

## ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR	(E)	EXISTING	G.L.B.	GLU—LAM BEAM	PLYWD.	PLYWOOD
ALUM.	ALUMINUM	E.J.	EXPANSION JOINT	G.S.M.	GALVANIZED SHT. METAL	PT.	POINT
A.B.	ANCHOR BOLT	EL.	ELEVATION	GYP. BD.	GYPSON BOARD	RAD.	RADIUS
BLKG.	BLOCKING	ELEC.	ELECTRICAL	H.B.	HOSE BIBB	R.	RADIUS
BD.	BOARD	ELEV.	ELEVATOR	H.C.	HOLLOW CORE	REINF.	REINFORCED
B.O.	BOTTOM OF	ENCL.	ENCLOSURE	HDR.	HEADER	R.O.	ROUGH OPENING
BLDG.	BUILDING	EQ.	EQUAL	H.M.	HOLLOW METAL	R.W.L.	RAIN WATER LEADER
		EXT.	EXTERIOR	H.W.	HOT WATER		
C.J.	CONTROL JOINT			I.D.	INSIDE DIAMETER	S.C.	SOLID CORE
Q	CENTER LINE			INT.	INTERIOR	SECT.	SECTION
CLG.	CEILING	F.A.	FIRE ALARM			SIM.	SIMILAR
CLR.	CLEAR	F.D.	FLOOR DRAIN	JT.	JOINT	SPEC.	SPECIFICATION
C.M.U.	CONC. MASONRY UNIT	FDN.	FOUNDATION	LAM.	LAMINATED	S/S	STAINLESS STEEL
CNTR.	COUNTER	F.E.C.	FIRE EXTING. CABINET	LAV.	LAVATORY	STD.	STANDARD
CONC.	CONCRETE	F.F.	FINISH FLOOR			STL.	STEEL
CONSTR.	CONSTRUCTION	F.H.C.	FIRE HOSE CABINET	MECH.	MECHANICAL	STRUCT.	STRUCTURAL
CONT.	CONTINUOUS	FLR.	FLOOR	MFR.	MANUFACTURER	SUSP.	SUSPENDED
CTR.	CENTER	FLUOR.	FLUORESCENT	M.H.	MAN HOLE	TEMP.	TEMPERED
		F.O.C.	FACE OF CONCRETE	MTD.	MOUNTED	T&G	TONGUE AND GROOVE
		F.O.F.	FACE OF FINISH	MTL.	METAL	T.O.	TOP OF
		F.O.M.	FACE OF MASONRY			Typ.	TYPICAL
DBL.	DOUBLE	F.O.S.	FACE OF STUD	(N)	NEW	U.O.N.	UNLESS OTHERWISE NOTED
DBO.	DETERMINED BY OWNER	F.R.	FIRE RESISTANT	N.I.C.	NOT IN CONTRACT		
DET.	DETAIL	F.R.P.	FIBERGLASS— REINFORCED PANEL	NOM.	NOMINAL	V.I.F.	VERIFY IN FIELD
DIA. or Ø	DIAMETER			N.T.S.	NOT TO SCALE	V.C.T.	VINYL COMPOSITION TILE
DIM.	DIMENSION	F.S.	FLOOR SINK	O.C.	ON CENTER	W/D	WASHER / DRYER
DN.	DOWN	FTG.	FOOTING	O.D.	OUTSIDE DIAMETER	W.C.	WATER CLOSET
D.S.	DOWN SPOUT					WD.	WOOD
D/W	DISHWASHER	GALV.	GALVANIZED	P.L.	PROPERTY LINE	WP.	WATERPROOF
DWG.	DRAWINGS	G.C.	GENERAL CONTRACTOR			W.W.M.	WELDED WIRE MESH

## CONSULTANTS

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HAYASHIDA ARCHITECTS  
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LLOYD FOGELHUT

PARKING CALCULATIONS

PARKING PROVIDED.

TYPE & SIZE.	EXIST.
9'x18' VAN ACCESSIBLE WITH 9'x18' SIDE ACCESS AISLE	1
8'-6" FULL SIZE PARKING SPACES	10
7'-8" COMPACT SIZE PARKING SPACES AND 7'-4"	<b>6</b>
TOTAL SPACES	<b>17</b>

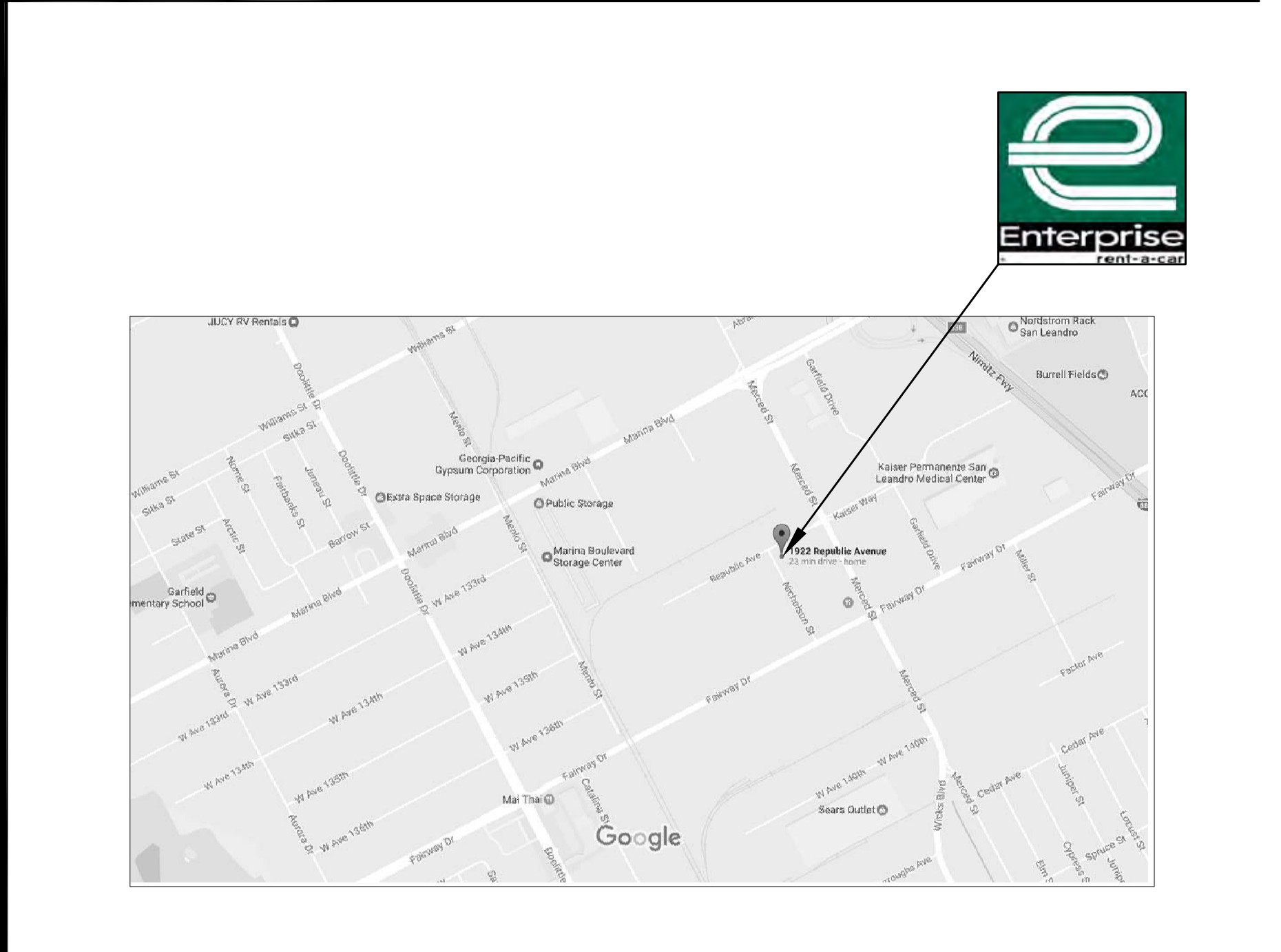
## GENERAL NOTES

1. PROJECT NAME: CONDITIONAL USE PERMIT (CUP), TO ALLOW FOR NEW BUSINESS, ENTERPRISE RENTAL CAR, TO OCCUPY THE VACANT BUILDING, FOR PURPOSE OF PROVIDING RENTAL CAR SERVICES. BUILDING MODIFICATIONS INCLUDE NEW SIGNAGE, AND INSTALLATION OF NEW VEHICLE WASH PAD WITHIN THE EXISTING WAREHOUSE AREA.
2. PROJECT DESCRIPTION: MODIFICATIONS TO THE EXISTING BUILDING INCLUDE THE FOLLOWING:
- A. NEW SIGNAGE INSTALLED AT THE EXTERIOR TO IDENTIFY NEW TENANT.
- B. MODIFICATIONS TO THE EXISTING WAREHOUSE AREA, TO INCLUDE VEHICLE WASH PAD INSTALLATION, WITH ASSOCIATED UNDERGROUND PIPING TO DRAIN WASTE WATER TO EXISTING SANITARY SEWER. ALL WASH OPERATIONS WILL BE PERFORMED BY HAND, WITH NO AUTOMATIC EQUIPMENT PROPOSED TO BE INSTALLED.
3. PROJECT ADDRESS: 1922 REPUBLIC AVENUE  
SAN LEANDRO, CA
- 4A. SITE ZONING: IG(AU) DISTRICT
- 4B. OCCUPANCY CLASSIFICATION: B - BUSINESS GROUP
5. CLIENT: Enterprise Holdings  
2633 Camino Ramon, Suite 425  
San Ramon, CA 94583  
Contact: Brandon Helton  
Regional Operations Supervisor  
Brandon.helton@ehi.com
6. BUILDING OWNER:
7. EXAMINATIONS OF DRAWINGS AND SITE:
- A. The General Contractor (G.C.) shall carefully examine the site and shall thoroughly familiarize himself with all existing conditions within the scope of this work. Data in these specifications and on the drawings are as accurate as possible, but are not guaranteed. The G.C. shall verify locations, levels, distances, and features of the site and related improvements that may effect the work. By act of submitting a bid, the G.C. is deemed to have made such examination and to have examined all architectural, mechanical, structural and electrical drawings, and to have made allowance thereof in preparing his bid. No extra charges will be considered for costs resulting from failure to comply with the above.
- B. Proposals take into account all such conditions as may effect contract work.
8. DETAIL DRAWINGS AND INSTRUCTIONS:
- A. If work is required in a manner that makes it impossible to produce first class work, or should discrepancies appear among Contractual Documents, request interpretation before proceeding with work. If G.C. fails to make such request, no excuse will thereafter be entertained for failure to carry out work in a satisfactory manner.
- B. Should conflict occur in or between drawings or specifications, G.C. is deemed to have estimated on more expensive way of doing work, unless he shall have asked for and obtained written decision before submission of proposal as to which method or materials will be required. G.C. shall inform Architect immediately if such conflict between drawings or specifications occur.
9. CONNECTIONS: All attachments, connections, or fastenings of any nature are to be installed and permanently secured in conformance with best practice; G.C. is responsible for providing them according to these conditions. Drawings show only special requirements to assist G.C.; they do not illustrate every such detail.
10. GENERAL CONDITIONS: G.C. to comply with latest edition of the County of Alameda General Conditions
11. MISCELLANEOUS:
- A. The G.C. shall verify all existing conditions and shall notify the Architect of any discrepancies from these plans and the existing conditions, prior to commencing work.
- B. The G.C. shall visit the site and become familiar with all existing conditions, including utilities, prior to the start of construction.
12. GOVERNING CODES: All work shall be in conformance with all applicable state and local codes.
- A. 2016 California Building Code  
B. 2016 California Plumbing Code  
C. 2016 California Mechanical Code  
D. 2016 California Electrical Code  
E. 2016 California Fire Code  
F. 2016 California Energy Code  
G. Americans For Disabilities Act
13. SCOPE OF WORK (For Reference Only, Refer to Drawings).
- A. Partial removal of existing concrete floor within Warehouse area as shown for new concrete reinforced vehicle wash pad, with slopes to new drain and underground separator, with new utility piping to connect to existing sanitary sewer, as per the requirements of City of San Leandro Public Works Department, and East Bay Municipal Utility District, as shown on the Drawings.
- B. Removal of existing pavement for underground utilities to connect to existing sewer main in street, as shown on Drawings.
- D. Coordination with EBMUD, and City of San Leandro regarding Installation Of New washpad, and underground sediment separator to connect with existing sanitary sewer line.
14. SITE WORK:
- A. Locate existing underground utilities (if any) prior to trenching, and provide adequate means to protect utilities during work.
- B. Backfill materials:
1. Use excavated material wherever possible, and upon completion, remove excess from site and properly dispose of materials.
2. Satisfactory soil material free of rock or gravel 2" in any dimension. Debris, waste vegetable, or other deleterious materials are not acceptable.
3. Sand: Clean, natural, free of loam, clay lumps, or other deleterious material.
4. Gravel: Approved grade of bank run gravel
- C. Patch with identical materials any paving which is required to be removed in order to install underground utilities.
15. DO NOT SCALE DRAWINGS

## INDEX OF DRAWINGS

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## PROJECT LOCATION



PLN17-0017  
Exhibit A  
June 1, 2017

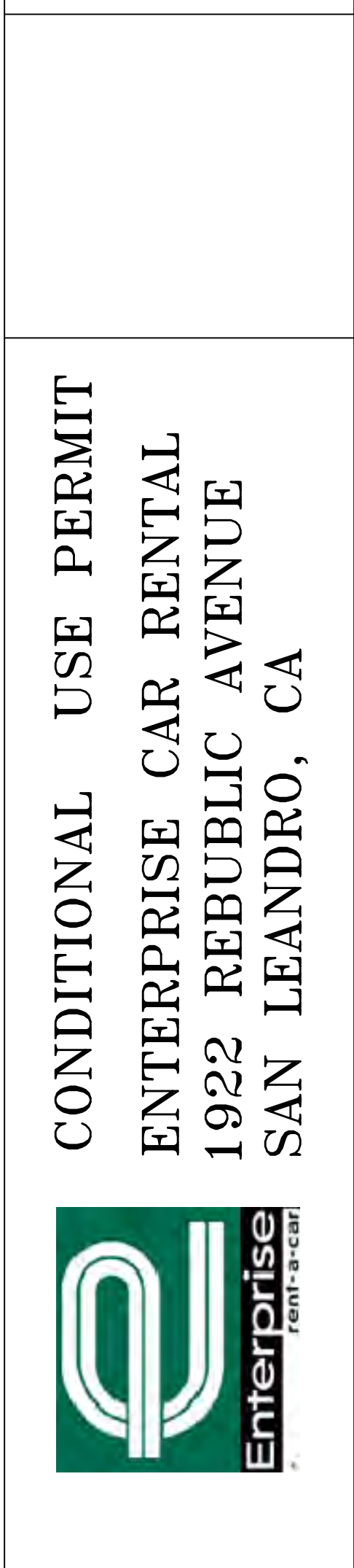
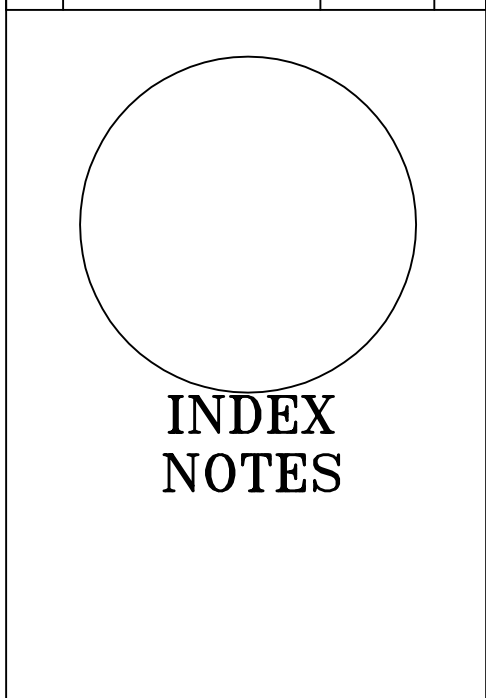


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Project number	LF 17-4520-10
Date	
Drawn by	LF
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