

EXHIBIT A - SITE PLAN

GENERAL NOTES:

- 1. ALL WORKS SHALL COMPLY WITH THE CURRENT CALIFORNIA BUILDING CODE AND ALL CURRENT LOCAL GOVERNING CODES, REGULATIONS AND ORDINANCES.
- 2. CONTRACTOR SHALL BE LICENSED, FULLY INSURED AND EXPERIENCED IN LOCAL CONSTRUCTION PRACTICES, CODES AND REGULATIONS.
- 3. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. NO WORK SHALL BE STARTED UNTIL ALL QUESTIONS AND DISCREPANCIES ARE RESOLVED.
- 4. CONTRACTOR SHALL EXAMINE ALL RELEVANT PLANS, SPECIFICATIONS AND OTHER CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF WORK. ANY OMISSIONS OR DISCREPANCIES IN ANY PART OF THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO OWNER PRIOR TO COMMENCEMENT OF WORK. SCALE SHALL NOT BE USED FOR DETERMINING THE EXACT DIMENSIONS.
- 5. WORK SHALL BE DONE IN ACCORDANCE WITH PLANS STAMPED BY DEPARTMENT OF BUILDING INSPECTION. OWNER SHALL BE INFORMED IMMEDIATELY IF DIFFERENT SOLUTION IS NECESSARY. FAILURE TO DO SO SHALL PUT ENTIRE RESPONSIBILITY ONTO CONTRACTOR.
- 6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY OF PEOPLE AND PROPERTY ON THE PROJECT SITE. CONTRACTOR SHALL CAREFULLY CHECK THE STABILITY OF TALL EXISTING ELEMENTS PRIOR TO CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CAL OSHA REQUIREMENTS. ALL POWER EQUIPMENT SHALL BE OPERATED ONLY UNDER THE APPROVAL OF THE GOVERNING AGENCIES. FIRE EXTINGUISHER SHALL BE PROVIDED AND MAINTAINED DURING CONSTRUCTION.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AT HIS/HER OWN EXPENSE ANY DAMAGE TO ANY PUBLIC OR PRIVATE PROPERTY THAT IS CAUSED BY HIS/HER WORK.
- 8. ALL MATERIALS, FIXTURES, EQUIPMENT SHALL BE NEW AND UNUSED. NO SUBSTITUTION SHALL BE MADE WITHOUT OWNER'S AUTHORIZATION. ITEMS WHICH ARE NOT SPECIFIED BY TYPE OR MANUFACTURES SHALL BE OF AVERAGE QUALITY UNLESS APPROVED BY OWNER.
- 9. CONSTRUCTION AND DEMOLITION DEBRIS: 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING, IN COMPLIANCE WITH THE SAN LEANDRO CITY'S CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE.
- 10. RECYCLING BY OCCUPANTS: PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION AND LOADING OF COMPOST-ABLE, RECYCLABLE AND LANDFILL MATERIALS.

PROJECT DATA:

- 1. PROJECT ADDRESS: 1514 PACIFIC AVENUE, SAN LEANDRO, CA 94577
- 2. BLOCK AND LOT: 075-115-049
- 3. TOTAL AREA: 10,190 SQ. FT.
- 4. CURRENT OCCUPANCY: RESIDENTIAL - ONE-STORY DUPLEX
- 5. AUTO FIRE SPRINKLER: NONE - TO BE INSTALLED UNDER LOCAL FIRE DEPARTMENT CODE & CITY ORDINANCE

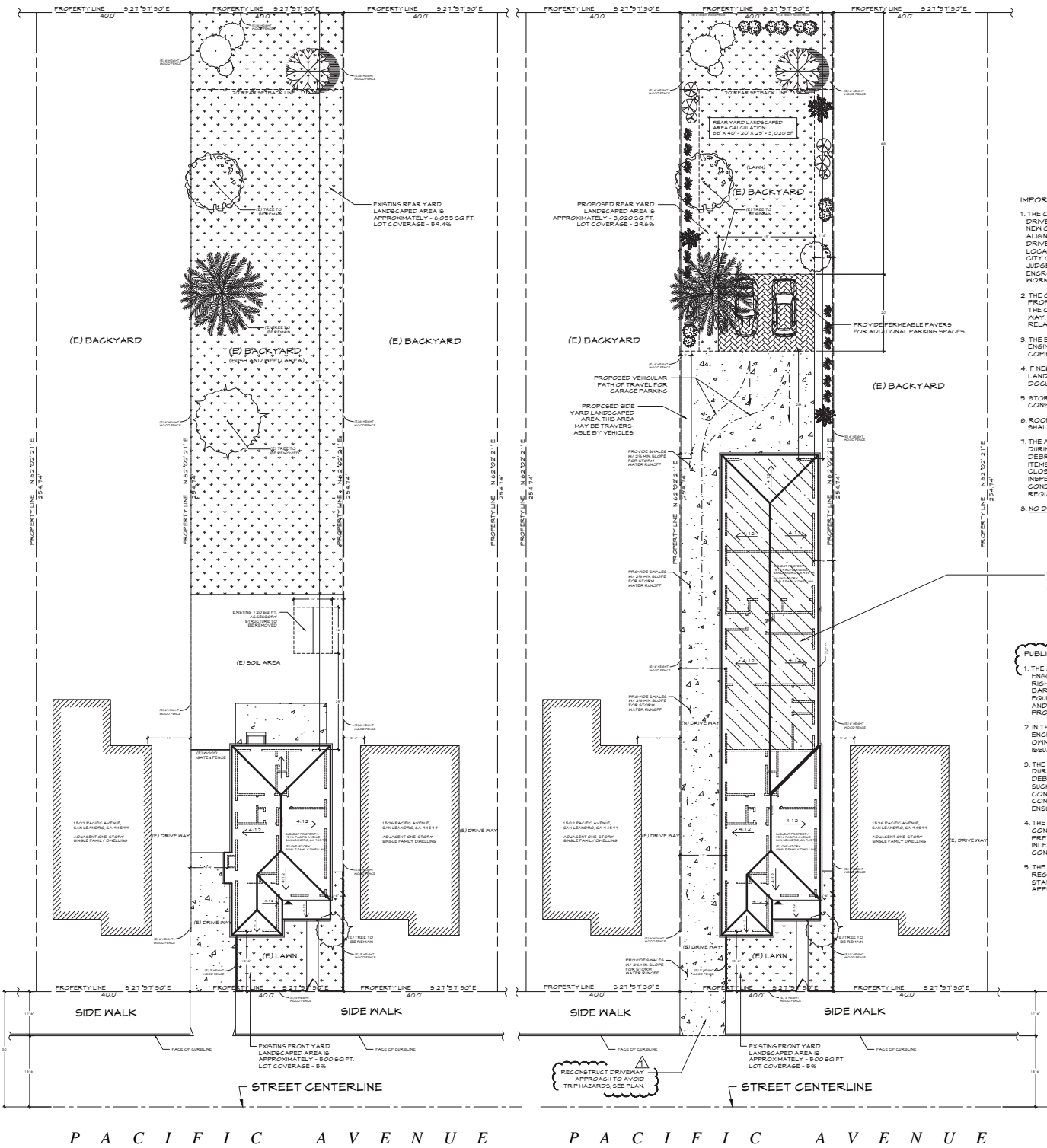
GRAPHIC CALCULATIONS

EXISTING SETBACKS	NEW SETBACKS
FRONT SETBACK : 15'-8"	FRONT SETBACK : 15'-8"
RIGHT SETBACK : 4'-6"	RIGHT SETBACK : 5'-0"
REAR SETBACK : 191'-9"	REAR SETBACK : 116'-0"
LEFT SETBACK : 9'-9"	LEFT SETBACK : 12'-0"

FLOOR AREA AND BUILDING COVERAGE CALCULATIONS:

EXISTING HOUSE LIVING SPACE AREA	= 1,015 SF
% OF SITE COVERAGE	= 10.0%
NEW ONE-STORY REAR ADDITION	= 1,740 SF
% OF SITE COVERAGE	= 17.0%
TOTAL BUILDING AREA AFTER ADDITION	= 2,755 SF
% OF SITE COVERAGE	= 27.0%
NEW TWO-CAR GARAGE AREA = 24' X 23'	= 552 SF
% OF SITE COVERAGE	= 5.4%
TOTAL HABITABLE SPACE AREA AFTER ADDITION	= 2,203 SF
% OF SITE COVERAGE	= 21.6%
PROPOSED PAVING AREA (CEMENT)	= 2,537 SF
% OF SITE COVERAGE	= 24.9%
LAWN, LANDSCAPED & PERVIOUS AREA AFTER ADDITION	= 4,898 SF
% OF SITE COVERAGE	= 48.1%

PRE-PROJECT IMPERVIOUS SURFACE AREA	= 760 SF
% OF SITE COVERAGE	= 7.4%
POST-PROJECT IMPERVIOUS SURFACE AREA	= 2,592 SF
% OF SITE COVERAGE	= 25.4%



(E) SITE PLAN

SCALE: 1/8" = 1'-0"

(PROPOSED) SITE PLAN

SCALE: 1/8" = 1'-0"

NOTE TO CONTRACTOR

- 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PLANS AND AT THE BUILDING SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE CONSTRUCTION.
- 2. DETAILS SHOWN ARE BASED ON DATA TAKEN FROM EXISTING FIELD OBSERVATIONS AND MAY NOT AGREE WITH EXISTING CONSTRUCTION. WHERE A DIFFERENCE OCCURS WORK SHALL BE STOPPED ON THAT AREA IMMEDIATELY AND DESIGNER SHALL BE NOTIFIED.

IMPORTANT NOTES:

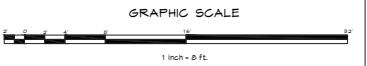
- 1. THE OWNER SHALL, AT HIS/HER EXPENSE, REMOVE ANY BROKEN AND UNLIFTED SIDEWALK, DRIVEWAY, CURB AND GUTTER ALONG THE FULL PROJECT FRONTAGE AND SHALL CONSTRUCT NEW CITY STANDARD SIDEWALK, DRIVEWAY, CURB AND GUTTER IN THE SAME LOCATION AND ALIGNMENT AS THE EXISTING CURB AND GUTTER. APPLICANT SHALL REMOVE ANY UNUSED DRIVEWAYS AND CONSTRUCT NEW CITY STANDARD SIDEWALK, CURB AND GUTTER IN THE SAME LOCATION AND ALIGNMENT AS THE EXISTING SIDEWALK, CURB AND GUTTER. THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE ENGINEERING AND TRANSPORTATION DEPARTMENT FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY PRIOR TO COMMENCEMENT OF WORK.
- 2. THE OWNER SHALL COORDINATE WITH THE PUBLIC WORKS DEPARTMENT TO ENSURE THAT ANY PROPOSED REPAIR WORK TO SIDEWALK, CURB, AND / OR GUTTER WILL BE SATISFACTORY TO THE CITY. THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK IN THE PUBLIC RIGHT OF WAY, AND SHALL BE RESPONSIBLE FOR ALL APPLICABLE FEES AND DEPOSITS. ALL WORK RELATED TO THESE REQUIREMENTS SHALL BE ACCOMPLISHED AT THE OWNER'S EXPENSE.
- 3. THE BUILDING PERMIT APPLICATION PLANS SHALL CONFORM TO THE STANDARDS OF THE ENGINEERING DIVISION'S BUILDING PERMIT TYPICAL PLAN CHECK SUBMITTALS' REQUIREMENTS, COPIES OF WHICH ARE AVAILABLE FROM THE ENGINEERING DIVISION.
- 4. IF NEW FIRE SPRINKLERS INSTALLED, FIRE SPRINKLER TEST/DRAIN IS TO DISCHARGE TO A LANDSCAPED AREA OR SANITARY SEWER. IF CONNECTING TO THE SANITARY SEWER, PROVIDE DOCUMENTATION FROM THE SANITARY DISTRICT THAT THEY WILL ALLOW THIS.
- 5. STORM DRAINS MUST BE PROTECTED DURING CONSTRUCTION. DISCHARGE OF ANY CONSTRUCTION RELATED DEBRIS OR WATER TO THE STREET/STORM SYSTEM IS PROHIBITED.
- 6. ROOF LEADERS / GUTTERS MUST NOT BE PLUMBED DIRECTLY TO STORM DRAINS. ROOF DRAINS SHALL DISCHARGE TO AN UNPAVED OR LANDSCAPED AREA WHEREVER PRACTICABLE.
- 7. THE APPLICANT SHALL COMPLY WITH THE FOLLOWING HIGH STANDARDS FOR SANITATION DURING CONSTRUCTION OF IMPROVEMENTS: GARBAGE CANS, CONSTRUCTION DUMPSTERS, AND DEBRIS PILES SHALL BE REMOVED ON A MINIMUM WEEKLY BASIS. ALL FOOD RELATED TRASH ITEMS SUCH AS WRAPPERS, CANS, BOTTLES, AND FOOD SCRAPS SHALL BE DISPOSED OF IN CLOSED CONTAINERS ONLY AND SHALL BE REGULARLY REMOVED FROM THE SITE. INSPECTIONS, CONDUCTED AS PART OF THE REGULAR CONSTRUCTION COMPLIANCE, WILL BE CONDUCTED TO ENSURE COMPLIANCE OF THE APPLICANT AND CONTRACTORS WITH THIS REQUIREMENT.
- 8. NO DUMPING! FLOWS TO RAY!

PUBLIC WORK NOTES:

- 1. THE APPLICANT (PROPERTY OWNER) SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE ENGINEERING AND TRANSPORTATION DEPARTMENT FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY INCLUDING THE USE OF LIFTING EQUIPMENT OR THE STAGING OF MATERIALS. BARRICADES, TRAFFIC CONES, AND/OR CAUTION RIBBON SHALL BE POSITIONED AROUND ANY EQUIPMENT OR MATERIALS WITHIN THE RIGHT-OF-WAY TO PROVIDE A BARRIER TO PUBLIC ACCESS AND ASSURE PUBLIC SAFETY. ANY DAMAGE TO THE RIGHT-OF-WAY IMPROVEMENTS MUST BE PROMPTLY REPAIRED BY THE APPLICANT ACCORDING TO CITY ADOPTED STANDARDS.
- 2. IN THE EVENT, DESIGN AND/OR CONSTRUCTION OF ANY SITE IMPROVEMENTS REQUIRES ENCROACHMENT ONTO NEIGHBORING PROPERTY, WRITTEN AGREEMENT WITH THAT PROPERTY OWNER SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF THE BUILDING PERMIT.
- 3. THE APPLICANT SHALL COMPLY WITH THE FOLLOWING HIGH STANDARDS FOR THE SANITATION DURING CONSTRUCTION OF IMPROVEMENTS: GARBAGE CANS, CONSTRUCTION DUMPSTERS, AND DEBRIS PILES SHALL BE REMOVED ON A MINIMUM WEEKLY BASIS. ALL FOOD RELATED TRASH ITEMS SUCH AS WRAPPERS, CANS, BOTTLES, AND FOOD SCRAPS SHALL BE DISPOSED OF IN CLOSED CONTAINERS ONLY AND SHALL BE REGULARLY REMOVED FROM THE SITE. INSPECTIONS, CONDUCTED AS PART OF THE REGULAR CONSTRUCTION COMPLIANCE, WILL BE CONDUCTED TO ENSURE COMPLIANCE OF THE APPLICANT AND CONTRACTORS WITH THIS REQUIREMENT.
- 4. THE APPLICANT SHALL IMPLEMENT CONSTRUCTION BEST MANAGEMENT PRACTICES DURING CONSTRUCTION TO CONTROL EROSION, KEEP SEDIMENT FROM LEAVING THE PROJECT SITE AND PREVENT STORM WATER POLLUTION. THE APPLICANT SHALL PROTECT EXISTING STORM DRAIN INLETS & CONVEYANCES WITHIN THE PROJECT AREA TO PREVENT SEDIMENT FROM CONSTRUCTION ACTIVITIES ENTERING THE STORM DRAIN SYSTEM.
- 5. THE PROPOSED DEVELOPMENT SHALL COMPLY WITH CITY ORDINANCES, POLICIES, AND REGULATIONS. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY'S DESIGN STANDARDS, SPECIFICATIONS AND STANDARD PLANS UNLESS OTHERWISE SPECIFICALLY APPROVED BY THE PRINCIPAL ENGINEER.

EROSION CONTROL PLAN

- 1. ALL EROSION CONTROL MEASURES SHALL BE ON-SITE AND READILY ACCESSIBLE PRIOR TO CONSTRUCTION.
- 2. SHEEP OR SCRAPE UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY. DO NOT HOSE INTO STREET, GUTTER, OR STORM DRAIN.
- 3. RE-VEGETATE DISTURBED AREAS. EXPOSED BARE DIRT SHALL BE COVERED WITH MULCH, JUT NETTING OR OTHER EROSION CONTROL BLANKET.
- 4. ALL TEMPORARY STOCKPILES SHALL BE COVERED WITH 6 MIL PLASTIC SHEETS, SUITABLY ANCHORED.
- 5. THE SITE SHALL BE MONITORED BY THE CONTRACTOR / OWNER AFTER RAIN EVENTS TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING.



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REVISIONS

PLAN CHECK COMMENTS 03-30-2017

PROJECT TITLE:

MR. ZHANG, TAO & MRS. XU, LING'S  
ONE-STORY DUPLEX UNITS REAR ADDITION  
ADDRESS: 1514 PACIFIC AVENUE,  
SAN LEANDRO, CA 94577

PROJECT NUMBER:

PLAN #: 2016R0601

DRAWING TITLE:

SITE PLAN

SCALE:

AS SHOWN  
24 x 360

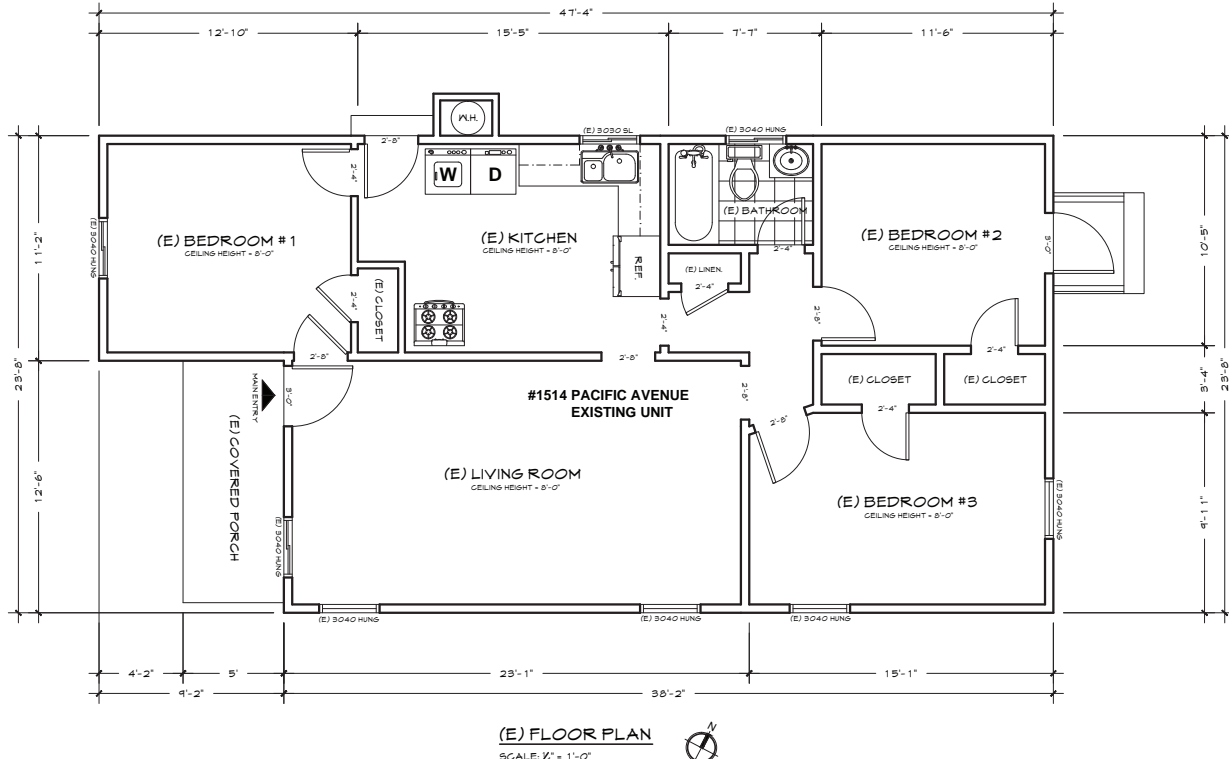
PLOT DATE:

04.25.2017

SHEET NUMBER:

A2.0

# EXHIBIT B - FLOOR PLAN

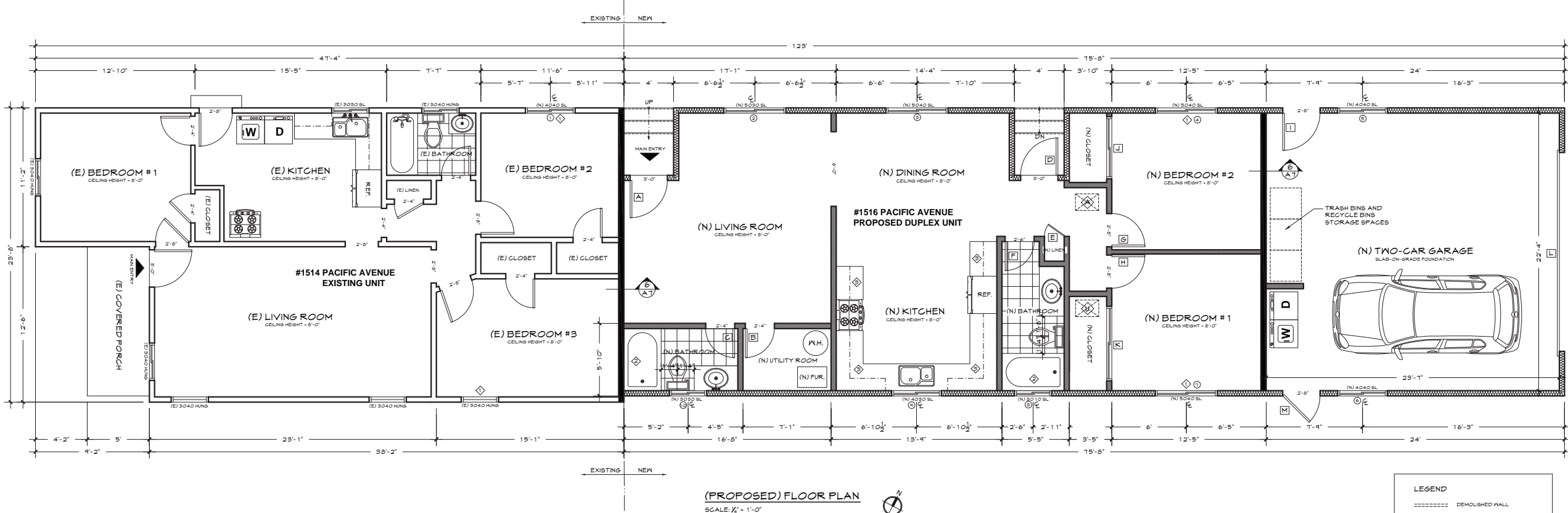


WINDOW SCHEDULE (SHOW NEW WINDOWS ONLY)						
NO.	SIZE	TYPE	GLASS	BILL HEIGHT	REMARK	U-FACTOR
1	4'-0" x 4'-0"	SLIDING	DUAL PANE	3'-0" AFF.	NEW	LESS GR - 032
2	5'-0" x 5'-0"	SLIDING	DUAL PANE	2'-0" AFF.	NEW	LESS GR - 032
3	5'-0" x 4'-0"	SLIDING	DUAL PANE	3'-0" AFF.	NEW	LESS GR - 032
4	5'-0" x 4'-0"	SLIDING	DUAL PANE	3'-0" AFF.	NEW	LESS GR - 032
5	4'-0" x 4'-0"	SLIDING	DUAL PANE	4'-6" AFF.	NEW	LESS GR - 032
6	4'-0" x 4'-0"	SLIDING	DUAL PANE	4'-6" AFF.	NEW	LESS GR - 032
7	4'-0" x 4'-0"	SLIDING	DUAL PANE	3'-0" AFF.	NEW	LESS GR - 032
8	5'-0" x 1'-0"	SLIDING	DUAL PANE	6'-0" AFF.	NEW TEMPERED GLASS WITH PROTECTED WINDOW	LESS GR - 032
9	4'-0" x 5'-0"	SLIDING	DUAL PANE	4'-2" AFF.	NEW	LESS GR - 032
10	5'-0" x 3'-0"	SLIDING	DUAL PANE	4'-0" AFF.	NEW TEMPERED GLASS WITH PROTECTED WINDOW	LESS GR - 032

DOOR SCHEDULE (SHOW NEW & REPLACE DOORS ONLY)				
NO.	SIZE	TYPE	GLASS	REMARK
A	3'-0" x 6'-8"	WOOD PANEL SWING DOOR	-	NEW
B	2'-4" x 6'-8"	WOOD PANEL SWING DOOR	-	NEW
C	2'-4" x 6'-8"	WOOD PANEL SWING DOOR	-	NEW
D	3'-0" x 6'-8"	WOOD PANEL SWING DOOR	-	NEW
E	2'-0" x 6'-8"	WOOD PANEL SWING DOOR	-	NEW
F	2'-6" x 6'-8"	WOOD PANEL SWING DOOR	-	NEW
G	2'-8" x 6'-8"	WOOD PANEL SWING DOOR	-	NEW
H	2'-8" x 6'-8"	WOOD PANEL SWING DOOR	-	NEW
I	2'-8" x 6'-8"	WOOD PANEL SWING DOOR	-	NEW
J	(2) 2'-6" x 6'-8"	PAIR OF WOOD PANEL GLOBET SLIDER	-	NEW
K	(2) 2'-6" x 6'-8"	PAIR OF WOOD PANEL GLOBET SLIDER	-	NEW
L	16'-0" x 7'-0"	AUTOMATIC ROLL UP GARAGE DOOR WITH REMOTE CONTROL	-	NEW
M	2'-8" x 6'-8"	WOOD PANEL SWING DOOR	-	NEW

FIXTURES	MAX. FLOW RATES
WATER CLOSET	1.28 gpf <sup>3</sup>
BATHROOM FAUCET	1.5 gpm @ 60 psi
KITCHEN FAUCET	1.8 gpm @ 60 psi
SHOWERHEAD	2.0 gpm @ 60 psi

- 1 ESCAPE WINDOW, PER CBC 1029.2.2 & 3.  
MINIMUM CLEAR OPENING AREA OF 5.7 SQUARE FEET (GRADE FLOOR MINIMUM CLEAR OPENING AREA + 5.0 SQUARE FEET)  
MINIMUM NET CLEAR PASSABLE WIDTH OF 20".  
MINIMUM NET CLEAR OPERABLE HEIGHT OF 24".  
MAXIMUM HEIGHT FROM FINISHED FLOOR TO BOTTOM OF OPENING OF 44".
- 2 GLAZING IN SHOWERS OR BATHTUB ADJACENT WALL OPENINGS WITH 60 IN. ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR ADVANCE SAFETY GLASS.  
SHOWER AND TUB/SHOWER WALLS MUST BE A SMOOTH, HARD, NONABSORBENT SURFACE (e.g. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (e.g. w/ .6YP) TO A HEIGHT OF 72 IN. ABOVE THE DRAIN INLET.  
SHOWER COMPARTMENT, REGARDLESS OF SHAPE, HAVING A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQUARE INCHES, AND ALSO CAPABLE OF ENCOMPASSING 30-INCH FLUSH.
- 3 SURFACES SUBJECT TO WATER SPLASH SHOULD HAVE WATER RESISTANCE SURFACE
- 4 ATTIC ACCESS TO ROOF PER CBC 1505.1, MIN. 22" X 30"
- 5 UNDER-FLOOR ACCESS PER CBC 2306.3, MIN. 18" X 24"



**LEGEND**

===== DEMOLISHED WALL

==== (E) WALL, NO CHANGES

==== (N) WALL - 2x4 STUD WALL @ 16" O.C. WITH GYP. BD. ON EACH SIDE

==== (N) WALL W/ R13 INSULATION - 2x4 STUD WALL @ 16" O.C. WITH GYP. BD. ON EACH SIDE

==== (N) WALL W/ ONE HR. FIRE RATED #13 INSULATION 2x6 STUD @ 16" O.C.

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REVISIONS	DATE
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**OBJECT TITLE:**  
  
MR. ZHANG, TAO & MRS. XU, LING'S  
ONE-STORY DUPLEX UNITS REAR ADDITION  
  
ADDRESS: 1514 PACIFIC AVENUE,  
SAN LEANDRO, CA 94577

PROJECT NUMBER:

PLAN #: 2016R0601

DRAWING TITLE:

FLOOR PLAN

Designed By: **KENNY YIP**

Drawn By: KENNY YIP

Checked By: KENNY YIP

SCALE:

AS SHOWN

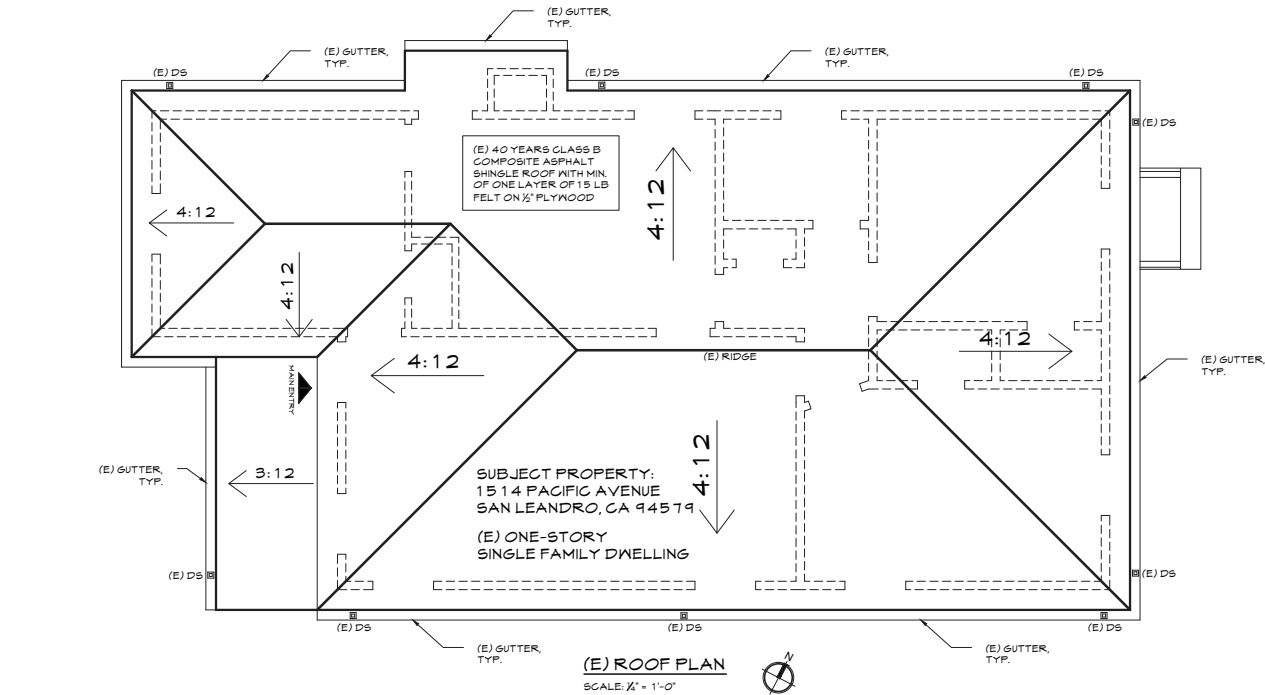
PLOT DATE:

03.08.2017

SHEET NUMBER:

### A3.0

# EXHIBIT C - ROOF PLAN

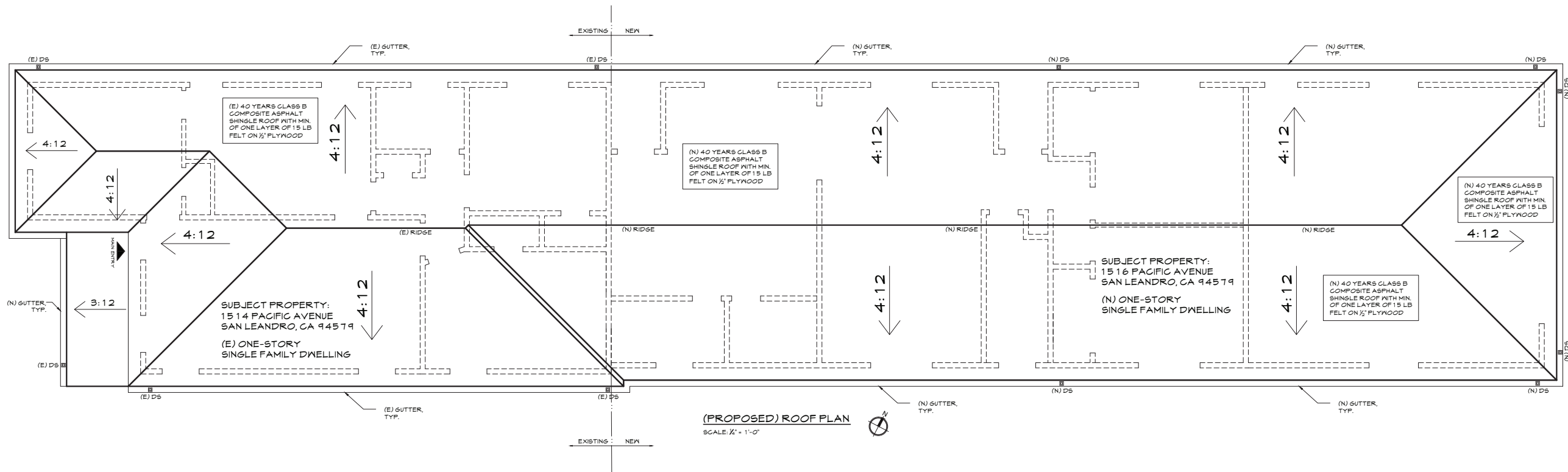


TOTAL NEW FLOOR AREA = 1,740 SQUARE FEET  
REQUIRED ATTIC VENTILATION AREA =  $1/150 \times 1,740 \text{ SF} = 11.6 \text{ SQUARE FEET}$   
CONVERT TO SQUARE INCHES:  $11.6 \times 144 = 1,670.4 \text{ SQUARE INCHES}$

PROPOSED 51 NEW EAVE VENTS:

TOTAL FLOOR AREA AFTER ADDITION:  $1,015 + 1,740 = 2,755$  SF  
 REQUIRED UNDER FLOOR VENT AREA =  $1/150 \times 2,755$  SF = 18.4 SF  
 CONVERT TO SQUARE INCHES:  $18.4 \times 144 = 2,649.6$  SQUARE INCHES

MAKE SURE TOTAL NUMBER OF ATTIC VENTS AFTER  
ADDITION IS 80 (VERIFY IT FIELD)



(E) DS: EXISTING DOWN SPOUT  
(N) DS: NEW DOWN SPOUT  
--- WALL OUTLINE

ETERNAL GREEN  
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[illegible]

**PROJECT TITLE:**

MR. ZHANG, TAO & MRS. XU, LING'S  
ONE-STORY DUPLEX UNITS REAR ADDITION

ADDRESS: 1514 PACIFIC AVENUE,  
SAN LEANDRO, CA 94577

PROJECT NUMBER:

PLAN #: 2016R0403

DRAWING TITLE:

### ROOF PLAN

Designed By: **KENNY YIP**

Drawn By: KENNY YIP

Checked By: KENNY YIP

SCALE:

AS SHOWN

24 x 36D

PLOT DATE:

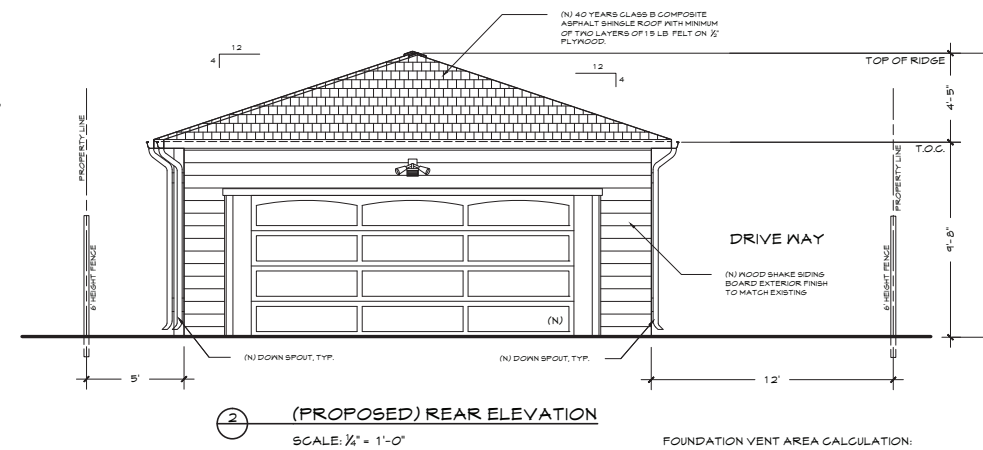
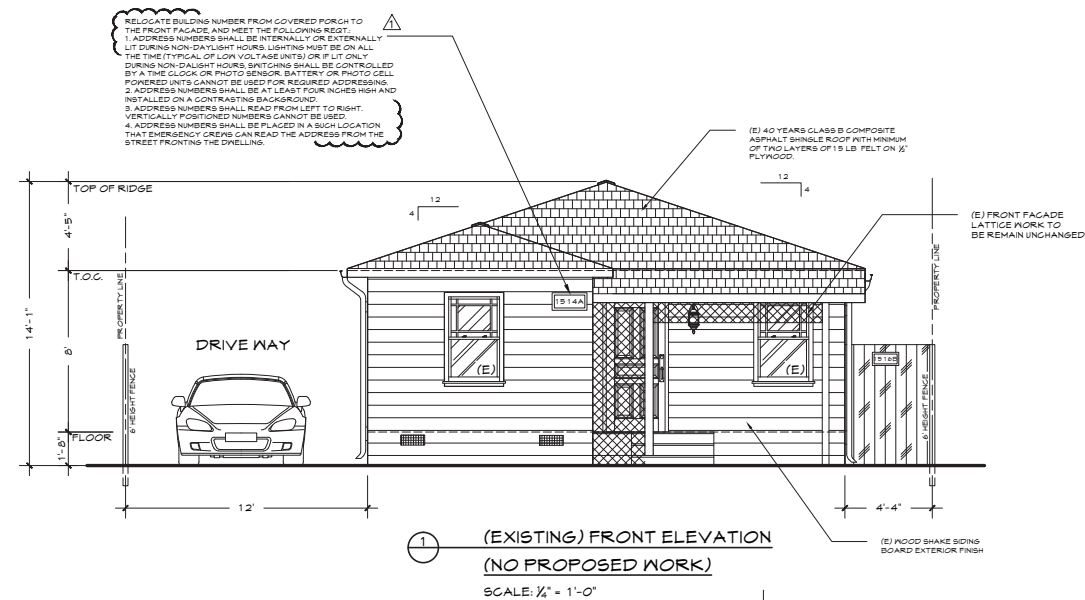
03.08.2017

SHEET NUMBER:

A4.0



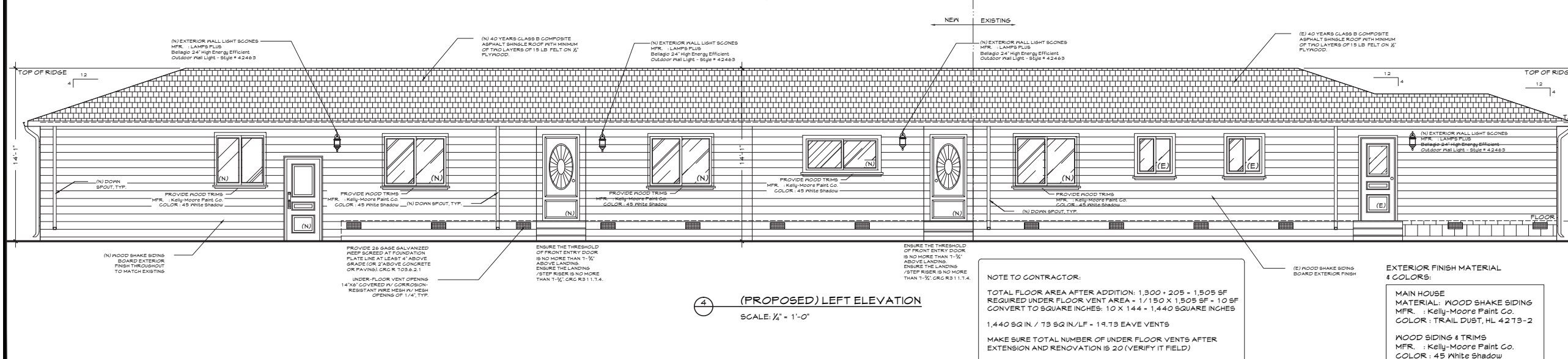
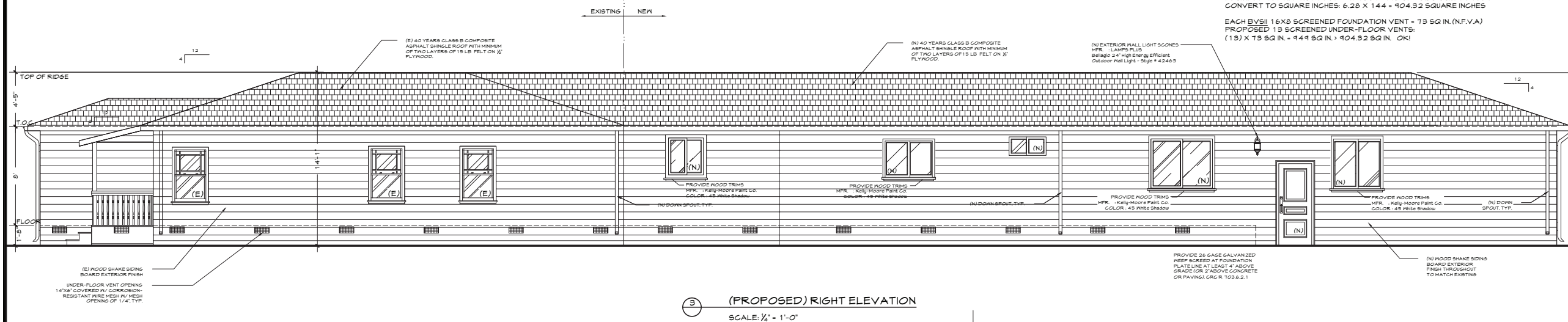
# EXHIBIT D - ELEVATIONS



FOUNDATION VENT AREA CALCULATION:

TOTAL AREA OF UNDER RAISE-UP FLOOR - 942 SQUARE FEET  
REQUIRED VENTILATION AREA -  $1/150 \times 942 \text{ SF} = 6.28 \text{ SQUARE FEET}$   
CONVERT TO SQUARE INCHES:  $6.28 \times 144 = 904.32 \text{ SQUARE INCHES}$

EACH BV511 16X8 SCREENED FOUNDATION VENT - 73 SQ IN. (N.F.V.A)  
PROPOSED 13 SCREENED UNDER-FLOOR VENTS:  
 $(13 \times 73 \text{ SQ IN.} = 949 \text{ SQ IN.} > 904.32 \text{ SQ IN. OK!}$



NOTE TO CONTRACTOR:

TOTAL FLOOR AREA AFTER ADDITION:  $1,300 \times 205 = 1,505 \text{ SF}$   
REQUIRED UNDER FLOOR VENT AREA:  $1/150 \times 1,505 \text{ SF} = 10.03$   
CONVERT TO SQUARE INCHES:  $10 \times 144 = 1,440 \text{ SQUARE INCHES}$

$1,440 \text{ SQ IN.} / 73 \text{ SQ IN./LF} = 19.73 \text{ EAVE VENTS}$

MAKE SURE TOTAL NUMBER OF UNDER FLOOR VENTS AFTER  
EXTENSION AND RENOVATION IS 20 (VERIFY IT FIELD)

**EXTERIOR FINISH MATERIAL  
& COLORS:**

**MAIN HOUSE**  
MATERIAL: WOOD SHAKE SIDING  
MFR. : Kelly-Moore Paint Co.  
COLOR : TRAIL DUST, HL 4273-2

**WOOD SIDING & TRIMS**  
MFR. : Kelly-Moore Paint Co.  
COLOR : 45 White Shadow

**ETERNAL GREEN  
PROPERTIES, LLC**

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[illegible]

**PROJECT TITLE:**

MR. ZHANG, TAO & MRS. XU, LING'S  
ONE-STORY DUPLEX UNITS REAR ADDITION

ADDRESS: 1514 PACIFIC AVENUE,  
SAN LEANDRO, CA 94577

PROJECT NUMBER:

PLAN #: 2016R0302

DRAWING TITLE:

## PROPOSED ELEVATIONS

Designed By:	KENNY YIP
Drawn By:	KENNY YIP
Checked By:	KENNY YIP

SCALE:  
AS SHOWN  
24 x 36D

PLOT DATE:  
04.25.2017

SHEET NUMBER:

## A5.0