ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
A.B.	ANCHOR BOLT
BLKG.	BLOCKING
BD.	BOARD
B.O.	BOTTOM OF
BLDG.	BUILDING
C.J.	CONTROL JOINT
℄	CENTER LINE
CLG.	CEILING
CLR.	CLEAR
C.M.U.	CONC. MASONRY UNIT
CNTR.	COUNTER
CONC.	CONCRETE
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS
CTR.	CENTER
DBL.	DOUBLE
DBO.	DETERMINED BY OWNER
DET.	DETAIL
DIA.or⌀	DIAMETER
DIM.	DIMENSION
DN.	DOWN
D.S.	DOWN SPOUT
D/W	DISHWASHER
DWG.	DRAWINGS
(E)	EXISTING
E.J.	EXPANSION JOINT
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
ENCL.	ENCLOSURE
EQ.	EQUAL
EXT.	EXTERIOR
F.A.	FIRE ALARM
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTING. CABINET
F.F.	FINISH FLOOR
F.H.C.	FIRE HOSE CABINET
FLR.	FLOOR
FLUOR.	FLUORESCENT
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.R.	FIRE RESISTANT
F.R.P.	FIBERGLASS–REINFORCED PANEL
F.S.	FLOOR SINK
FTG.	FOOTING
GALV.	GALVANIZED
G.C.	GENERAL CONTRACTOR
G.L.B.	GLU–LAM BEAM
G.S.M.	GALVANIZED SHT. METAL
GYP. BD.	GYPSUM BOARD
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HDR.	HEADER
H.M.	HOLLOW METAL
H.W.	HOT WATER
I.D.	INSIDE DIAMETER
INT.	INTERIOR
JT.	JOINT
LAM.	LAMINATED
LAV.	LAVATORY
MECH.	MECHANICAL
MFR.	MANUFACTURER
M.H.	MAN HOLE
MTD.	MOUNTED
MTL.	METAL
(N)	NEW
N.I.C.	NOT IN CONTRACT
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
P.L.	PROPERTY LINE
PLYWD.	PLYWOOD
PT.	POINT
RAD.	RADIUS
R.	RADIUS
REINF.	REINFORCED
R.O.	ROUGH OPENING
R.W.L.	RAIN WATER LEADER
S.C.	SOLID CORE
SECT.	SECTION
SIM.	SIMILAR
SPEC.	SPECIFICATION
S/S	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
TEMP.	TEMPERED
T&G	TONGUE AND GROOVE
T.O.	TOP OF
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
V.C.T.	VINYL COMPOSITION TILE
W/D	WASHER / DRYER
W.C.	WATER CLOSET
WD.	WOOD
WP.	WATERPROOF
W.W.M.	WELDED WIRE MESH

CONSULTANTS

ARCHITECT
HAYASHIDA ARCHITECTS
832 BANCROFT WAY
BERKELEY, CA 94710
TEL: (510) 428–2491
FAX: (510) 428–9491
LLOYD FOGELHUT

PARKING CALCULATIONS

PARKING PROVIDED.

TYPE & SIZE.	EXIST.
9'x18' VAN ACCESSIBLE WITH 9'x18' SIDE ACCESS AISLE	1
8'–6" FULL SIZE PARKING SPACES	10
7'–8" COMPACT SIZE PARKING SPACES AND 7"-4"	6
TOTAL SPACES	17

GENERAL NOTES

1. PROJECT NAME: CONDITIONAL USE PERMIT (CUP), TO ALLOW FOR NEW BUSINESS, ENTERPRISE RENTAL CAR, TO OCCUPY THE VACANT BUILDING, FOR PURPOSE OF PROVIDING RENTAL CAR SERVICES. BUILDING MODIFICATIONS INCLUDE NEW SIGNAGE, AND INSTALLATION OF NEW VEHICLE WASH PAD WITHIN THE EXISTING WAREHOUSE AREA.

2. PROJECT DESCRIPTION: MODIFICATIONS TO THE EXISTING BUILDING INCLUDE THE FOLLOWING:
   A. NEW SIGNAGE INSTALLED AT THE EXTERIOR TO IDENTIFY NEW TENANT.
   B. MODIFICATIONS TO THE EXISTING WAREHOUSE AREA, TO INCLUDE VEHICLE WASH PAD INSTALLATION, WITH ASSOCIATED UNDERGROUND PIPING TO DRAIN WASTE WATER TO EXISTING SANITARY SEWER. ALL WASH OPERATIONS WILL BE PERFORMED BY HAND, WITH NO AUTOMATIC EQUIPMENT PROPOSED TO BE INSTALLED.

3. PROJECT ADDRESS: 1922 REPUBLIC AVENUE
   SAN IEANDRO, CA

4A. SITE ZONING: IG(AU) DISTRICT

4B. OCCUPANCY CLASSIFICATION: B – BUSINESS GROUP

5. CLIENT: Enterprise Holdings
   2633 Camino Ramon, Suite 425
   San Ramon, CA 94583
   Contact: Brandon Helton
   Regional Operations Supervisor
   Brandon.helton@ehi.com

6. BUILDING OWNER:

7. EXAMINATIONS OF DRAWINGS AND SITE:
   A. The General Contractor (G.C.) shall carefully examine the site and shall thoroughly familiarize himself with all existing conditions within the scope of this work. Data in these specifications and on the drawings are as accurate as possible, but are not guaranteed. The G.C. shall verify locations, levels, distances, and features of the site and related improvements that may effect the work. By act of submitting a bid, the G.C. is deemed to have made such examination and to have examined all architectural, mechanical, structural and electrical drawings, and to have made allowance thereof in preparing his bid. No extra charges will be considered for costs resulting from failure to comply with the above.
   B. Proposals take into account all such conditions as may effect contract work.

8. DETAIL DRAWINGS AND INSTRUCTIONS:
   A. If work is required in a manner that makes it impossible to produce first class work, or should discrepancies appear among Contractual Documents, request interpretation before proceeding with work. If G.C. fails to make such request, no excuse will thereafter be entertained for failure to carry out work in a satisfactory manner.
   B. Should conflict occur in or between drawings or specifications, G.C. is deemed to have estimated on more expensive way of doing work, unless he shall have asked for and obtained written decision before submission of proposal as to which method or materials will be required. G.C. shall inform Architect immediately if such conflict between drawings or specifications occur.

9. CONNECTIONS: All attachments, connections, or fastenings of any nature are to be installed and permanently secured in conformance with best practice; G.C. is responsible for providing them according to these conditions. Drawings show only special requirements to assist G.C.; they do not illustrate every such detail.

10. GENERAL CONDITIONS: G.C. to comply with latest edition of the County of Alameda General Conditions

11. MISCELLANEOUS:
   A. The G.C. shall verify all existing conditions and shall notify the Architect of any discrepancies from these plans and the existing conditions, prior to commencing work.
   B. The G.C. shall visit the site and become familiar with all existing conditions, including utilities, prior to the start of construction.

12. GOVERNING CODES: All work shall be in conformance with all applicable state and local codes.
   A. 2016 California Building Code
   B. 2016 California Plumbing Code
   C. 2016 California Mechanical Code
   D. 2016 California Electrical Code
   E. 2016 California Fire Code
   F. 2016 California Energy Code
   G. Americans For Disabilities Act

13. SCOPE OF WORK (For Reference Only, Refer to Drawings).
   A. Partial removal of existing concrete floor within Warehouse area as shown for new concrete reinforced vehicle wash pad, with slopes to new drain and underground separator, with new utility piping to connect to existing sanitary sewer, as per the requirements of City of San Leandro Public Works Department, and East Bay Municipal Utility District, as shown on the Drawings.
   B. Removal of existing pavement for underground utilities to connect to existing sewer main in street, as shown on Drawings.
   D. Coordination with EBMUD, and City of San Leandro regarding Installation Of New washpad, and underground sediment separator to connect with existing sanitary sewer line.

14. SITE WORK:
   A: Locate existing underground utilities (if any) prior to trenching, and provide adequate means to protect utilities during work.
   B: Backfill materials:
      1. Use excavated material wherever possible, and upon completion, remove excess from site and properly dispose of materials.
      2. Satisfactory soil material free of rock or gravel 2" in any dimension. Debris, waste vegetable, or other deleterious materials are not acceptable.
      3. Sand: Clean, natural, free of loam, clay lumps, or other deleterious material.
      4. Gravel: Approved grade of bank run gravel
   C: Patch with identical materials any paving which is required to be removed in order to install underground utilities.

15. DO NOT SCALE DRAWINGS

INDEX OF DRAWINGS

REVISION	SHEET NO.	SHEET TITLE
	T1	INDEX & NOTES
	A1.0	EXISTING SITE/BUILDING PLAN
	A1.1	SITE PLAN
	A5.1	EXTERIOR ELEVATION

PROJECT LOCATION

PLN17-0017
Exhibit A
June 1, 2017

HAYASHIDA ARCHITECTS
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BERKELEY, CA 94710
(510) 428-2491
www.hayashida-architects.com

CONDITIONAL USE PERMIT
ENTERPRISE CAR RENTAL
1922 REBUBLIC AVENUE
SAN LEANDRO, CA

No.	Description	Date	By
	CLIENT REVIEW SET	04/04/17	CT
	CUP SUBMISSION SET	04/05/17	CT

INDEX
NOTES

Project number	LF 17-4520-10
Date	
Drawn by	LF
Checked by	LF

T1