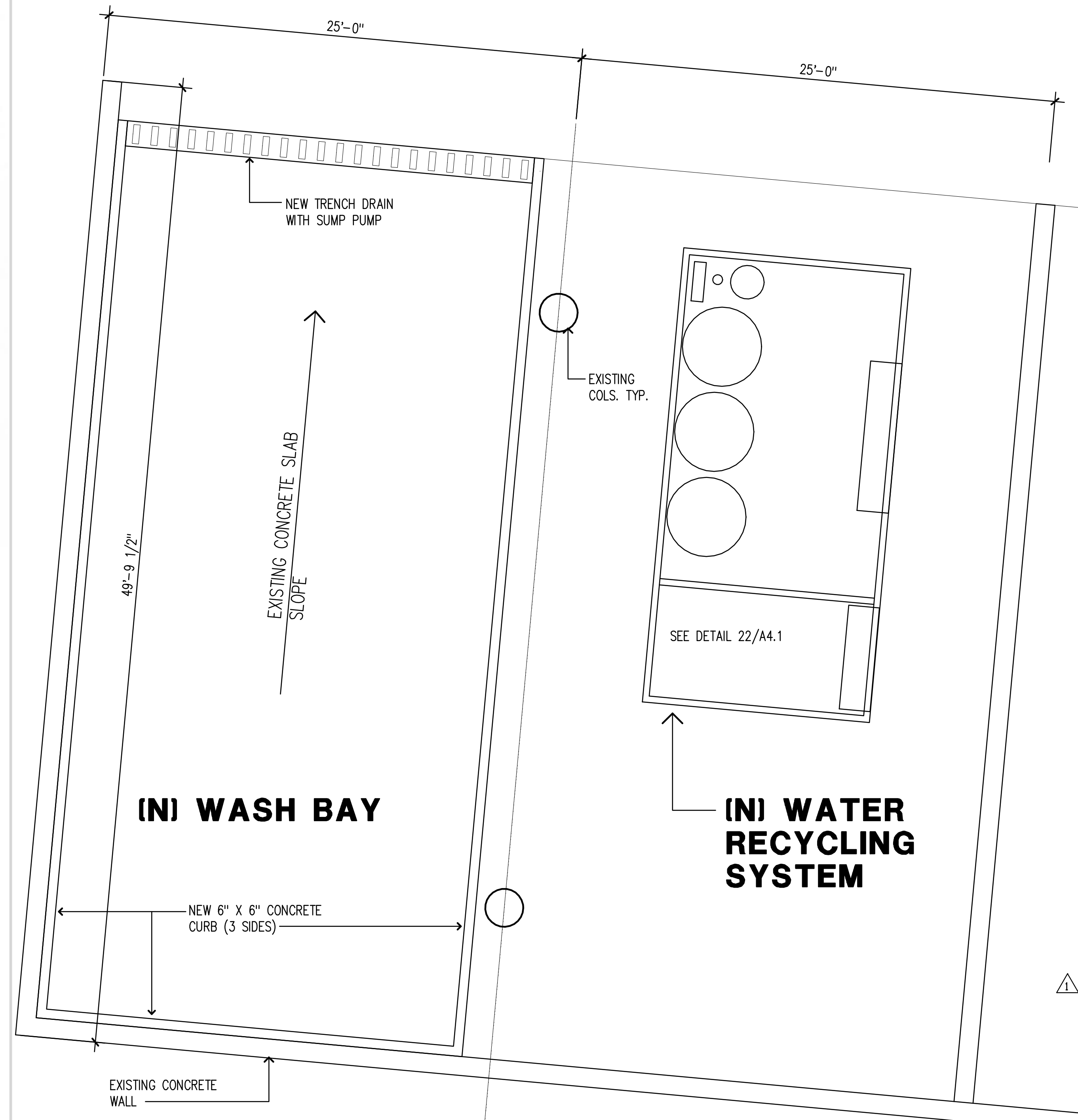
22 WATER RECYCLING SYSTEM PLAN
A4.1 N.T.S.



24 WATER RECYCLING SYSTEM ELEVATION
A4.1 N.T.S.



ISOMETRIC (SIM)

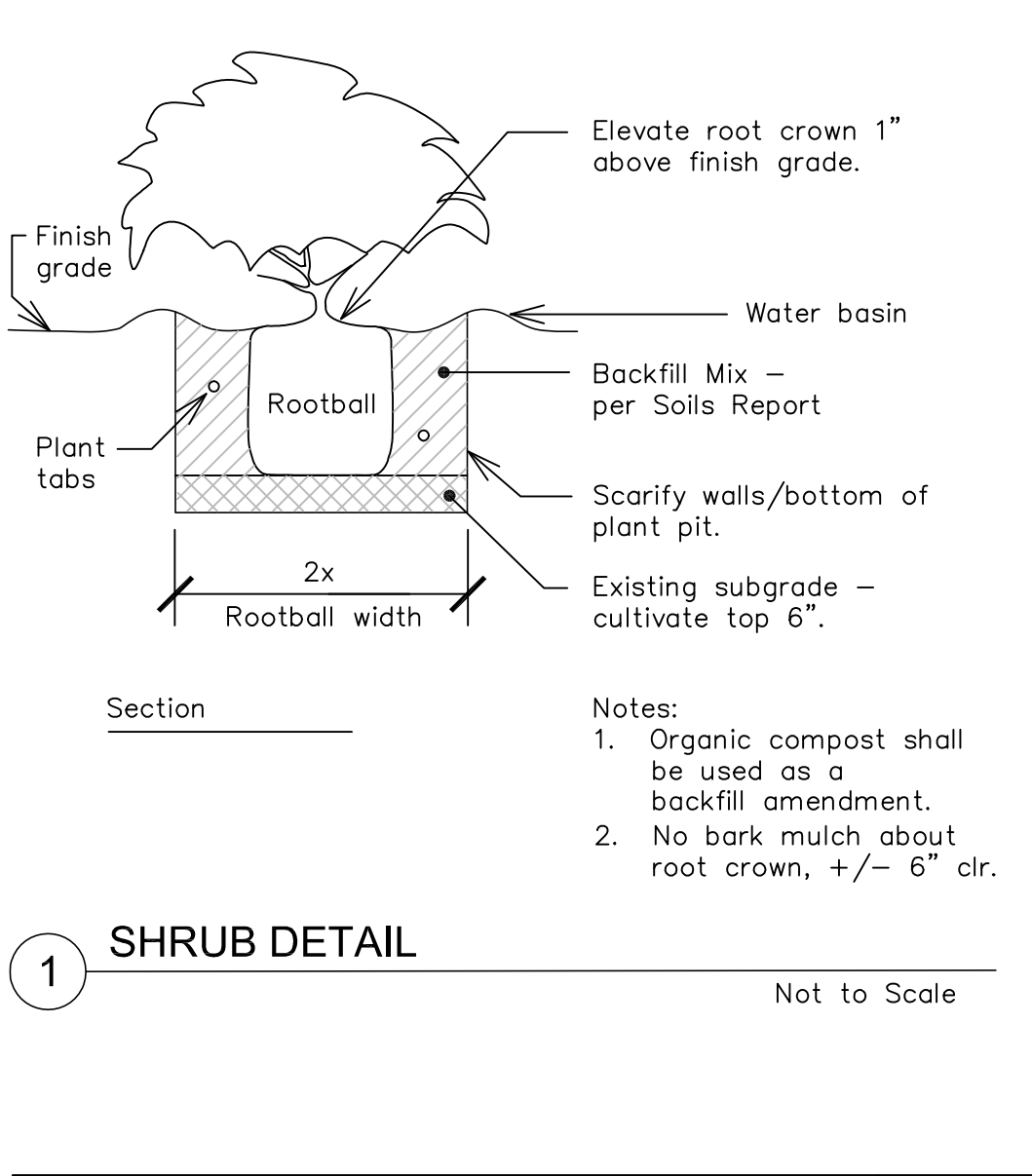


10 WASH BAY / WATER RECYLING SYSTEM IN (E) SHED
A4.1 1/4" = 1'-0"

4' 2' 0 4' 8'
1/4" = 1'-0"



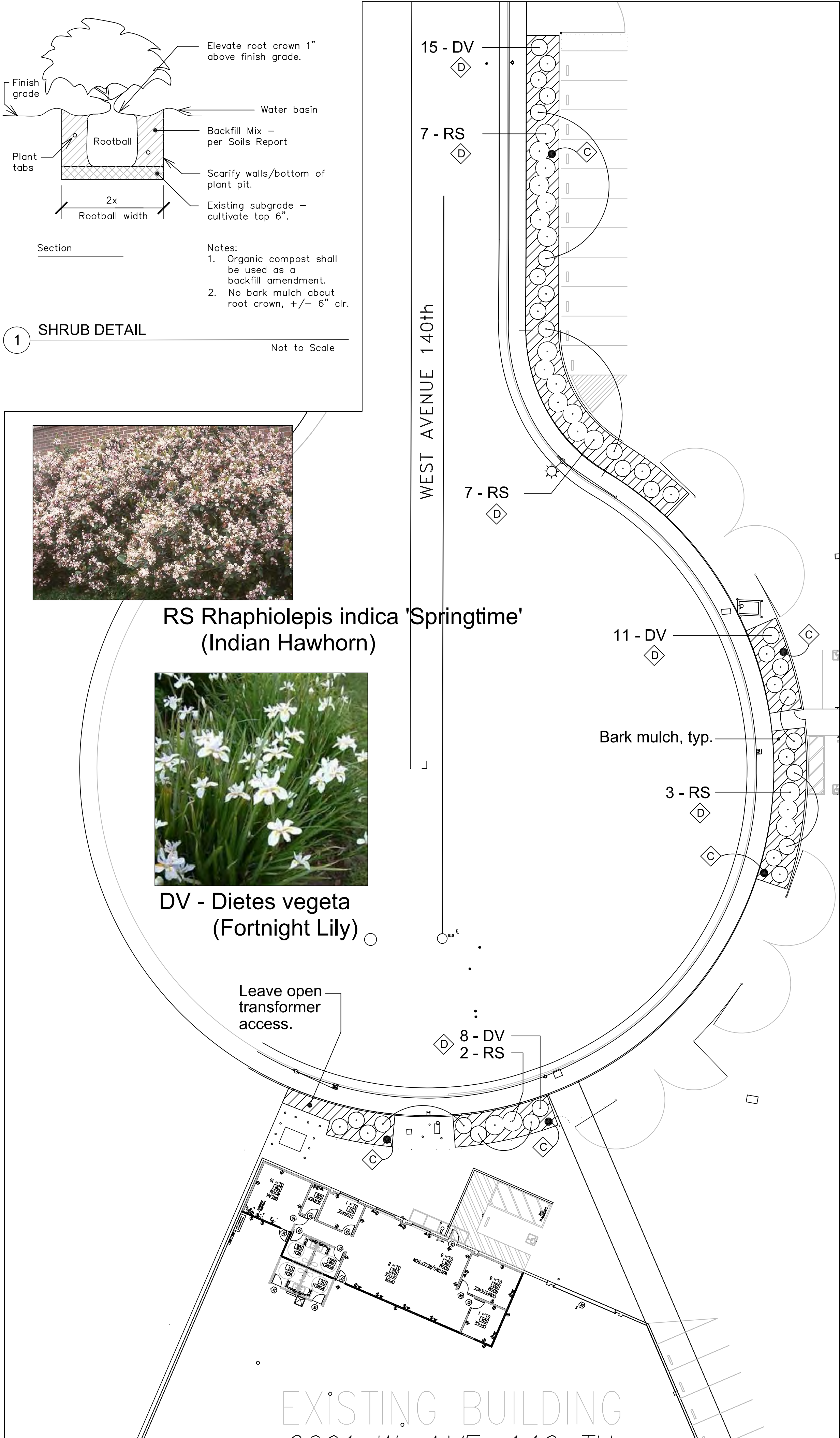
WASH BAY AND WATER RECYCLING SYSTEM



RS Rhamphiolepis indica 'Springtime'
(Indian Hawthorn)



DV - Dietes vegeta
(Fortnight Lily)



ENLARGEMENT PLANTING PLAN

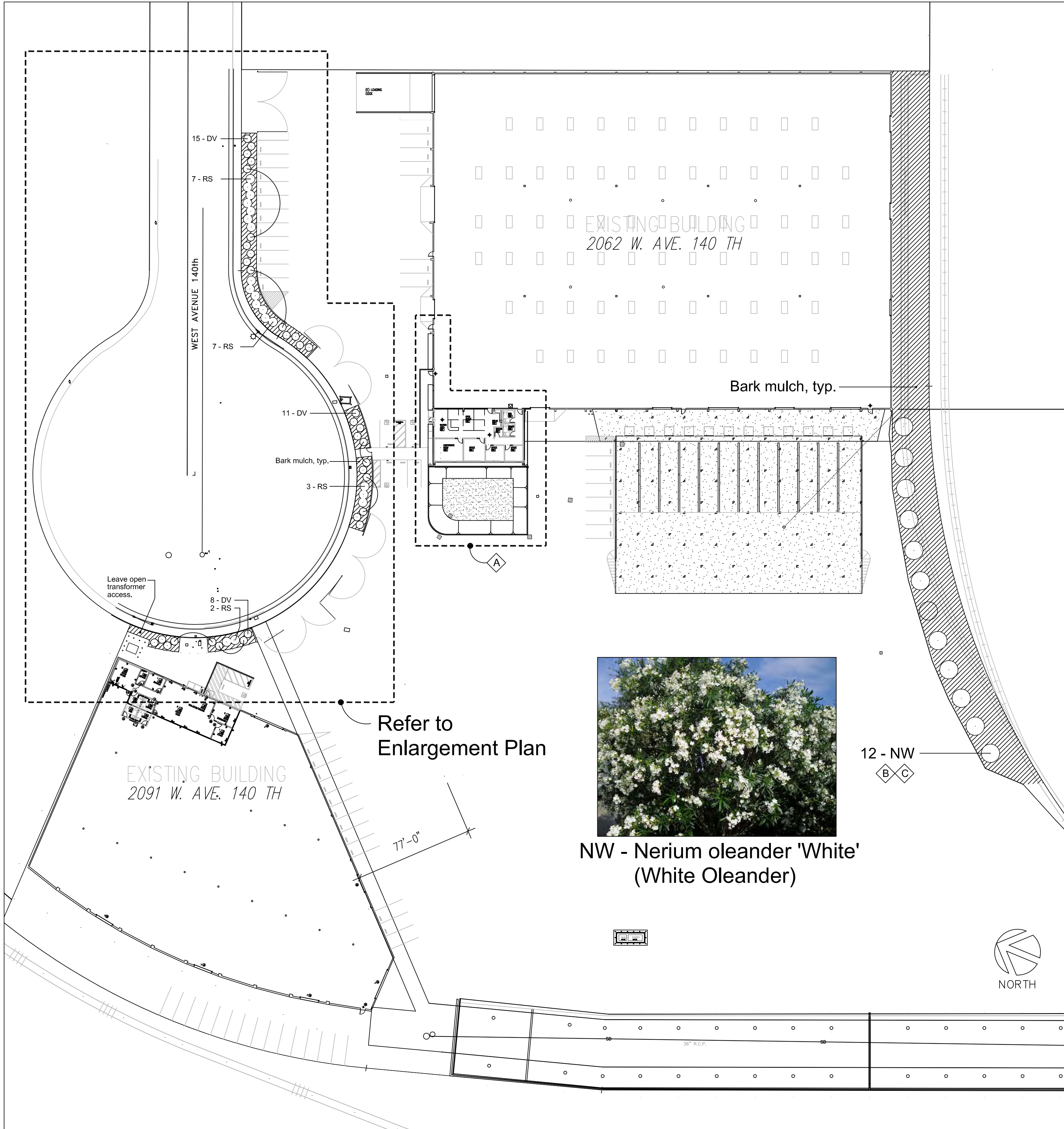
Scale: 1" = 20' - 0"

PLANT LEGEND

| SYM. | QTY. | SIZE | WUCOLS RATING | BOTANICAL NAME | COMMON NAME | HEIGHT X WIDTH | O.C. SPACING (MAXIMUM) |
|---------------|------|------|---------------|-----------------------------------|-----------------|----------------|------------------------|
| SHRUBS | | | | | | | |
| DV | 34 | 5 G | LOW | DIETES VEGETA | FORTNIGHT LILY | 4' X 5' | AS SHOWN |
| NW | 12 | 5 G | LOW | NERIUM OLEANDER 'WHITE' | WHITE OLEANDER | 10' X 12' | AS SHOWN |
| RS | 19 | 5 G | LOW | RHAMPHIOLEPIS INDICA 'SPRINGTIME' | INDIAN HAWTHORN | 4' X 6-7' | AS SHOWN |
| MISCELLANEOUS | | | | | | | |
| | | | | "WALK-ON" BARK MULCH, 3" LAYER | | | |

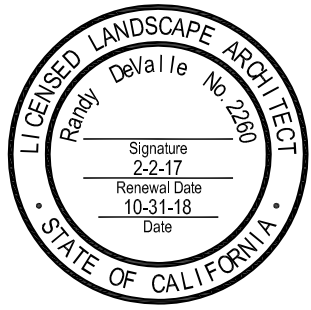
DESIGN KEY

- A This area under separate submission.
- B Proposed Oleander shall be manually watered. No automatic irrigation system servicing this area.
- C Soil Testing Laboratory shall run tests to ensure existing soil permitted as a viable planting medium. All deleterious material (i.e. concrete, base rock, sterilized soil, etc.) shall be removed and replaced with approved import soil - no exceptions.
- D Planters along the cul-de-sac shall be serviced by an automatic, low flow, irrigation system. Irrigation designer shall meet all MWEO requirement/regulations. Irrigation design by others.



OVERALL SITE PLANTING PLAN

Scale: 1" = 40' - 0"



CHANGE
USE PERMIT
(CUP) FOR
AHERN

2091 WEST AVE. 140TH
SAN LEANDRO, CA

FILE NO: 17.002

DATE ISSUED:

2/2/17 CUP APPLICATION

BUILDING 2091

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PLANTING
PLAN

SHEET NO 10

L1.0

OF 11 SHEETS

3. BENCHMARK: ELEVATION OF NAIL IN TOP OF CURB, SOUTHWEST CORNER OF W. AVE 140TH & MERCED DRIVE. CONVERTED TO NAVD DATUM = 14.74.
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE STANDARD PLANS AND SPECIFICATIONS OF THE CITY OF SAN LEANDRO, WHICH ARE HEREBY INCORPORATED INTO THESE PLANS.
3. AT LEAST 48 HOURS NOTICE TO THE PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE CITY ENGINEER PRIOR TO THEIR CONSTRUCTION, AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE.
5. AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND MUST BE SECURED PRIOR TO THE START OF ANY WORK.
6. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY EXISTING UNDERGROUND UTILITIES.
7. THE CONTRACTOR SHALL LEAVE AN EMERGENCY TELEPHONE NUMBER WITH THE POLICE AND FIRE DEPARTMENTS, AND KEEP THEM INFORMED DAILY OF ANY DETOURS.
8. THE CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS OF THE STATE OF CALIFORNIA CONSTRUCTION SAFETY ORDERS PERTAINING TO EXCAVATIONS AND TRENCHES. A COPY OF THE CONSTRUCTION SAFETY ORDERS IS AVAILABLE IN THE PUBLIC WORKS DEPARTMENT FOR INSPECTION.
9. PUBLIC SAFETY AND TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE "WATCH" MANUAL AND AS DIRECTED BY THE CITY ENGINEER.
10. THE CONTRACTOR SHALL GIVE AT LEAST 24 HOURS NOTICE TO THE CITY PUBLIC WORKS INSPECTOR PRIOR TO CONNECTING TO EXISTING WATER FACILITIES. AT ALL TIMES, THE MANIPULATION OF EXISTING VALVES SHALL BE DONE UNDER THE DIRECTION OF THE WATER DIVISION PERSONNEL.
11. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF BASE ROCK UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
12. EXISTING CURB AND GUTTER, SIDEWALK, SURVEY MONUMENTS AND OTHER PUBLIC IMPROVEMENTS WITHIN THE PROJECT SITE THAT ARE DAMAGED OR DISPLACED, EVEN THOUGH THEY WERE NOT SCHEDULED TO BE REMOVED, SHALL BE REPLACED EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED BY THE CONTRACTOR.
13. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT RELIEVE THE DEVELOPER OR HIS ENGINEER FROM THE RESPONSIBILITY FOR THE DESIGN OF THE IMPROVEMENTS AND ANY DEFICIENCIES RESULTING FROM THE DESIGN THEREOF.
14. ALL CITY OF SAN LEANDRO STANDARD DETAILS REFERENCED IN THESE PLANS SHALL BE THE CURRENT VERSION AVAILABLE FROM THE PUBLIC WORKS DEPARTMENT.

DWG. 100 CONCRETE CURB, GUTTER, & SIDEWALK
 DWG. 104 GENERAL CONCRETE NOTES
 DWG. 106G WHEELCHAIR CURB CUT RAMP NOTES
 DWG. 106D WHEELCHAIR CURB CUT RAMP DETECTABLE WARNING SURFACE NOTES
 DWG. 118 VERTICAL CURB
 DWG. 120A TRENCH BACKFILL
 DWG. 120B TRENCH BACKFILL NOTES
 DWG. 122A TRENCH RESURFACING
 DWG. 122B TRENCH RESURFACING NOTES
 DWG. 136 SIGN INSTALLATION & MOUNTING DETAIL
 DWG. 600 PARKING STRIPING STANDARDS
 DWG. 602 HANDICAPPED PARKING
 DWG. 606 STABILIZED CONSTRUCTION ENTRANCE
 DWG. 608A TRAFFIC CONTROL PLAN
 DWG. 608B TRAFFIC CONTROL PLAN
 DWG. 608C TRAFFIC CONTROL PLAN

SEE SHEET C2 FOR CONTINUATION OF GENERAL AND CONSTRUCTION NOTES

SHEET C1: EXISTING SURVEY, PROPERTY LINES, GENERAL NOTES

SHEET C2: GENERAL NOTES CONTINUED, DEMOLITION PLAN

SHEET C3: IMPROVEMENTS, GRADING AND DRAINAGE

SHEET C4: SECTIONS, DETAILS

SHEET C5: STORM TREATMENT SUMMARY

SHEET C6: EROSION CONTROL PLAN

SHT 11 OF 11

DATE: 11/30/2016

DRAWN BY: LAB

FIELD BOOK:

SHEET NUMBER:

OF **6** SHEETS

PROJECT # 16205

BY: _____ R.C.E. 34870
KENNETH JOSEPH
CITY ENGINEER, CITY OF SAN LEANDRO
REGISTRATION EXPIRES: 9-30-15

KENNETH JOSEPH
CITY ENGINEER, CITY OF SAN LEANDRO

REGISTRATION EXPIRES: 9-30-1

DATE _____



TOPOGRAPHIC SURVEY FOR REFERENCE ONLY